



**Town of Aurora
Committee of Adjustment
Meeting Agenda**

Date: Thursday, April 13, 2023
Time: 7:00 p.m.
Location: Video Conference

Due to the COVID-19 pandemic, meetings will be available to the public via live stream only on the [Town's YouTube Channel](#). To participate electronically, please visit [aurora.ca/participation](https://www.aurora.ca/participation).

	Pages
1. Call to Order	
1.1 Appointment of Committee Chair	
1.2 Appointment of Vice-Committee Chair	
2. Land Acknowledgement	
3. Approval of the Agenda	
That the Agenda as circulated by the Secretary-Treasurer be approved.	
4. Declarations of Pecuniary Interest and General Nature Thereof	
5. Receipt of the Minutes	
5.1 Committee of Adjustment Meeting Minutes of March 9, 2023, Meeting Number 23-03	
That the Committee of Adjustment Minutes from Meeting Number 23-03 be adopted as circulated.	
6. Presentation of Applications	
6.1 MV-2023-11 - Aurora (HGD) Inc. - 21 Golf Links Drive, Lot 90	1
6.2 MV-2023-12 - Calloway Real Estate Investment Trust - 14720-14760 Yonge	8
6.3 MV-2023-13 - Mainella - 96 Soleil Blvd	16

6.4 MV-2023-07 - Veyseh - 54 Nisbet 25

6.5 MV-2023-09 - RP Partners Aurora Limited- 15286 -15306 Leslie St 39

7. New Business

8. Adjournment



100 John West Way
Aurora, Ontario
L4G 6J1
(905) 727-3123
aurora.ca

Town of Aurora

Committee of Adjustment Report

No. MV-2023-11

Subject: **Minor Variance Application**
Aurora (HGD) Inc.
21 Golf Links Drive (Lot 90)
MV-2023-11
Related Planning Applications: SUB-2015-01, ZBA-2015-02 &
OPA-2015-01

Prepared by: Rosanna Punit, Planner

Department: Planning and Development Services

Date: April 13, 2023

Application

The applicant is requesting relief from the requirements of the Town's Comprehensive Zoning By-law 6000-17, as amended, to increase the lot coverage for Lot 20 on Plan 65M-4773 (Lot 90 on the Draft Plan of Subdivision) within Phase 3 of the registered Plan of Subdivision (Highland Gate). The following relief is being requested:

- a) Section 24.466.2.3 of the Zoning By-law permits a maximum lot coverage of 35%.
The applicant is proposing a lot coverage of 36.2%

Background

Subject Property and Area Context

The Highland Gate subdivision is generally located north of Henderson Drive, east of Bathurst Street and west of Yonge Street. The Draft Plan of Subdivision was approved by the Ontario Municipal Board (OMB) on January 23, 2017. In total, Highland Gate comprises of 6 phases. To date, only phase 1, 2a and 2b are registered. Lot 20 (also known as lot 90 on the draft plan of subdivision) is part of Phase 3 of the subdivision development. Phase 3 is located between Fairway Drive and Golf Links Drive. Eldon Crescent and Brookland Avenue provide vehicular access onto the Phase 3 lands. The subject lands (Lot 20) are directly south of 45 Golf Links Drive. The subdivision agreement has been executed and registered in February 2023. The existing surrounding

neighbourhood is generally comprised of two storey single detached dwellings as part of a low-density residential setting.

Proposal

The applicant is proposing to construct a two storey residential dwelling on the subject lands.

Official Plan

The subject lands are designated as “Stable Neighbourhoods” in the Town’s Official Plan. This designation specifically permits single detached dwellings. The Official Plan states that “Stable Neighbourhoods” are to be protected from incompatible forms of development but permitted to evolve and be enhanced over time. New developments abutting existing residential shall be sympathetic to the streetscape character and shall be compatible with surrounding built forms with particular attention to matters including but not limited to, building type, height and scale, pattern of rear and side yard setbacks and setback from the street.

Zoning By-law 6000-17, as amended

The subject lands has a site specific zoning classification “Detached Third Density Residential”- R3 (466). This zoning permits single detached dwellings, with a maximum lot coverage of 35%, thus a variance is required.

Preliminary Zoning Review

A Preliminary Zoning Review (PZR) has been completed by the Town of Aurora’s Building Division. The PZR identified the required variance and no other non-compliance was identified.

Applicant’s stated reason(s) for not complying with the Zoning By-law

As stated on the application form, “Due to the irregular shape of the lot, the model type selected and purchased for the subject lot slightly exceeds the maximum lot coverage provision of the Zoning By-law, however the house will fully comply with the minimum front, rear and side yard setbacks. As such the increase in lot coverage is minor in nature, will not impact the neighbouring properties, and meets the general intent of the Official Plan and Zoning By-law”.

Planning Comments

Planning Staff have evaluated Minor Variance Application MV-2023-11 pursuant to the prescribed tests as set out in Section 45(1) of the *Planning Act*, as follows:

a) The proposed variance meets the general intent of the Official Plan

The proposed dwelling is consistent with the built form of the surrounding neighbourhood as it relates to building type, height, scale, and setbacks. The process of subdivision approval also ensured high quality architectural control to provide an enhanced neighbourhood character and streetscape, with the proposed dwelling being considered a compatible form of development.

Staff are of the opinion that the requested variance is in keeping with the general intent of the Official Plan and that it will have no impact on the existing neighbourhood character.

b) The proposed variance meets the general intent of the Zoning By-law

The general intent of lot coverage provision is to ensure the size of the building is appropriate relative to the size of the property and that it does not detract from the outdoor amenity area on the property or negatively impact drainage. According to the building permit drawings, the proposed dwelling on the subject lands has the same building width of 12.5m (41 ft) as the adjacent property. Building Staff has confirmed that the proposed dwelling will comply with all setback requirements in the zoning by-law. It is Staff's opinion that there is no negative impacts to adjacent properties or the neighbourhood streetscape. Given that the proposed dwelling will comply with the required front, rear and side yard setbacks, it is Staff's opinion that the proposed variance will not impact the amount of amenity area on the property. Engineering Staff does not anticipate any drainage issues or having adverse impact to the neighbouring property as a result of the proposed variance. Therefore, Staff are of the opinion that the proposed variance meets the general intent of the Zoning By-law.

c) The proposed variance is considered desirable for the appropriate development of the land

The proposed variance is generally consistent with the lot coverage permitted in the Zoning by-law and there are a number of examples in the area where larger lot coverages were approved by the Committee of Adjustment and constructed. Below is a table to highlight other approved variances throughout the other Phases in the Highland Gate subdivision.

File:	Lot Coverage Variance Requested:	Decision:
MV-2021-03 (Lot 30)	38% to 39.3%	Approved by Committee
MV-2021-04 (Lot 42)	35% to 41.1%	Originally refused by the Committee, but then approved at the OLT
MV-2021-05 (Lot 43)	37% to 41.5%	Approved by Committee
MV-2022-27 (Lot 86)	35% to 35.7%	Approved by Committee
MV-2022-28 (Lot 57)	35% to 35.9%	Approved by Committee
MV-2022-30 (Lot 107)	36% to 36.3%	Approved by Committee

The model selected by the future homeowner complies with the approved urban design guidelines. The requested variance will not result in any adverse impacts to neighbouring properties or the streetscape. Staff are of the opinion that the requested increase in lot coverage is desirable for the appropriate development of the lot.

d) The proposed variance is considered minor in nature

The proposed new dwelling will comply with all other zoning provisions including building setbacks and height. The massing of the proposed dwelling will have the same building width as the adjacent properties. Staff are of the opinion that the requested increase in lot coverage from 35% to 36.2% is minor in nature and will not alter the character of the neighbourhood or cause any adverse impact to the adjacent properties.

Additional Comments

The minor variance application was circulated to Town Department/Divisions and to external agencies for review and comment. The following comments were provided:

Department or Agency	Comments
Building Division	Preliminary Zoning Review was completed on February 24, 2023.
Engineering Division	No objections
Operational Services (Parks)	No objections
Operational Services (Public Works)	No objection
Central York Fire Services	No objections
York Region	No objections

Department or Agency	Comments
LSRCA	No objections

Public Correspondence

Written submissions were not received at the time of writing of this report. Should written submissions be received after the writing of this report, the Secretary Treasurer will provide the submission(s) to Committee members at the meeting.

Conclusion

Planning staff have reviewed the application with respect to the Section 45(1) of the Planning Act, R.S.O, 1990, c.P.13, as amended, and are of the opinion that the requested variance meets the four tests of the Planning Act for the granting of minor variances. Staff recommend approval of the requested variance subject to the conditions outlined in Appendix 'A'.

Attachments

Appendix 'A' – Recommended Condition of Approval

Appendix 'B' – Site Plan

Appendix 'A' Recommended Condition of Approval

The following condition is required to be satisfied should application MV-2023-11, be approved by the Committee of Adjustment:

1. That the variance only applies to the subject property (Lot 20 on 65M-4773), in substantial conformity with the site plan attached as 'Appendix 'B' to this Staff Report, to the satisfaction of the Director of Planning and Development Services or designate.

PHASE 3

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Township of AURORA

COVERAGE CALCULATION

LOT No.:	20(90)
LOT AREA:	571.53 m ²
BLDG. AREA:	206.52 m ²
LOT. COV. (%):	36.14%

BUILDING HEIGHT

MAX BUILDING HEIGHT:	10.0 m
FROM:	AVG. GRADE @ FRONT
ESTABLISHED GRADE:	267.56
FF TO TOP OF ROOF:	N/A m
FF TO MEAN OF ROOF:	8.12 m
FF TO GRADE:	0.94 m
PROPOSED BUILDING HEIGHT:	9.06 m

LOT _____
REVIEWED FOR:

1. GRADING IN CONFORMITY WITH THE DRAINAGE CONCEPTS SHOWN ON THE SUBDIVISION GRADING PLANS PREPARED BY SCS CONSULTING
2. CONFORMANCE WITH THE APPROVED COMPOSITE UTILITY PLANS
3. CONFORMANCE WITH THE _____ GRADING STANDARDS.

Date: _____ Reviewed By: _____

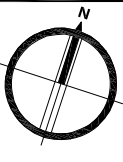
SCS CONSULTING GROUP LTD.

GENERAL NOTES:

1. BUILDER TO VERIFY LOCATION OF UTILITIES AND OTHER SERVICES. IF MIN. DIMENSIONS ARE NOT MAINTAINED, BUILDER IS TO RELOCATE AT BUILDER'S EXPENSE.
2. BUILDER TO VERIFY ELEV. OF STM. AND SAN. LATERALS IN RELATION TO BASEMENT U/S OF FOOTING ELEVATIONS FOR COMPLIANCE WITH MUNICIPAL STANDARDS PRIOR TO EXCAVATION.
3. APPROVED PERMIT DRAWINGS & CONSTRUCTION NOTES MUST BE REVIEWED AND FOLLOWED IN CONJUNCTION WITH THE SITING AND GRADING PLAN. BUILDER TO VERIFY BUILDING ENVELOPE ON SITE PLAN MATCHES APPROVED PERMIT DRAWINGS & CONSTRUCTION NOTES PRIOR TO POURING CONCRETE. IF THERE ARE ANY DISCREPANCIES, THEY ARE TO BE BROUGHT TO THE ATTENTION OF HUNT DESIGN ASSOCIATES INC.
4. UNLESS NOTED ON BUILDING ENVELOPE OR APPROVED PERMIT DRAWINGS & CONSTRUCTION NOTES, ALL TOP OF FOUNDATION WALLS INCLUDING GARAGE WALLS TO BE CONSISTENT WITH THE ELEVATION PROVIDED FOR TFW ON SITING AND GRADING PLAN. THE EXTERIOR OF THE FOUNDATION WALL TO BE PROVIDED WITH A REDUCTION OF THICKNESS FOR MASONRY VENEER AS REQUIRED.

TOWN OF AURORA
PLANNING & DEVELOPMENT SERVICES
BUILDING DIVISION
PERMIT NO.: PR20230415 DATE: Feb. 24, 2023
APPROVED BY: *Whitney Vandenberg*
PRELIMINARY ZONING REVIEW

-	-	-
-	-	-
-	-	-
RE-ISSUED FOR FINAL GRADING APPROVAL	AW	-
ISSUED FOR FINAL APPROVAL	AW	2022.12.23
ISSUED FOR PRELIMINARY APPROVAL	AW	2022.09.07
ISSUED FOR CLIENT REVIEW	AW	2022.07.13



ENGINEERED FILL LOTS	SANITARY MANHOLE	WATER SERVICE	BELL PEDESTAL	HYDRO TRANSFORMER	SAN - SANITARY LINE	DOWNSPOUTS	FF FINISHED FLOOR
STREET TREE	STORM MANHOLE	HYDRO SERVICE	CABLE PEDESTAL	PADMOUNTED MOTOR	STM - STORM WATER LINE	WINDOWS PERMITTED	TFW TOP OF FOUNDATION WALL
RETAINING WALL	VALVE & CHAMBER	SHEET DRAINAGE	HYDRO POLE	EXISTING GRADES	WATERLINE	45 MINUTE FIRE RATED WALL	BF BASEMENT FLOOR
CATCH BASIN	VALVE & BOX	STREET LIGHT PEDESTAL	HYDRO POLE GUY	PROPOSED GRADES	HYDRO LINE	(NO WINDOWS PERMITTED)	UF UNDERSIDE OF FOOTING
DOUBLE / SINGLE STM & SAN CONNECTION	HYDRANT	STREET LIGHT	STREET SIGN	SWALE DIRECTION	C GAS LINE	EXTERIOR DOOR LOCATION	WOD WALKOUT DECK
		TRAFFIC SIGNAL POWER PEDESTAL	COMMUNITY MAILBOX	EMBANKMENT / BERM MAX 3:1 SLOPE	C CABLE LINE	EXTERIOR DOOR LOCATION IF GRADE PERMITS	MOD MODIFIED
					B BELL		REV REVERSED
					HYDRO, GAS, BELL, CABLE LINE		ND NO DOOR
							HIGHLIGHTED GRADE

SITING AND GRADING PLAN

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER.

QUALIFICATION INFORMATION

Allan Whiting 23177

NAME SIGNATURE

REGISTRATION INFORMATION

HUNT DESIGN ASSOCIATES INC.

19695

HUNT DESIGN ASSOCIATES INC.

www.huntdesign.ca

GERANIUM HOMES - 215009
HIGHLAND GATE, AURORA ON

Drawn By: AW Checked By: AW Scale: 1:250 File Number: 215009SP03 Lot / Page Number: 20(90)

8966 Woodbine Ave, Markham, ON L3R 0J7 T 905.737.5133 F 905.737.7326

All drawings specifications related documents and design are the copyright property of Hunt Design Associates (H.D.A.). Reproduction of this property in whole or in part is strictly prohibited without H.D.A.'s written permission (H.D.A. assumes no responsibility or liability for this property unless it bears the appropriate BCIN number and original signature.)



100 John West Way
Aurora, Ontario
L4G 6J1
(905) 727-3123
aurora.ca

Town of Aurora
Committee of Adjustment Report
No. MV-2023-12

Subject: **Minor Variance Application**
Calloway Real Estate Investment Trust
14720-14760 Yonge Street
CON 1 PT LOT 77 RS65R18443 PT 2
File: MV-2023-12

Prepared by: **Adam Robb, MCIP, RPP, CAHP, Senior Planner**

Department: Planning and Development Services

Date: April 13, 2023

Application

The applicant is requesting relief from the requirements of the Town's Comprehensive Zoning By-law 6000-17, as amended, to permit the use of a supermarket on the subject lands. The following relief is being requested:

- a) Section 24.221.1 of the Zoning By-law states that supermarkets shall not be permitted on the lands. The applicant is requesting to include supermarkets as a permitted use.

Background

Subject Property and Area Context

The subject property, municipally known as 14720-14760 Yonge Street, is located on the west side of Yonge Street, directly south of Murray Drive. The lands are considered part of the existing SmartCentres Aurora South commercial plaza and have an approximate area of 2 hectares (5 acres). The property has a frontage along Yonge Street of approximately 120 metres and a frontage along Murray Drive of approximately 170 metres. As shown on Appendix B, the subject property contains 3 separate commercial buildings, identified as follows:

- 1) **Building B:** The former Winners building (approximately 2,555 square metres in size)

- 2) **Building C:** Multi-tenant building that includes: The State and Main, Healthy Planet, Mr. Sub, and Hakim Optical (approximately 1,549 square metres in size)
- 3) **Building D:** The Scotiabank building (approximately 604 square metres in size)

Proposal

The requested variance is to allow a supermarket as a permitted use. More specifically, the applicant is proposing to convert Building B, the former Winners Building into a supermarket. No additions, major building construction, or expansions to the existing building are proposed as a result of this minor variance.

Official Plan

The Town of Aurora Official Plan identifies the subject lands as being part of the Aurora Promenade and specifically designated as “Promenade General”. The Aurora Promenade is identified as a strategic area along the Yonge Street corridor that is planned to develop as a vibrant, mixed-use, and higher density pedestrian-oriented area. The Promenade General designation also specifically encourages an array of commercial uses, which are able to provide local access to amenities, goods, and services.

Zoning By-law 6000-17, as amended

The subject property is zoned “Community Commercial (C4)” with site specific exception number 221. The site-specific zoning approval was originally granted in 1996 to facilitate the initial commercial development. The site-specific zoning permits a wide range of retail and service commercial uses and is intended to provide opportunities to serve the commercial needs of the local neighbourhood area. The site-specific zoning permits “*Specialty food stores*”, but prohibits “*Supermarkets*”. Specialty food stores are defined in the Zoning By-law as an establishment where food products are sold with a common theme, such as a meat shop, bakery shop, fresh produce or health food store. Alternatively, a supermarket is considered an establishment that has a ground floor area greater than 1,700 square metres and offers a balanced line of goods ranging from food products to housewares.

Planning Application History

The Owner has applied for a Zoning By-law Amendment (ZBA-2021-04) on the subject property (14720-14760 Yonge Street) and the adjacent property to the south (former Canadian Tire building at 14700 Yonge Street). Additionally, a Site Plan application (SP-2021-09) has been applied exclusively for the southern property at 14700 Yonge Street only. As per the permissions of the Aurora Promenade plan, the purpose of the rezoning is to construct 5 mixed use buildings with at grade retail (ranging 6 – 7 storeys) and rows

of 3 storey townhouses. On March 8, 2023, the Owner appealed the Zoning By-law Amendment and Site Plan application to the Ontario Land Tribunal (OLT) on the basis that Council failed to make a decision within the applicable statutory timeline. Staff is waiting for the next available hearing date from the OLT.

The Owner is proposing a 2 phase, multi-year redevelopment of the area. Phase 1 is the vacant Canadian Tire building on 14700 Yonge Street with the site plan application submitted. Phase 2 would be the subject lands of this variance application which will occur over a longer-term horizon and with no site plan application yet received (14720-14760 Yonge Street).

Given the uncertainty on the timing of the planning decisions by the OLT, as well as the fact that the subject lands are part of the phase 2, longer term proposed redevelopment of the site, the Owner is proposing to occupy the vacant building “B” (Former Winners building) until the OLT makes a planning decision and when phase 2 is scheduled for redevelopment. This will ensure the continued viability of the commercial plaza.

Preliminary Zoning Review

A Preliminary Zoning Review (PZR) has been completed by the Town of Aurora’s Building Division. The PZR identified the required variance and no other non-compliance was identified.

Applicant’s stated reason(s) for not complying with the Zoning By-law

As stated on the application form, “we are exploring the option of a supermarket, which is currently not permitted”.

Planning Comments

Planning Staff have evaluated Minor Variance Application MV-2023-12 pursuant to the prescribed tests as set out in Section 45 (1) of the *Planning Act*, as follows:

a) The proposed variance meets the general intent of the Official Plan

The Promenade General designation in the Official Plan is intended to accommodate buildings and sites with an array of uses. The designation specifically permits commercial uses such as retail stores. It is the intent of the Official Plan to build a successful, functioning and vibrant ‘Aurora Promenade’ as a vital component of the Town’s economic health and identity. Employment opportunities are a key component of a complete community. The Official Plan notes that the Aurora Promenade will continue to play a key role in the provision of an array of employment opportunities. Changing the

existing vacant Building “B” (former Winners building) to a supermarket use will support the commercial objectives and policies of the Town’s Official Plan by ensuring the economic and functional viability of this plaza. With no immediate timeline on the planning decision and potential redevelopment of this site, it is planning staff’s opinion that it is important to maintain the presence and capacity of the existing commercial plaza.

The proposed supermarket use will allow for a greater range of commercial opportunities that benefit the local community. Therefore, staff are of the opinion that the requested variance meets the general intent of the Town’s Official Plan.

b) The proposed variance meets the general intent of the Zoning By-law

The existing Community Commercial C4 (221) site-specific zoning from 1996 permits a range of commercial uses while prohibiting both a department store and a supermarket. The intent of this was to limit uses that would typically require a larger building footprint. Given that the anchor tenant was determined to be the Canadian Tire building on 14700 Yonge Street with a large building footprint, the decision was made to limit the remainder of the lands on 14720-14760 Yonge Street to smaller scale retail to encourage a wider range of commercial uses. As such, the site-specific zoning defined the term “Supermarket” to restrict the construction of a supermarket with a floor area greater than 1,700 square metres.

The intent of the current zoning is also not to expressly prohibit the sale of food or related items as occurs in a supermarket, but rather to limit the related scale of a supermarket on the property. Given, that both retailers (Canadian Tire and Winners) have relocated, currently no anchor tenant exists on the site. The Owner is proposing to change the use from a former retail clothing store into a supermarket without expanding or altering the building footprint. Given that the built form has already been established in the community for over 25 years, Staff have no concerns with the supermarket use as the anchor tenant and anticipate no adverse impacts. Staff are of the opinion the requested variance meets the general intent of the Zoning By-law.

c) The proposed variance is considered desirable for the appropriate development of the land

The applicant has confirmed there are over 259 parking spaces provided in the plaza. The Town’s Zoning By-law requires 5.4 spaces per 100 square metres for shopping centres, which the current site exceeds (approximately 253 spots required; 259 provided). The applicant has also confirmed that the inclusion of any related shopping cart corrals are not anticipated to impact the number of parking spaces provided. There is also sufficient access to the site from both Murray Drive and Yonge Street, with the property being an

established commercial plaza since 1996. The preliminary zoning review only identified the subject variance with no other non-conformities existing, and the requested variance will not result in any new construction or development of the site. Permitting a supermarket makes use of existing infrastructure and will not cause any adverse impacts.

From an economic perspective, the requested variance provides an opportunity to enhance the commercial offering for the area and anchor the existing plaza that has been subject to both the Canadian Tire and Winners re-locating. The proposal will assist in providing local amenities, services, and access to goods to help promote a complete and accessible community for residents. The site is also highly accessible by transit, and the use will generate local employment opportunities. Additionally, the permitting of a supermarket use is compatible in the current built-form context and will continue to be compatible should the southern vacant Canadian Tire parcel redevelop.

Staff are of the opinion that the requested variance is desirable for the lands.

d) The proposed variance is considered minor in nature

The proposed variance represents the reuse of existing buildings within an established and recognized commercial shopping centre. The proposed use is compatible with the surrounding area and will not result in any negative impacts. Food sales and specialty food stores are already permitted on the subject lands and the introduction of a supermarket will enhance the overall commercial offering and vitality of the plaza to the benefit of the local community.

Overall, staff are of the opinion that the requested variance is minor in nature.

Additional Comments

The minor variance application was circulated to Town Department/Divisions and to external agencies for review and comment. The following comments were provided:

Department or Agency	Comments
Building Division	Preliminary Zoning Review completed. No other noncompliance identified
Engineering Division	No objections
Operational Services (Parks)	No objections
Operational Services	No objections

Department or Agency	Comments
(Public Works)	
Central York Fire Services	No comments received at the time of writing this report
York Region	No objections
LSRCA	No comments received at the time of writing this report. No new development is proposed.

Public Correspondence

Written submissions were not received at the time of writing of this report. Should any written submissions be received after the writing of this report, the Secretary Treasurer will provide the submission(s) to Committee members at the meeting.

Conclusion

Planning staff have reviewed the application with respect to Section 45 (1) of the Planning Act, R.S.O. 1990, c.P.13, as amended, and are of the opinion that the requested variance meets the four tests of Planning Act for granting of minor variances. Staff recommend approval of the requested variances.

Attachments

Appendix 'A' – Recommended Conditions of Approval

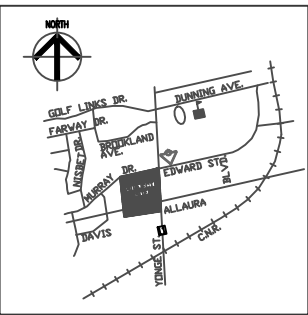
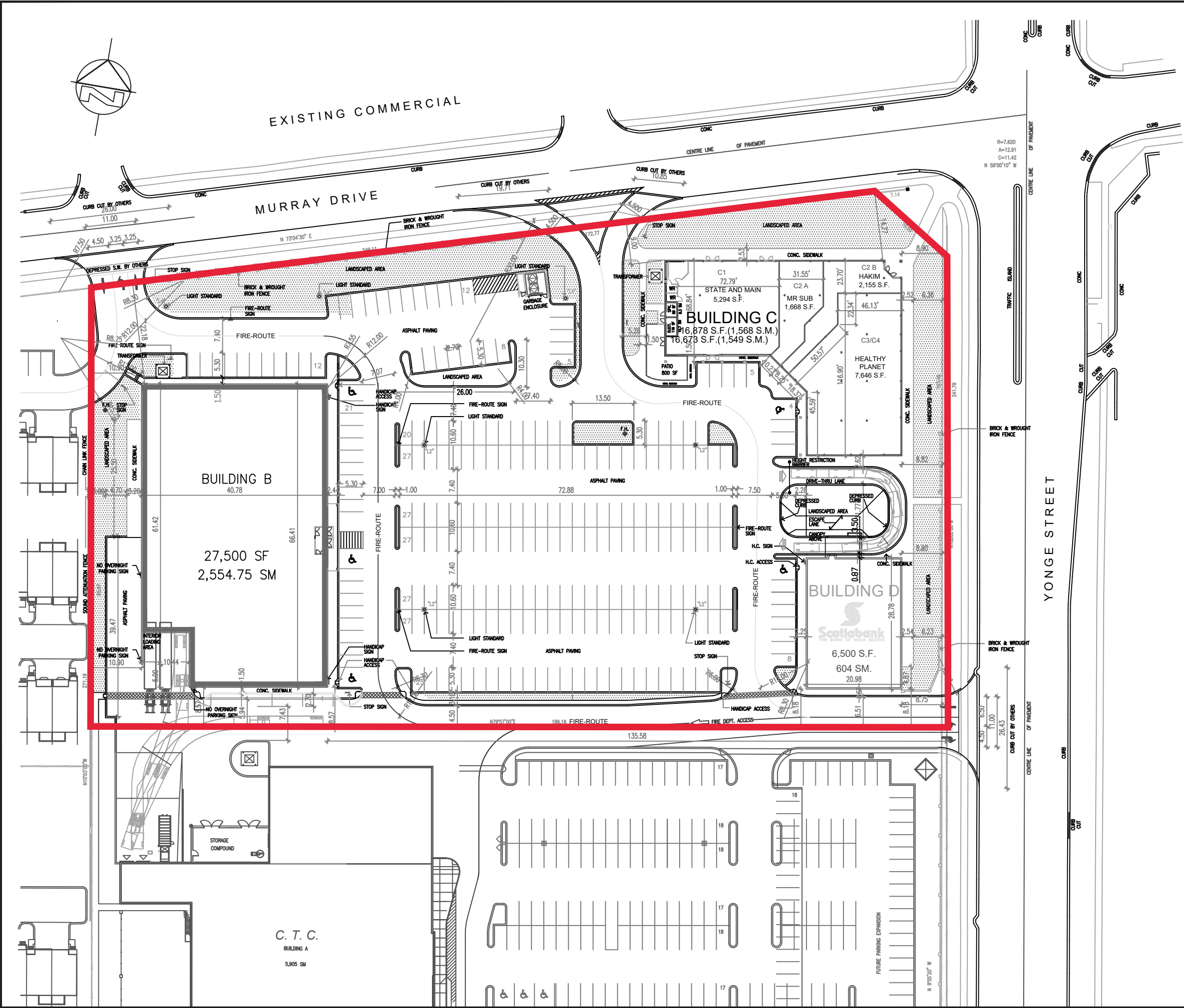
Appendix 'B' – Existing Site Plan (no new construction occurring)

\

Appendix 'A' – Recommended Conditions of Approval

The following conditions are required to be satisfied should application MV-2023-12 be approved by the Committee of Adjustment:

1. That the variance only applies to the subject property, in substantial conformity with the plan(s) attached as Appendix 'B' to this staff report, to the satisfaction of the Director of Planning and Development Services or designate.



KEY PLAN

SITE STATISTICS

MUNICIPAL ADDRESS - 14700 YONGE STREET
TOWN OF AURORA.

TOTAL SITE AREA: 19,859 SM (4.91 ACRES)

TOTAL BUILDING AREA: 4,707.75 SM(50,673 SF)

TOTAL PARKING PROVIDED:
259 CARS 5.50/100 SM (5.11/1000 SF)

SD-039

THIS SITE PLAN HAS BEEN PREPARED AS AN "ILLUSTRATION OF CONCEPT" ONLY, AND SUCH CONCEPT MUST BE CONFIRMED FOR ALL BUILDING CODE, FIRE EXPOSING FACE, AND RELATED ISSUES, BASED UPON INFORMATION TO BE PROVIDED REGARDING ALL EXISTING CONSTRUCTION, LOT LINE PROXIMITY ETC.

Contractor must check and verify all dimensions on the job and report any discrepancies to the Architect before proceeding with the work.
Do not scale the drawing.
This drawing contains copyright material belonging to the Architect.
This drawing was developed for a specific purpose, use for any other purpose is not permitted.
This drawing shall not be reproduced in whole or in part without the written approval of the Architect.
This drawing must be read in the context of all the other drawings which constitute this document.

PROJECT NAME :

AURORA

LOCATION :
MURRAY DRIVE
YONGE STREET

1 110 118 ONTARIO LTD

RETROFF PARTNERSHIP ARCHITECTS
RETROFF

2000 TOWN CENTRE BLVD. SUITE 300
AURORA ONTARIO CANADA L4R 4B8
TEL: 905-476-7000 FAX: 905-476-7000

DRAWN BY: CB/BN/DR/RU/PC
CHECKED BY: AH
DATE: MAY 22, 2002
ISSUED: JANUARY 16, 2020

PROJECT No. 01191
JOB No. SD-039



100 John West Way
Aurora, Ontario
L4G 6J1
(905) 727-3123
aurora.ca

Town of Aurora

Committee of Adjustment Report

No. MV-2023-13

Subject: Minor Variance Application
Mainella
96 Soleil Boulevard
PLAN 65M4067 LOT 22
File: MV-2023-13

Prepared by: Kenny Ng, Planner

Department: Planning and Development Services

Date: April 13, 2023

Application

The applicant is requesting relief from the requirements of the Town's Comprehensive Zoning By-law 6000-17, as amended, to permit an accessory building (cabana) and a rear covered porch with a combined gross floor area of 69.3 square metres (745.94 square feet). A conceptual site plan and elevations are attached as Appendix 'B' to this report.

The following relief is being requested:

- a) Section 24.362.1.2 of the Zoning By-law requires a minimum setback of 2.0m from the side lot lines. The applicant is proposing an Accessory Structure, which is 1.9 m to the side lot line, thereby requiring a variance of 0.1 m.
- b) Section 24.362.1.3 of the Zoning By-law requires a minimum of 50% of the lot area be preserved in an open, landscaped or natural condition. The applicant is proposing more than 58% of the lot area as built or covered with impervious material, thereby requiring a variance of 8%.

Background

Subject Property and Area Context

The subject lands are municipally known as 96 Soleil Boulevard and are located on the south side of Soleil Boulevard, northeast of the intersection of Bloomington Road and Bathurst Street. The subject lands have an approximate lot area of 1,105.56 square

metres (0.27 acres), and an approximate lot frontage of 25.91 metres (85 feet). The property currently contains a two-storey single-detached dwelling with an approximate gross area of 297.94 square metres (3,207 square feet). The surrounding neighbourhood is residential and generally characterized by larger two storey dwellings. A high school (École secondaire catholique Renaissance) and open sports field are located immediately to the south of the site.

Proposal

The owner is proposing to construct a cabana with a gross floor area of 41.8 square metres (450 square feet) and rear covered porch with a gross floor area of 27.5 square metres (296 square feet).

Official Plan

The subject property is designated “Low Density Suburban Residential” by the Town of Aurora Official Plan (OPA 34). Single detached dwellings and uses accessory to the residential use including cabanas are permitted by the Official Plan.

Zoning By-law 6000-17, as amended

The subject property is zoned “Detached Third Density Residential – Exception 362 R3 (362)” by Zoning By-law 6000-17, as amended, which permits single detached dwellings and accessory buildings as part of a site-specific approval for the initial development of the residential subdivision.

Preliminary Zoning Review

A Preliminary Zoning Review (PZR) has been completed by the Town of Aurora’s Building Division. The PZR identified the required variances and no other non-compliance was identified.

Applicant’s stated reason(s) for not complying with the Zoning By-law

The applicant did not state a specific reason for the non-compliance in the application form, but the proposal represents a general desire to increase the functionality of the rear yard amenity area of the property.

Planning Comments

Planning Staff have evaluated Minor Variance Application MV-2023-13 pursuant to the prescribed tests as set out in Section 45(1) of the Planning Act, as follows:

a) The proposed variance meets the general intent of the Official Plan

The “Low Density Suburban Residential” designation provides for ground-oriented housing with larger individual lots. The variances requested are not anticipated to have any significant negative impact on the character of the existing residential neighbourhood, nor result in any incompatibility concerns. The proposed cabana and rear covered porch provide for additional amenity space for the homeowners and the built form generally conforms with the structural and architectural expression of the subject property and surrounding neighbouring properties. Town engineering staff have also requested conditions relating to stormwater runoff/drainage due to the proposed increase of impervious area, and this will ensure that drainage will not be an issue as a result of the development.

As such, staff are of the opinion that the proposed variances meet the general intent of the Official Plan.

b) The proposed variances meet the general intent of the Zoning By-law

The intent of the side yard setback provision is to ensure adequate spacing between buildings is provided for privacy, landscaping, access, and drainage. It is staff’s opinion that the requested reduced setback will still provide adequate space between neighbouring properties. The proposed cabana does not have a significant footprint and the height of 3.47 metres is well below the zoning limit of 4.5 metres for accessory buildings. The requested reduction in side yard setback is marginal and no negative impacts are anticipated.

The intent of the minimum area to remain landscaped, open or in natural condition provision is to ensure that adequate soft landscape features (grass, trees, shrubs, flowers, etc.) are provided, and that the property’s drainage and stormwater management capability is not impacted by having too much impervious surface area. As requested by Town engineering staff, the applicant must provide a grading and drainage plan and a stormwater/drainage impact assessment report which includes mitigative measures to offset any impacts as a result of the increased hard surface area. The proposed works are also located exclusively in the rear yard of the property, effectively screening them from public view, and ensuring the open area streetscape presence of the front yard area is maintained. Due to the larger lot size, there is also ample open and green space still provided on the property.

As a result of the above, staff are of the opinion that the requested variances are in keeping with the intent of the Zoning By-law.

c) The proposed variances are considered desirable for the appropriate development of the land

Staff are of the opinion that the proposed variance to reduce the side yard setback is desirable, as the requested reduction is marginal and provides for additional amenity space with there still being adequate separation for privacy and maneuvering. The visual impact of the structure is also partially mitigated by the existing fence, while the roof of the proposed cabana will be employing a rather shallow slope to avoid an undesirable peak. Staff also note that there is no residential property located to the back of the site, which further minimizes any potential impact of the proposed cabana. Engineering Staff has reviewed the proposed variance and has no concerns with the proposed setback in relations to the existing easements along the westerly interior side yard.

The variance to increase hard surface area is considered desirable as the front yard green space remain unchanged by the proposal, which means a consistent street front with ample greenspace is maintained and unaffected. Staff note that concerns relating to drainage and stormwater runoff will be addressed as a condition of approval with the necessary engineering submissions to be provided. The engineering submissions will be reviewed accordingly by Town staff and appropriate mitigative measures must be implemented before receiving building permit sign off.

Given the above, staff are of the opinion that the proposed variances are considered desirable for the appropriate development of the lands.

d) The proposed variances are considered minor in nature

The proposed variance for the side yard setback is minor in nature, as the requested reduction represents a negligible deviation from the zoning standard. This will also not result in any negative impacts to adjacent properties. The overall size and scale of the accessory building (cabana) is also moderate and does not pose any character incompatibility or massing concerns. The requested variance to increase the hard surface area is also considered minor as an appropriate amount of green space still remains on the property, and conditions are included to ensure no negative drainage impacts.

As such, staff are of the opinion that the requested variances are minor in nature.

Additional Comments

The minor variance application was circulated to Town Department/Divisions and to external agencies for review and comment. The following comments were provided:

Department or Agency	Comments
Building Division	Preliminary Zoning Review was completed on April 6, 2023 to confirm the variances required for the proposed development.
Engineering Division	Comments provided with appropriate conditions of approval outlined in Appendix 'A' (dated April 5, 2023).
Operational Services (Parks)	No objections
Operational Services (Public Works)	No comments received at the time of writing this report.
Central York Fire Services	No comments received at the time of writing this report.
York Region	No comments received at the time of writing this report.
LSRCA	No comments received at the time of writing this report. Proposed works are outside the Regulated Area.

Public Correspondence

Written submissions were not received at the time of writing of this report. Should written submissions be received after the writing of this report, the Secretary Treasurer will provide the submission(s) to Committee members at the meeting.

Conclusion

Planning staff have reviewed the application with respect to the Section 45 (1) of the Planning Act, R.S.O. 1990, c.P.13, as amended, and are of the opinion that the requested variance meets the four tests the Planning Act for granting of minor variances. Please refer to Appendix 'A' for recommended conditions of approval for the requested variance.

Attachments

Appendix 'A' – Recommended Conditions of Approval

Appendix 'B' – Site Plan and Elevations

Appendix 'A' – Recommended Conditions of Approval

The following conditions are required to be satisfied should application MV-2023-13 be approved by the Committee of Adjustment:

1. That the variance only applies to the subject property, in substantial conformity with the plan(s) attached as 'Appendix B' to this Staff Report, to the satisfaction of the Director of Planning and Development Services or designate; and
2. That the owner provide a report along with grading and drainage plan prepared by a Professional Engineer providing impact assessment on the stormwater runoff/drainage due to increase of impervious area more than 50% of the lot area, to the satisfaction of Planning and Development Services or designate. Any mitigative measures as required to offset such impact shall also be included in the report; and
3. The owner agree in a letter of undertaking to complete the mitigative works as required in the above noted stormwater/drainage impact assessment report and provide an engineer's certification of the completed works, to the satisfaction of the Director of Planning and Development Services or designate.

SITE DEVELOPMENT		
ZONING	RESIDENTIAL	
LOT AREA	M2	
TOTAL LOT AREA	1105.56M2	
HOUSE AREA	M2	
HOUSE FOOTPRINT	297.94m2	
PROPOSED CABANA FOOTPRINT	41.8m2	
EXISTING LOGGIA COVERAGE	27.5m2	
LOT COVERAGE	PROVIDED	
EXISTING HOUSE	26.4%	
PROPOSED CABANA	3.78%	
EXISTING LOGGIA	2.48%	
TOTAL COVERAGE	33.16%	
LANDSCAPE AREAS REAR	PROVIDED	
REAR LOT AREA	401.9m2	
HARD LANDSCAPE AREA, including pool	283.0m2	
SOFT LANDSCAPE AREA	118.9m2	

× -0.00

-Proposed Grades

× 0.00

-Existing Grades

▲

-Entrance Door

T.W

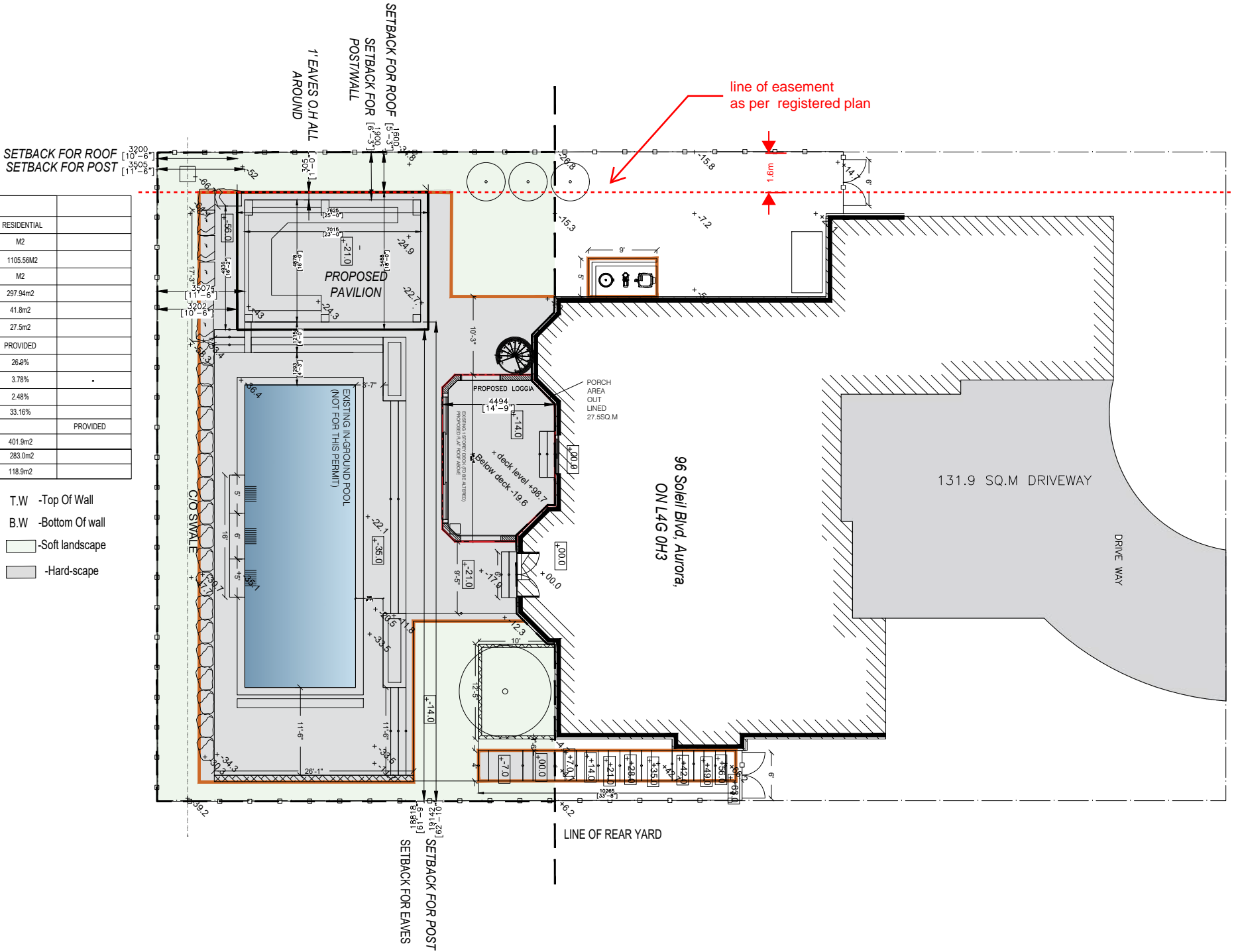
-Top Of Wall

B.W

-Bottom Of wall

-Soft landscape

-Hard-scape



1 SITE PLAN
A1 1:200

PROJECT NAME:			
96 Soleil Blvd, Aurora, ON L4G 0H3			
DRAWING TITLE:			
Site Plan			
DRAWN BY:	CHECKED BY:	APPROVED BY:	DATE:

TOWN OF AURORA
PLANNING & DEVELOPMENT SERVICES
BUILDING DIVISION
PERMIT NO.: PR20230396 DATE: Apr. 6, 2023
APPROVED BY: *Hana Hosain*
PRELIMINARY ZONING REVIEW



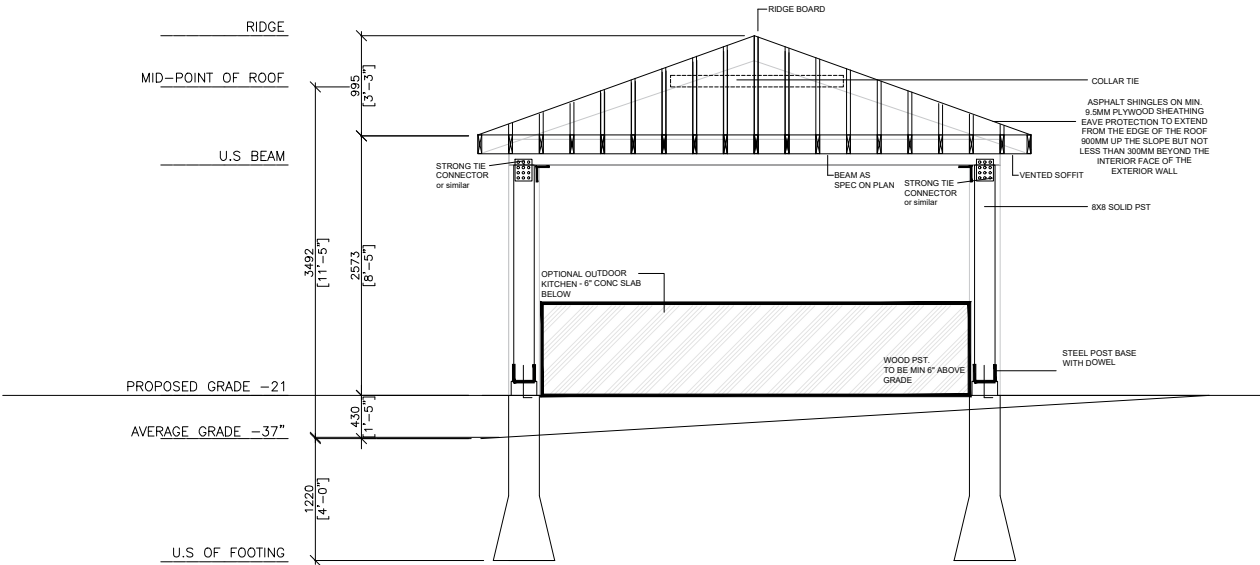
SHEET NO:
A1

rev	description	by	date
REV:	DESCRIPTION:	BY:	DATE:

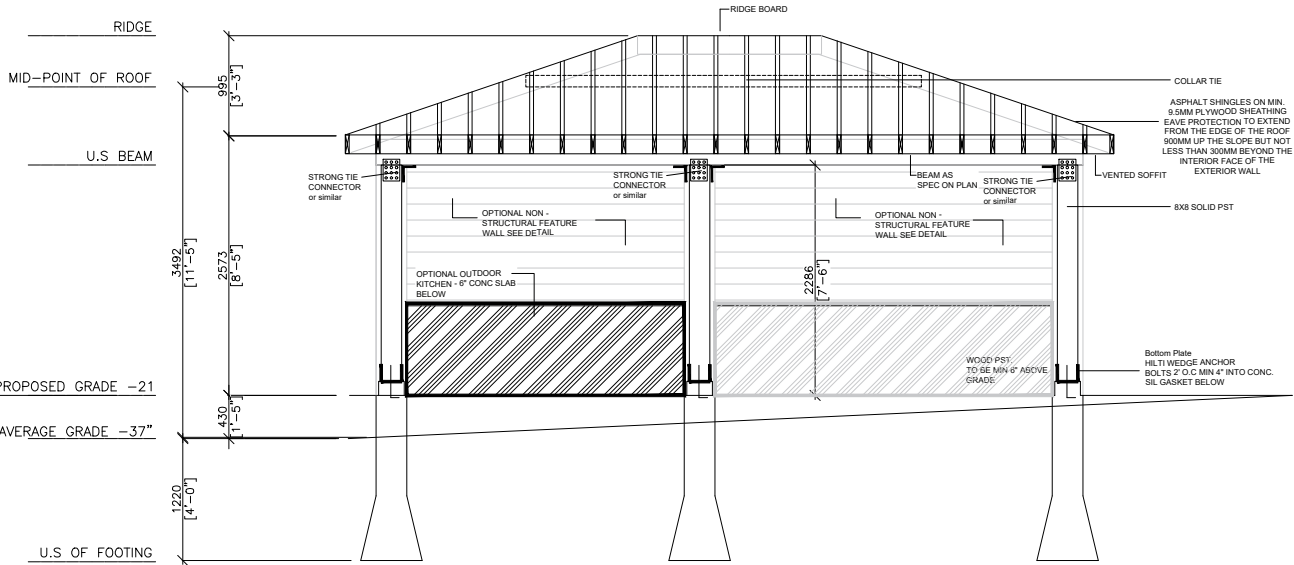
GENERAL NOTES

CONTRACTORS MUST CHECK AND VERIFY ALL DIMENSIONS AND CONDITIONS ON THE PROJECT AND MUST REPORT ANY DISCREPANCIES TO THE DESIGNER BEFORE PROCEEDING WITH CONSTRUCTION.

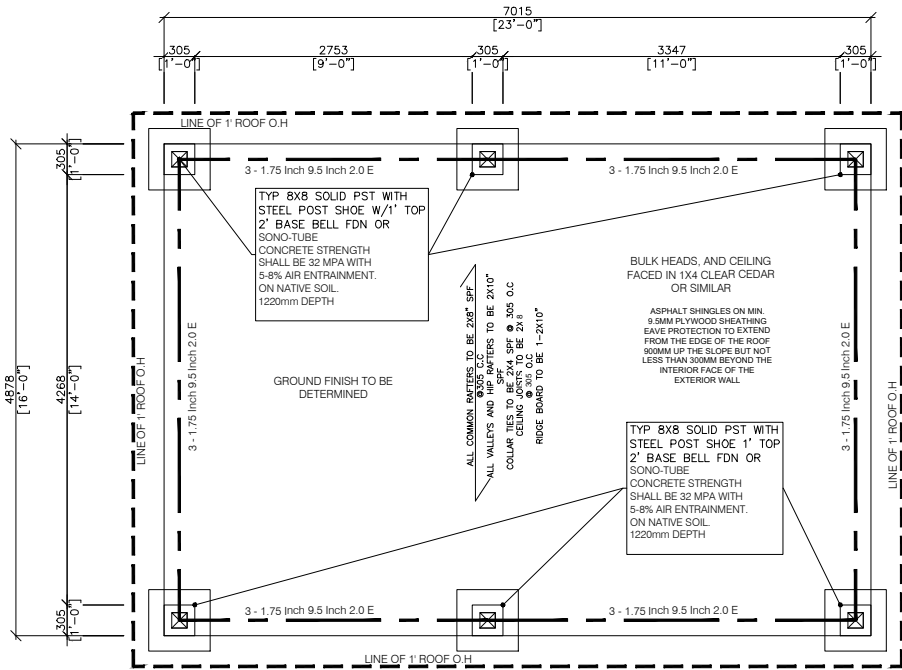
THIS DRAWING MUST NOT BE USED FOR CONSTRUCTION PURPOSES UNTIL SEALED AND SIGNED BY THE DESIGNER.



1 ELEVATION 1
A10 1:75



2 ELEVATION 1
A10 1:75



3 FLOOR PLAN/FOUNDATION PLAN
A10 1:75

rev	description	by	date
REV:	DESCRIPTION:	BY:	DATE:

GENERAL NOTES

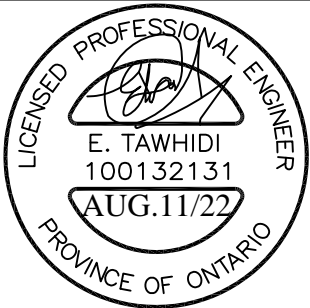
CONTRACTORS MUST CHECK AND VERIFY ALL DIMENSIONS AND CONDITIONS ON THE PROJECT AND MUST REPORT ANY DISCREPANCIES TO THE DESIGNER BEFORE PROCEEDING WITH CONSTRUCTION.

THIS DRAWING MUST NOT BE USED FOR CONSTRUCTION PURPOSES UNTIL SEALED AND SIGNED BY THE DESIGNER.

PROJECT NAME: 96 Soleil Blvd,
Aurora, ON L4G 0H3

DRAWING TITLE:
(FOUNDATION/FLOOR PLAN) REAR PORCH

DRAWN BY: CHECKED BY: APPROVED BY: DATE:



SHEET NO:
A10



100 John West Way
Aurora, Ontario
L4G 6J1
(905) 727-3123
aurora.ca

Town of Aurora

Committee of Adjustment Report

No. MV-2023-07

Subject: Minor Variance Application
Veyseh
54 Nisbet Drive
PLAN M50 LOT 6
File: MV-2023-07

Prepared by: Kenny Ng, Planner

Department: Planning and Development Services

Date: April 13, 2023

Application

The applicant is requesting relief from the requirements of the Town's Comprehensive Zoning By-law 6000-17, as amended, to permit a two-storey addition with a gross floor area of 140.81 square metres (1,516.67 square feet). A conceptual site plan and elevations are attached as Appendix 'B' to this report.

The following relief is being requested:

- a) Section 7.2 of the Zoning By-law requires a minimum front yard setback of 6.0 metres. The applicant is proposing a two-storey addition, which is 4.0 metres to the front property line, thereby requiring a variance of 2 metres.
- b) Section 24.497.3.2 of the Zoning By-law requires a minimum interior side yard setback of 1.5 metres. The applicant is proposing a two-storey addition, which is 1.3 metres to the interior side property line, thereby requiring a variance of 0.2 metres.
- c) Section 24.497.3.3 of the Zoning By-law requires a maximum lot coverage of 35%. The applicant is proposing a two-storey addition with a lot coverage of 38.4%, thereby requiring a variance of 3.4%.
- d) Section 5.4 of the Zoning By-law requires a minimum 2 parking spaces per detached dwelling unit. The applicant is proposing 1 parking space, thereby requiring a variance of 1 space.

- e) Section 4.20 of the Zoning By-law requires steps to be minimum 4.5 metres from the front property line. The applicant is proposing steps 2.5 metres from the front property line, thereby requiring a variance of 2 metres.
- f) Section 4.20 of the Zoning By-law requires an open sided roof porch to be a minimum 4.5 metres from the front property line. The applicant is proposing an open sided roof porch which is 3.1 metres from the front property line, thereby requiring a variance of 1.4 metres.

Background

Subject Property and Area Context

The subject lands are municipally known as 54 Nisbet Drive and are located north of Murray Drive on the west side of Nisbet Drive. The subject lands have an approximate lot area of 535.86 square metres (5,767.95 square feet), and an approximate lot frontage of 15.24 metres (50 feet). The subject lands currently contain a two-storey single-detached dwelling with an approximate gross floor area of 140.14 square metres (1,508.45 square feet). The surrounding neighbourhood is residential and generally characterized by one and two storey dwellings, with infill development and additions to other properties have also occurred on the street.

Proposal

The applicant is proposing to demolish the existing garage and expand the existing dwelling and construct a new attached garage. The proposed attached garage will align with the proposed new front door entrance. The proposed addition will have a gross floor area of 140.81 square metres (1,516.67 square feet), which would result in a total gross floor area of 280.95 square metres (3,025.12 square feet) when combined with the existing dwelling.

Official Plan

The subject property is designated “Stable Neighbourhoods” by the Town of Aurora’s Official Plan, which protects residential neighbourhoods from incompatible forms of development and, at the same time, permits them to evolve and enhance over time. The Stable Neighbourhoods designation provides for detached dwellings as a permitted use.

Zoning

The subject property is zoned “Detached Third Density Residential – Stable Neighbourhoods R3-SN(497) Exception 497 Zone” by Zoning By-law 6000-17, as

amended, which permits single detached dwellings. The site specific provision (497) reflects the stable neighbourhood design policy.

Preliminary Zoning Review

A Preliminary Zoning Review (PZR) has been completed by the Town of Aurora's Building Division. The PZR identified the required variances and no other non-compliance was identified.

Applicant's stated reason(s) for not complying with the Zoning By-law

As stated on the application form, "In order to have access to the new living space for a pathway from the current front door, the new garage would need to be pushed forward to allow for this access."

The applicant also submitted a supporting letter which further states their reason to apply for a minor variance:

"The current entrance to the house from the backyard is on the north side where the pathway is narrow and steps up into the kitchen area with no visibility to the backyard. The front access to our home is from the driveway and access to the backyard from the driveway is through a gate down a narrow pathway, again with no visibility to the backyard. We have considered many design options and have not been able to come up with the perfect solution. The main caveat is the current backsplit design with many different levels. According to the architects, adding new space to the house requires enough spacing between the existing build to incorporate stairs and this is the reason we have asked for a variance to shorten our setback from the front. We worked on coming up with many different ideas to avoid the minor variance but then once shown on paper to-scale, we realized that none of the ideas [in absence of minor variance] would work. However, the design proposed in this document would work for us but requires your approval. We were thinking long and hard about this plan and we consulted with multiple A+ architects. This is the only design that looks like it may solve our problems if these minor variances are accepted."

Planning Comments

Planning Staff have evaluated Minor Variance Application MV- 2023-07 pursuant to the prescribed tests as set out in Section 45(1) of the Planning Act, as follows:

a) The proposed variance meets the general intent of the Official Plan

The intent of the "Stable Neighbourhoods" designation is to ensure that mature neighbourhoods are protected from incompatible forms of development, while also

permitted to evolve and be enhanced over time. New development shall be sympathetic to the form and character of existing development with regards to building scale and urban design.

It is Planning Staff's opinion that the proposed variances are not anticipated to result in any significant negative impacts on the character and streetscape of the existing residential neighbourhood. The neighbourhood is characterized by generally one to two-storey dwellings, which this proposal aligns with, and vegetation is present in the front and side yards of the property, which creates landscaped buffering between neighbouring properties. The design of the proposed addition also aligns with the architectural expression of the existing neighbourhood.

Three of the requested variances are related specifically to the front yard setback of the property. These include the proposed addition, steps, and covered porch, which will encroach into the required front yard. As shown in Appendix "B", there is a 16.70m setback measuring from the front face of the garage to the centre line of the Street. Although setbacks are measured from the building face to property line, in this situation, there is approximately an additional 8 metres to the curb of the street. Furthermore, there is no sidewalk on the west side of Nisbet Drive, there is minimal resulting impacts to the public realm or streetscape. There is adequate front yard space remaining on the property to allow for soft landscaping and the vegetated area remains unaffected by the proposal. Although the proposed garage will extend slightly into the required front yard, this configuration of an extended garage is fairly common in the neighbourhood within the vicinity (62 Nisbet, 49 Nisbet, 51 Nisbet). The proposed porch will extend beyond the front face of the main wall of the building, which will enhance the streetscape, thus allowing for a modest, compatible design in the existing neighbourhood.

Currently, there is an interior side yard setback of 1.3m along the southerly property line. The proposed addition will follow the existing interior side yard setback on the south side, and will not further encroach into the interior side yard. Thus, keeping with the consistency and character of existing development.

The existing one car garage will be replaced with a new garage that can accommodate for one parking space and storage. There is sufficient room on the driveway to accommodate for an additional parking space, which will avoid the need for on street parking.

The lot coverage increase is marginal, while the addition itself is not too egregious in size that would result in overbuilding or incur incompatible built forms. The requested variance is also related to encouraging better access and use of the rear yard space, which allows for optimal use of the open space of the lot.

The proposed addition to the existing dwelling is generally in keeping with the surrounding context and character of the neighbourhood, and as such, Staff are of the opinion that the proposed variances meet the general intent of the Official Plan.

b) The proposed variances meet the general intent of the Zoning By-law

The intent of the front yard setback is to ensure that there is adequate separation between private property and the public realm, and to maintain the overall streetscape and provide adequate front yard area for landscaping and privacy. The encroachment resulted by the proposed addition, steps and covered porch are not too egregious that it would cause significant disruption to the public realm and create an undesirable streetscape. The existing side yard landscape buffer will help with the streetscape image and no trees are proposed to be removed. The existing dwelling is also situated at a slight angle on the lot as well, which impacts the calculation of these setbacks but still provides ample separation and spacing. It is staff's opinion that the variances related to the front yard setback will not hinder the subject development's ability to meet the objectives mentioned above, with the overall streetscape character not being adversely impacted.

The intent of the interior side yard setback is to ensure that appropriate and adequate spacing between buildings is provided for privacy, landscaping, access, and drainage. The existing interior side yard setback on the south side of the building is measured at 1.39 metre, which is a legal non-conforming condition due to the zoning by-law update in 2017 that increased the side yard setback to be 1.5 metre. The proposed addition is an extension of the existing building, and it is simply following the same setback as the existing condition. No negative impacts are anticipated. The proposed development has also taken privacy into consideration, as there will be limited window openings on the south side of the addition. The proposed windows are to be in the rear of the building, and are located on the ground level, all of which contribute to reducing any privacy concerns.

The intent of the maximum lot coverage requirement is to regulate the amount of building footprint on a property to avoid overbuilding and that sufficient open space remains available. The additional footprint from the proposed addition would not result in an oversized building that would be incompatible or appear egregious in the immediate neighbourhood, while adequate open space and front/rear yard amenity area remain available, specifically due to the slight angled orientation of the building on the lot. The proposed addition is also within the maximum building height requirement, which helps to maintain its modest, non-intrusive built form and appearance. The subject property's drainage capability will also remain functional, without any anticipated impacts.

The intent of the parking space requirement is to ensure that adequate parking spaces are provided for the residents and potential visitors to the dwelling. It is staff's opinion

that the requested variance in parking space will not result in parking related concerns, as the new garage is replacing the existing with the same number of spots provided. Staff also note that for an older subdivision with lots such as the subject property, the portion of driveway that is part of the municipal right-of-way (space beyond the front property line) does not factor into the parking space calculation, which has occurred in this case and limits the consideration of parking provided to be only one per the garage. In newer subdivisions, zoning provisions would include the driveway space beyond the property line to be part of the parking space calculation, thereby this would not require a variance to the zoning standard. In evaluating the current site conditions, it is evident that there is adequate driveway space to accommodate for additional parking needs.

As a result of the above, staff are of the opinion that the requested variances are in keeping with the intent of the Zoning By-law.

c) The proposed variances are considered desirable for the appropriate development of the land

The minor variances requested have been considered in the context of the site and the adjacent neighbourhood.

Staff are of the opinion that the proposed variances for front yard setbacks are desirable as the proposed built form and overall character of the addition will continue to be in keeping with other surrounding properties located within the residential neighbourhood. The reduced front yard setback is required to accommodate the addition, covered porch and steps which make up the southern portion of the overall building. Staff do not anticipate that the variance as requested will result in any negative impacts and that the dwelling will remain compatible with the existing and future surrounding built form.

It is in the opinion of staff that the building will continue to be in keeping with other surrounding properties and will not result in accessibility or non-conformity concerns with neighbouring properties. The deficient side yard setback is an existing condition, with no further negative impacts to result.

Staff are also of the opinion that the slightly increased lot coverage will not result in overbuilding of the site and incompatibility due to the extra building area. The requested increase is not significant in considering the overall lot area and the appearance of the building will not be too imposing to the public realm. An objective of the requested variances is to also provide additional access to the rear yard open space, with the increase in lot coverage not anticipated to impact the usability of this space.

The parking space variance is required as the driveway length is shortened by the addition, but despite this, adequate driveway space remains to still accommodate for

parking needs, plus the proposed garage will also provide for extra storage and parking space.

Given the above, staff are of the opinion that the proposed variances are considered desirable for the appropriate development of the lands.

d) The proposed variances are considered minor in nature

In considering the scale of the addition, there is minimal impact as a result of the proposed reduced front yard setbacks. The overall streetscape is conserved as the addition will be selecting buildings materials similar to the existing dwelling, and it will have a gable roofline similar to the existing building. The character of the neighbourhood is maintained as the addition's overall massing and scale is considered modest and adequate. The covered porch will also add to the overall aesthetic of the streetscape and result in an attractive front façade.

The addition will follow the existing building's side yard setback and therefore no additional negative impact is anticipated, with adequate side yard space remaining for maneuverability and accessibility. The increased lot coverage is also not anticipated to have incompatibility concerns with the overall built form. The subject property also contains sufficient parking to eliminate any concerns with parking capacity, as adequate driveway parking spaces are still available and vehicles can be parked in the proposed garage as well. As confirmed by Town engineering staff, parking on driveway that is part of the municipal ROW is permitted and would not be a concern. To this regard the parking variance is more technical in nature with no actual parking concerns anticipated to occur on the property.

As such, staff are of the opinion that the requested variances are minor in nature.

Additional Comments

The minor variance application was circulated to Town Department/Divisions and to external agencies for review and comment. The following comments were provided:

Department or Agency	Comments
Building Division	Preliminary Zoning Review was completed on March 7, 2023 to confirm the variances required for the proposed development.
Engineering Division	No objections.

Department or Agency	Comments
Operational Services (Parks)	No objections.
Operational Services (Public Works)	No objections.
Central York Fire Services	No comments received at the time of writing this report.
York Region	No objections
LSRCA	No objections.

Public Correspondence

Written submissions were not received at the time of writing of this report. Should written submissions be received after the writing of this report, the Secretary Treasurer will provide the submission(s) to Committee members at the meeting.

Conclusion

Planning staff have reviewed the application with respect to the Section 45 (1) of the Planning Act, R.S.O, 1990, c.P.13, as amended, and are of the opinion that the requested variance meets the four tests the Planning Act for granting of minor variances. Please refer to Appendix 'A' for recommended conditions of approval for the requested variance.

Attachments

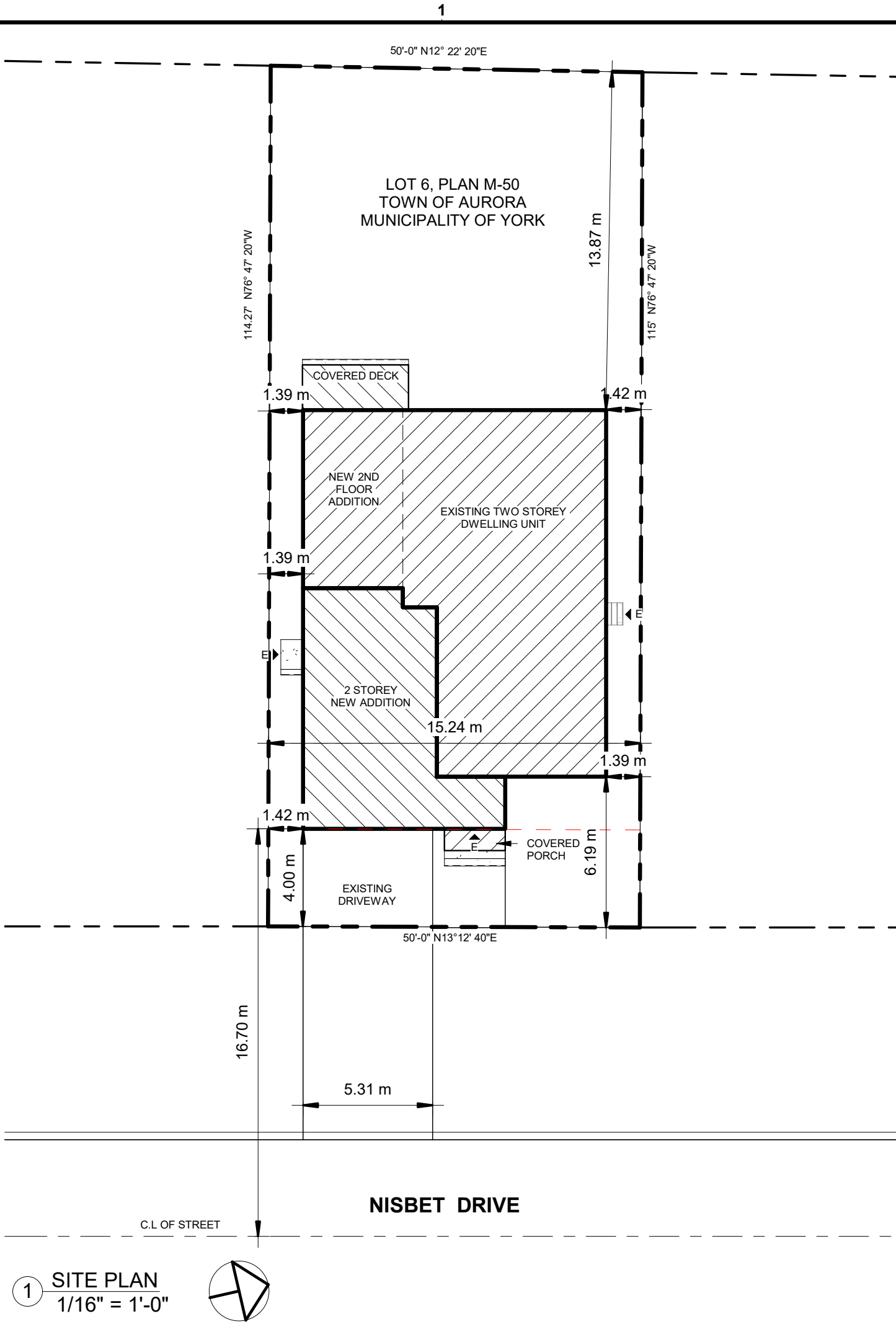
Appendix 'A' – Recommended Conditions of Approval

Appendix 'B' – Site Plan and Elevations

Appendix 'A' – Recommended Conditions of Approval

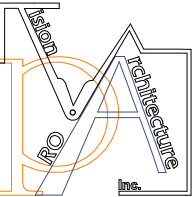
The following conditions are required to be satisfied should application MV-2023-07 be approved by the Committee of Adjustment:

1. That the variance only applies to the subject property, in substantial conformity with the plan(s) attached as 'Appendix B' to this Staff Report, to the satisfaction of the Director of Planning and Development Services or designate.



SITE STATISTICS				
Z O N I N G		Detached Third Density Residential R3-SN(497) Exception Zone		
LEGAL DESCRIPTION		Address		
		54 NISBET DR., AURORA		
Areas		Required		Proposed / Existing
Lot Area		460.00 m2		535.860 m2
Lot Frontage		15 m.		15.24 m.
Floor Area Ratio		N/A MAX. %		
Lot Coverage		Required		
Building Coverage		35% MAX.		Proposed New Coverage / Building Area
		235 sq.m.		Ex. House 144.67 sq.m. 27.00%
Porch				New Addition 58.70 sq.m. 10.95%
				Covered Porch 2.34 sq.m. 0.44%
				Covered Deck 8.12 sq.m. 1.52%
				Existing Total 213.83 sq.m. 39.90%
Landscaped/Paved Area		N/A sq.m. MIN		322.03 sq.m. 60.10%
Gross Floor Areas		Required		
		370 sq.m. MAX.		New Floor Area
First Floor Area				EXISTING
Upper 1st Floor Area				22.35 sq.m. 89.41 sq.m.
Second Floor Area				sq.m. 55.26 sq.m.
Garage				82.11 sq.m. 50.73 sq.m.
				36.35 sq.m. 0.00 sq.m.
		Total		140.81 sq.m. 140.14 sq.m.
				GRAND TOTAL 280.95 sq.m.
Setbacks		Required		Proposed
Front Yard		6 m.		4.00 m
North Side Yard		1.5 m.		1.39 m EXISTING
South Side Yard		1.5 m.		1.39 m EXISTING
Rear Yard		12.5 m.		13.87 m EXISTING
Building Height		Required		Proposed
Height of Building		MAX. 9 m.		7.54 m
		MAX. 9.9 m.		9.89 m
Parking		Existing		NEW
		1		2 SPACES

TOWN OF AURORA
PLANNING & DEVELOPMENT SERVICES
BUILDING DIVISION
PERMIT NO.: PR20230437 DATE: Mar. 7, 2023
APPROVED BY: *Melissa Bozanin*
PRELIMINARY ZONING REVIEW



PRO VISION ARCHITECTURE INC.
T:(416)800-6347 F:(647)800-0940
Email: pva@provisionarch.com
14961 YONGE ST. UNIT B, AURORA ON
L4G1M5

2023 0303

REVISION SCHEDULE			
No.	Description	Date	By

PROJECT NAME:
INTERIOR ALTERATION FOR
54 NISBET DR.

PROJECT ADDRESS:
54 NISBET DR. - AURORA, ON L4G 2K5

CLIENT'S NAME & ADDRESS:
MAJID VEYSEH
54 NISBET DR. AURORA, ON L4G 2K5

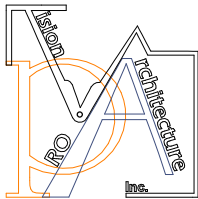
PROJECT STATUS:
MINOR VARIANCE

DRAWN S.G.
CHECKED DE
DATE: SEP 2017
SCALE: As indicated
COPYRIGHT:
2023 PRO VISION ARCHITECTURE INC.

PROJECT NO:
2311438

SHEET TITLE
SITE PLAN/EBF

SHEET
SD1



PRO VISION ARCHITECTURE INC.
T:(416)800-6347 F:(647)800-0940
Email: pva@provisionarch.com
14961 YONGE ST. UNIT B, AURORA ON
L4G1M5

2023 0303

REVISION SCHEDULE

No.	Description	Date	By
-----	-------------	------	----

PROJECT NAME:
**INTERIOR ALTERATION FOR
54 NISBET DR.**

PROJECT ADDRESS:
54 NISBET DR. - AURORA, ON L4G 2K5

CLIENT'S NAME & ADDRESS:
MAJID VEYSEH

54 NISBET DR. AURORA, ON L4G 2K5

PROJECT STATUS:
MINOR VARIANCE

DRAWN
CHECKED
DATE:
SCALE:
COPYRIGHT:
2023 PRO VISION ARCHITECTURE INC.

Author
Checker
SEP 2017

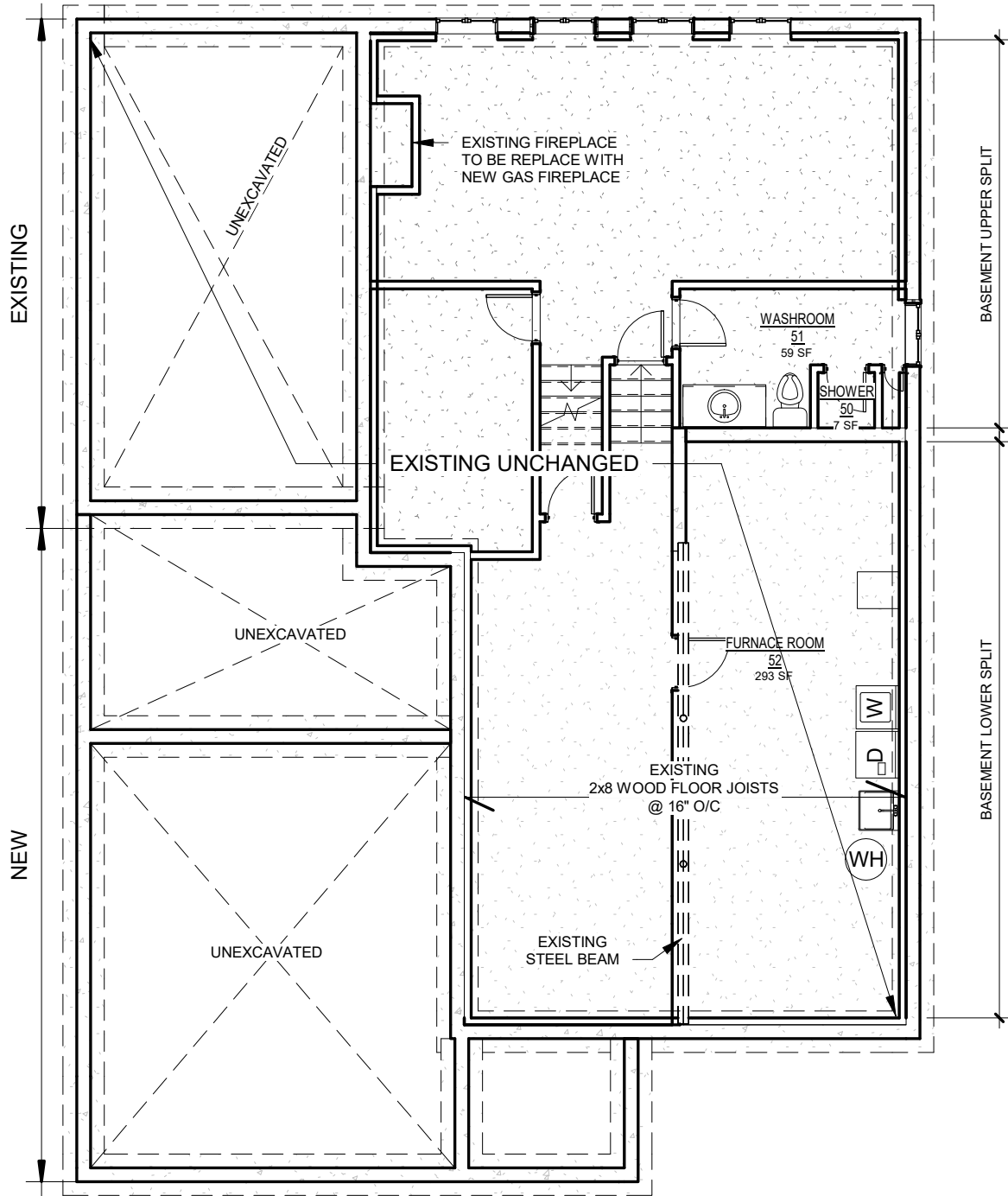
PROJECT NO:

2311438

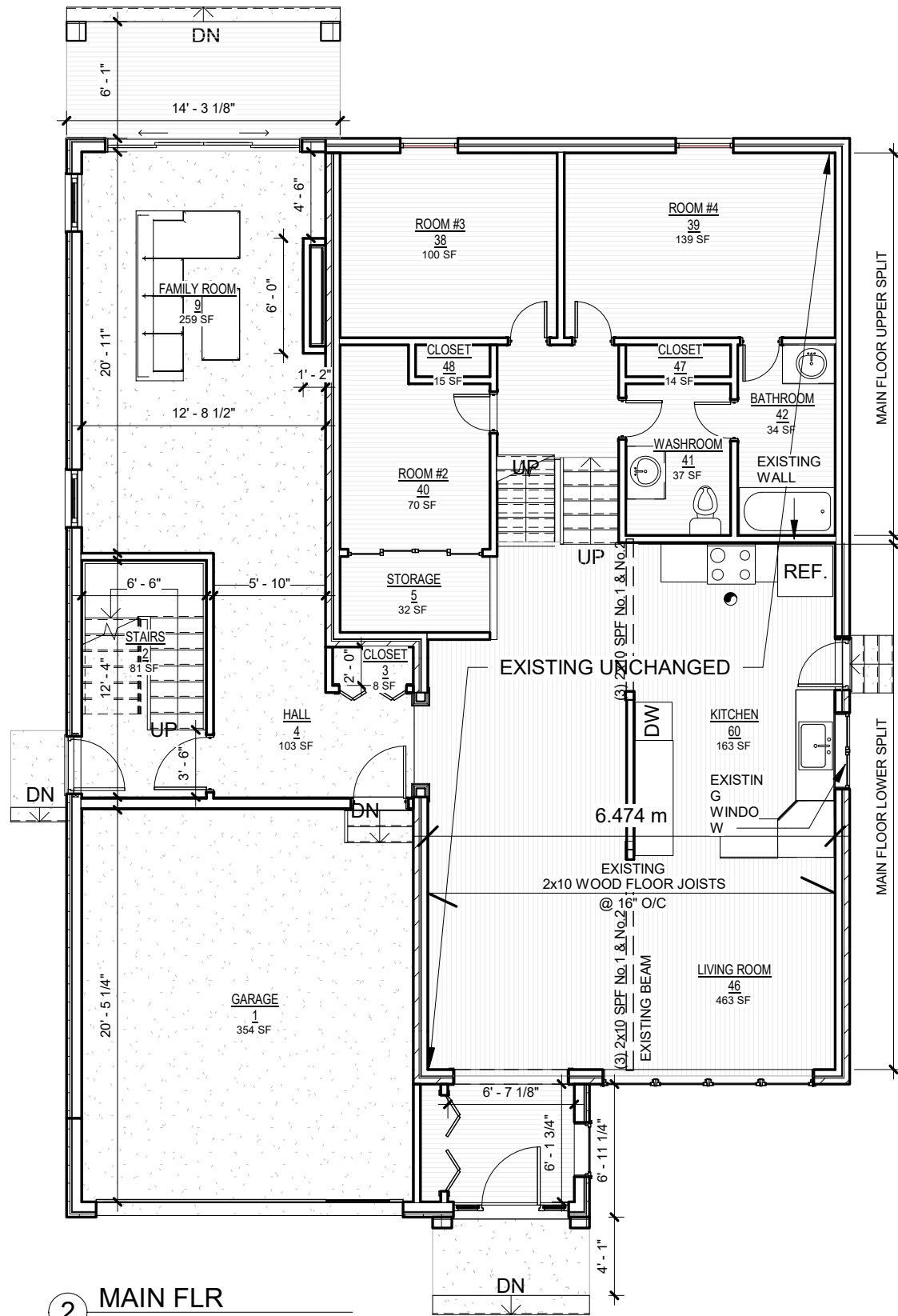
SHEET TITLE

3D VIEWS

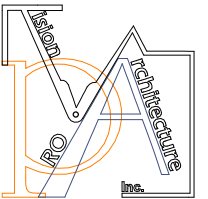
A1.0
SHEET



1 BASEMENT
1/8" = 1'-0"



2 MAIN FLR
1/8" = 1'-0"



PRO VISION ARCHITECTURE INC.
T: (416) 800-6347 F: (647) 800-0940
Email: pva@provisionarch.com
14961 YONGE ST. UNIT B, AURORA ON
L4G1M5

2023 0303

REVISION SCHEDULE

No.	Description	Date	By
-----	-------------	------	----

PROJECT NAME:
INTERIOR ALTERATION FOR
54 NISBET DR.

PROJECT ADDRESS:
54 NISBET DR. - AURORA, ON L4G 2K5

CLIENT'S NAME & ADDRESS:
MAJID VEYSEH

54 NISBET DR. AURORA, ON L4G 2K5

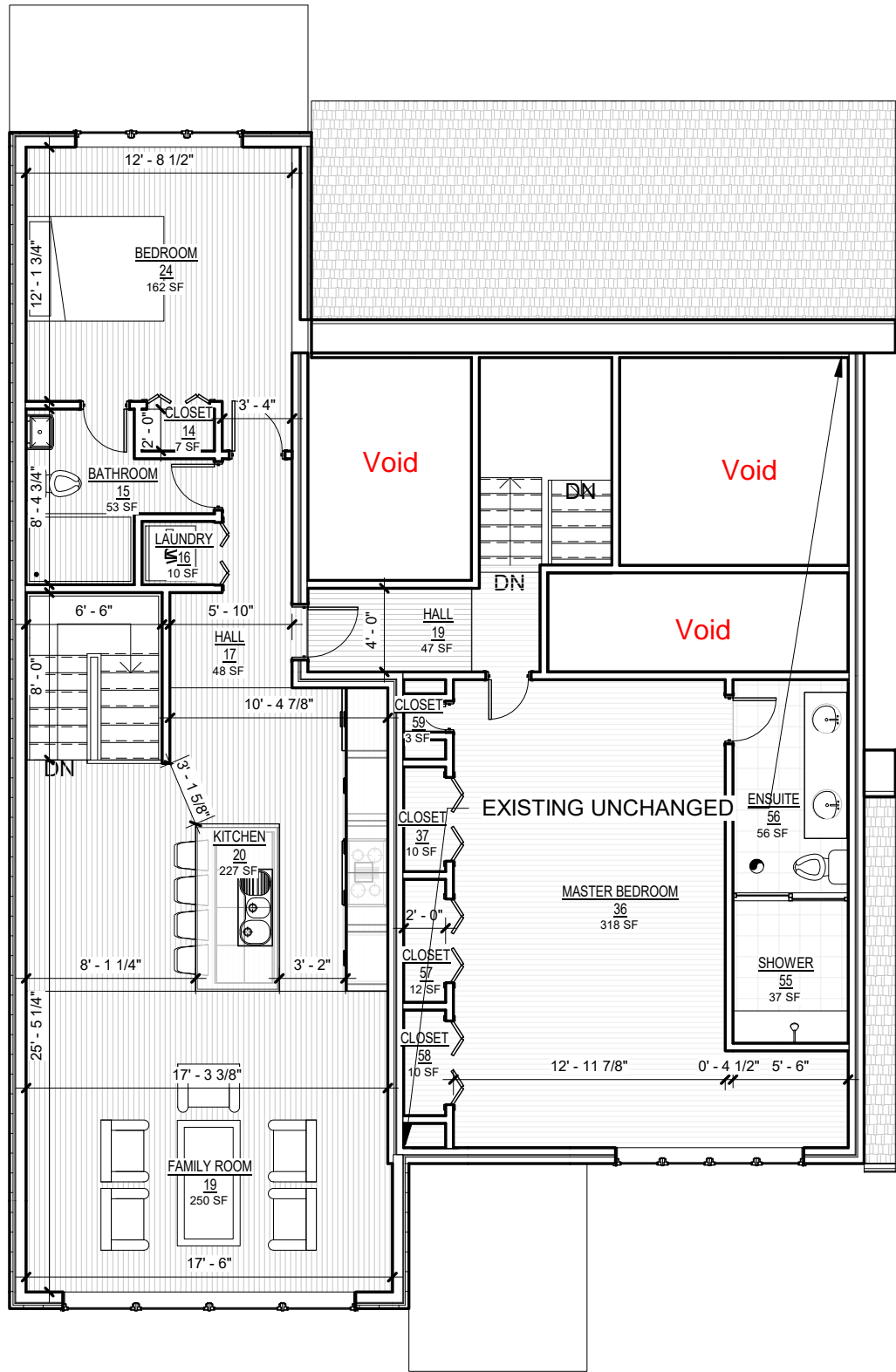
PROJECT STATUS:
MINOR VARIANCE

DRAWN SC, DE
CHECKED DE
DATE: SEP 2017
SCALE: 1/8" = 1'-0"
COPYRIGHT:
2023 PRO VISION ARCHITECTURE INC.

PROJECT NO:
2311438

SHEET TITLE
BASEMENT / 1ST FLOOR
PLANS

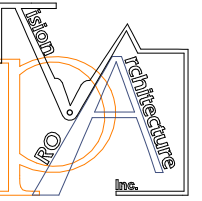
SHEET
A1.1



1 2ND FLOOR
1/8" = 1'-0"



2 ROOF PLAN
1/8" = 1'-0"



PRO VISION ARCHITECTURE INC.
T:(416)800-6347 F:(647)800-0940
Email: pva@provisionarch.com
14961 YONGE ST. UNIT B, AURORA ON
L4G1M5

2023 0303

REVISION SCHEDULE

No.	Description	Date	By
-----	-------------	------	----

PROJECT NAME:
**INTERIOR ALTERATION FOR
54 NISBET DR.**

PROJECT ADDRESS:
54 NISBET DR. - AURORA, ON L4G 2K5

CLIENT'S NAME & ADDRESS:
MAJID VEYSEH

54 NISBET DR. AURORA, ON L4G 2K5

PROJECT STATUS:
MINOR VARIANCE

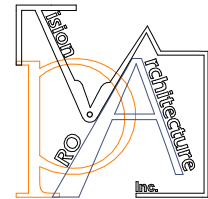
DRAWN S.G.
CHECKED Checker
DATE: SEP 2017
SCALE: 1/8" = 1'-0"
COPYRIGHT:
2023 PRO VISION ARCHITECTURE INC.

PROJECT NO:
2311438

SHEET TITLE
**2ND FLOOR / ROOF
PLAN**

SHEET
A1.2

Copyright Pro Vision Architecture Inc., O.A.A. Duplication or reproduction by any means without the express written consent of Pro Vision Architecture Inc., O.A.A. is a violation of Federal and international law. The information contained on this document are the intellectual property of Pro Vision Architecture Inc., O.A.A. and all rights thereto are Reserved. 2023-03-06 7:38:02 AM



PRO VISION ARCHITECTURE INC.
T: (416) 800-6347 F: (416) 800-0940
Email: pva@provisionarch.com
14961 YONGE ST. UNIT B, AURORA ON
L4G1M5

2023 0303

REVISION SCHEDULE

No.	Description	Date	By
-----	-------------	------	----

PROJECT NAME:
INTERIOR ALTERATION FOR
54 NISBET DR.

PROJECT ADDRESS:
54 NISBET DR. - AURORA, ON L4G 2K5

CLIENT'S NAME & ADDRESS:
MAJID VEYSEH

54 NISBET DR. AURORA, ON L4G 2K5

PROJECT STATUS:
MINOR VARIANCE

DRAWN S.G.
CHECKED Checker
DATE: SEP 2017
SCALE: 1" = 10'-0"
COPYRIGHT:
2023 PRO VISION ARCHITECTURE INC.

PROJECT NO:

2311438

SHEET TITLE

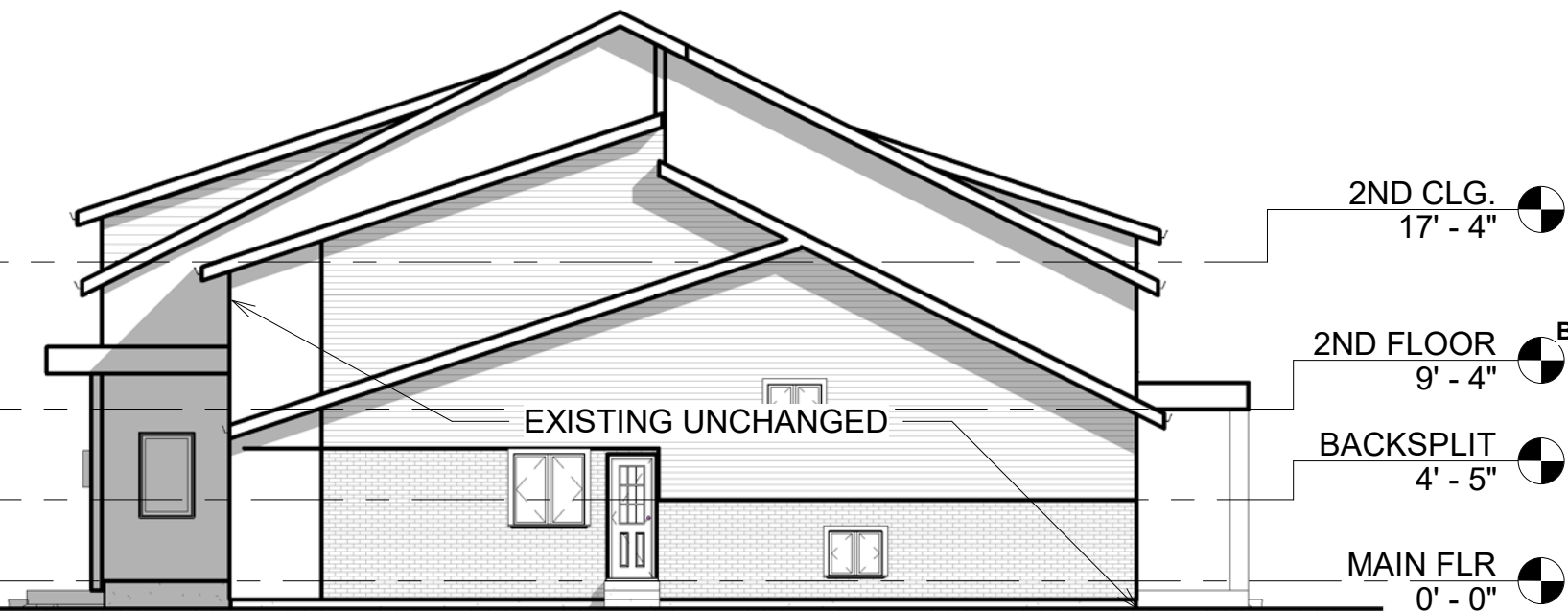
ELEVATIONS

SHEET

A1.3



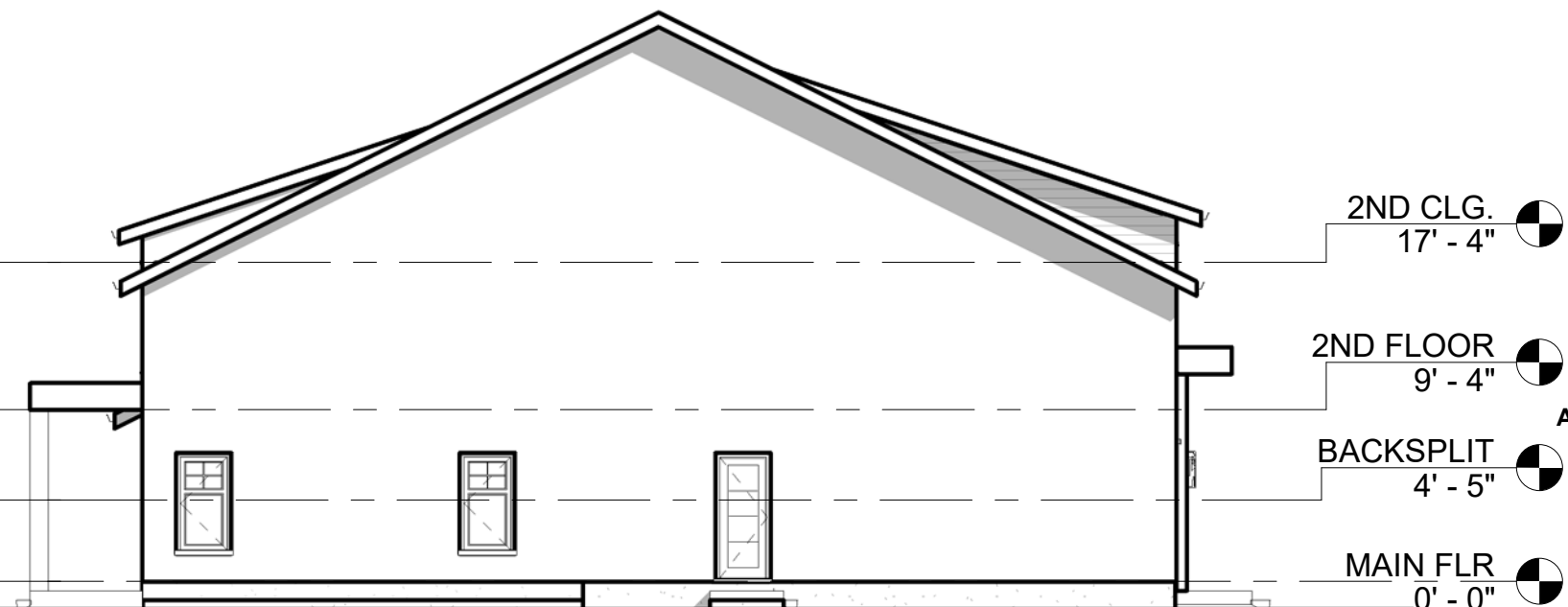
1 EAST ELEVATION
1" = 10'-0"



3 NORTH ELEVATION
1" = 10'-0"



2 WEST ELEVATION
1" = 10'-0"



4 SOUTH ELEVATION
1" = 10'-0"



100 John West Way
Aurora, Ontario
L4G 6J1
(905) 727-3123
aurora.ca

Town of Aurora

Committee of Adjustment Report

No. MV-2023-11

Subject: **Minor Variance Application**
 RP Partners Aurora Limited
 15286 – 15306 Leslie Street
 File: MV-2023-09
 Related Applications: OPA-2016-03, ZBA-2016-07, SP-2020-06

Prepared by: Adam Robb, MPL, MCIP, RPP, CAHP, Senior Planner

Department: Planning and Development Services

Date: April 13, 2023

Application

The applicant is requesting relief from the requirements of the Town's Comprehensive Zoning By-law 6000-17, as amended, to facilitate the approved inclusion of 15 additional units in each apartment building on site. The Ontario Land Tribunal approved the related Official Plan and Zoning by-law Amendment to permit a total of 345 units over three apartment buildings, with one apartment building (115 units) dedicated as affordable housing. The property contains two site specific zones, each with the same technical provisions, but with one site specific zoning being for the dedicated affordable housing building and subject to a Holding provision to ensure related affordable housing agreements are implemented.

The following relief is being requested over the property and the two site specific zones:

Site Specific Zone RA2 (535) – Two apartment buildings:

- a) Section 24.535.2.1 of the Zoning By-law requires a minimum lot area per dwelling unit of 60.0 square meters. The applicant is proposing a lot area of 52.0 square meters per dwelling unit to accommodate the approved unit total being provided.
- b) Section 24.535.2.1 of the Zoning By-law only permits an amenity room above the 7th storey if it does not exceed 450 square meters. The applicant is proposing an amenity room with a GFA of 528 square metres, with the increase in size necessary to accommodate the approved unit total being provided.

Site Specific Zone (H) RA2 (536) – One apartment building as affordable housing:

- c) Section 24.536.2.1 of the Zoning By-law requires a minimum lot area per dwelling unit of 60.0 square meters. The applicant is proposing a lot area of 52.0 square meters per dwelling unit to accommodate the approved unit total being provided.
- d) Section 24.536.2.1 of the Zoning By-law only permits an amenity room above the 7th storey if it does not exceed 450 square meters. The applicant is proposing an amenity room with a GFA of 528 square metres, with the increase in size necessary to accommodate the approved unit total being provided.

Background**Subject Property and Area Context**

The subject lands are municipally known as 15286 and 15306 Leslie Street. The property is generally located on the west side of Leslie Street, just north of Wellington Street East. The subject lands have an approximate area of 1.8 hectares (4.47 acres) and a frontage along Leslie Street of approximately 114.5 metres (375.7 feet).

Two single detached dwellings were previously located on the subject lands, one for each municipal address (15286 and 15306 Leslie), but they have since been demolished with permits issued by the Town. Official Plan and Zoning Bylaw Amendment approvals have also been issued for the subject lands with details on these previous applications provided below.

Related Planning Application History

The Ontario Land Tribunal approved the related site specific Official Plan and Zoning By-law Amendment in 2022. The site specific approvals for the lands were to facilitate the development of three, 7 storey apartment buildings each with a total of 115 units for an overall total of 345 units. Two site specific zoning categories exist over the lands. Although the same zoning provisions and standards apply, this was developed to account for two buildings under one site specific zoning, and the remaining building under its own site specific zoning. The building with its own site specific zoning is dedicating the entire 115 units for affordable housing as per section 37 of the Planning Act and the Town's Official Plan bonusing provisions.

Currently, the Site Plan Application (SP-2020-06) for the development of the lands is still under review. Originally, the architectural plans were based on 100 units for each apartment, but subsequent planning approval has been granted for 115 units per

apartment building as a means of accommodating more affordable housing opportunities on site, and thus the architectural plans were updated with the subject variances required.

Proposal

The requested variances are necessary to account for the reduction of lot area per dwelling unit from 60 square metres (646 sq ft) to 52 square meters (560 sq ft) and an increase to the indoor amenity area from 450 square metres (4,844 sq ft) to 528 square metres (5,683 sq ft) for all three buildings on the site.

Official Plan

Secondary Plan (OPA 30) with site specific policy #27

As per the Ontario Land Tribunal decision dated August 26, 2022, the subject lands are designated as “Medium-High Density Residential”, and “Linear and Other Open Space”. The “Medium-High Density Residential” designation permits a range of above grade housing forms. The “Linear and Other Open Space” designation was developed to ensure the protection of the existing woodlot areas to the rear of the site. The following are clauses from site specific policy #27:

- I. The Subject Lands are permitted to be used for three (3) residential apartment buildings with a total of approximately 345 residential units to a maximum height of seven (7) storeys. Mechanical penthouses and amenity floor space above the 7th floor shall be permitted.
- II. Notwithstanding Policy 3.2.2(b) of the Bayview Northeast Area 2B Secondary Plan (OPA 30), a maximum gross density of generally 191 units per hectare, or 79 units per acre, and a maximum building height of seven (7) storeys is permitted. Mechanical penthouses and amenity floor space above the 7th floor shall be permitted.
- III. In accordance with Policy 4.5 (Bonusing) of OPA 30, Section 37 of the Planning Act shall be utilized for an appropriate public benefit in return for an increase in height and density. In accordance with Section 6.3 (Affordable Housing) of the Official Plan, the Town of Aurora has identified affordable housing as the Section 37 public benefit.
- IV. The implementing Zoning By-law amendment will establish site specific provisions by incorporating appropriate development standards for the Subject Lands.

- V. A holding provision in accordance with Section 36 of the Planning Act shall be implemented for a portion of the Subject Lands to allow for a portion of the site to be developed as affordable housing. The lands subject to the “H” may be acquired by the Region of York or another non-profit organization for the purpose of providing affordable housing.
- VI. The detailed design of the public realm and other site plan matters will be finalized to the satisfaction of the Town of Aurora prior to Site Plan Approval for the proposed development.

Zoning

The subject lands are zoned “Second Density Apartment Residential Exception Zone 535 (RA2(535))”, “Holding Second Density Residential Exception Zone 536 (H)RA2(536)” and “Environmental Protection (EP)”. The Environmental Protection Zone designation refers to protection of the existing woodlots. The portion of the subject lands zoned as RA2(535) permits two apartment buildings with a maximum of 230 units. The portion of the subject lands zoned as (H)RA2(536) permits one apartment building with a maximum of 115 units. The holding provision only applies to (H)RA2(536), which can only be lifted and no development may occur until the following has been satisfied:

- a) Execution of the Section 37 Agreement between the Town and the Owner;
- b) Execution of the Site Plan Agreement between the Town and the Owner;
- c) One of the following:
 - i. Executed agreement between York Region Housing Inc. or another affordable housing provider and the property Owner; or

The Town uses the Section 37 contribution for other purposes and the Owner has made satisfactory arrangement to pay the Section 37 contribution.

Through the approval of this subject minor variance, the holding provisions as outlined above will largely be able to be satisfied, as the Site Plan Approval and Agreement can proceed, and affordable housing units can be provided in line with the approved Zoning and Official Plan Amendments with any necessary agreements able to be executed with the appropriate affordable housing provider.

Preliminary Zoning Review

A Preliminary Zoning Review (PZR) has been completed by the Town of Aurora's Building Division. The PZR identified the required variances and no other non-compliance was identified.

Applicant's stated reason(s) for not complying with the Zoning By-law

As stated on the application form, "Variances requested are a result of 15 additional units approved for each building after the site-specific zoning by-law was approved".

Planning Comments

Planning Staff have evaluated Minor Variance Application MV-2023-09 pursuant to the prescribed tests as set out in Section 45(1) of the *Planning Act*, as follows:

a) The proposed variances meet the general intent and purpose of the Official Plan

The general intent and purpose of the Official Plan and site specific policy #27 is to allow for three apartments buildings on the site with 115 units each and provide opportunities for a range and mix of housing to accommodate growth and housing needs within the Town and Region at large. The proposed development will be able to accommodate 345 units, ranging in sizes, and also facilitate the development of much needed affordable housing opportunities for residents. The location of the proposal is also highly accessible by public transit, and close to both service and commercial amenities, while also representing an appropriate approved density. The requested variances also do not alter the location of the buildings on site or approved unit totals, as they are based on the updating of architectural plans in line with planning approvals. There is no new site alteration contemplated by the proposed and no impacts to local natural heritage or woodlots as a result of these variances.

Staff are of the opinion that the general intent of the Official Plan is being maintained.

b) The proposed variances meet the general intent and purpose of the Zoning By-law

The general intent and purpose of the maximum amenity area provision is to ensure appropriate amenity area is provided for residents without increasing the overall building height. There will be ample amenity space provided to satisfy the Zoning By-law requirement of 18 square metres being provided per unit, including both indoor and outdoor space. Increasing the amenity area as part of this variance application allows the future residents to have the appropriate access to amenity space on site, and is allowable per the height provisions of the approved development.

The general intent of the minimum lot area per dwelling unit provision is to ensure there is an appropriate and balanced ratio of land area on site to each apartment unit. The proposed density was discussed and approved at the Ontario Land Tribunal. It is Staff's opinion that there is sufficient passive and active recreational space for residents, including through balconies and open space areas that compensates for the reduction in lot area per unit, and that the land area itself will not appear to be unbalanced by the proposed reduction.

Staff are of the opinion that the general intent and purpose of the Zoning By-law is maintained.

c) The proposed variance is considered desirable for the appropriate development of the land

The proposed variances are desirable in that they are able to provide more affordable and diverse housing opportunities for residents. The development is located in a highly accessible location with access to goods, services and amenities, including public transit. The requested variance helps to achieve the Town's, Region's, and Province's housing, growth, and intensification goals, while doing so in a manner that promotes complete communities. The increase of amenity area is also beneficial and desirable as part of providing passive and active recreational opportunities for residents. Visually the buildings and lot will be the same, as the changes are mainly occurring within the building itself with no change to the façades or overall balance of the lot area.

Staff are of the opinion that the variances are desirable and represent the appropriate development of the land.

d) The proposed variances are considered minor in nature

Given the discussion above, it is the opinion of Staff that the proposed variances are not anticipated to cause any unacceptable adverse impacts. There are adequate services and amenities to justify the reduction of minimum lot area per dwelling unit and the increased amenity area provides appropriate space for residents as per the OLT's decision.

Additional Comments

The minor variance application was circulated to Town Department/Divisions and to external agencies for review and comment. The following comments were provided:

Department or Agency	Comments
Building Division	Preliminary Zoning Review was completed.

Department or Agency	Comments
Engineering Division	No Objections
Operational Services (Parks)	No Objections
Operational Services (Public Works)	No Objections
Central York Fire Services	No Objections
York Region	No Objections
LSRCA	No Objections. Condition listed in Appendix A.

Public Correspondence

Written submissions were not received at the time of writing of this report. Should written submissions be received after the writing of this report, the Secretary Treasurer will provide the submission(s) to Committee members at the meeting.

Conclusion

Planning staff have reviewed the application with respect to Section 45 (1) of the Planning Act, R.S.O, 1990, c.P.13, as amended, and are of the opinion that the requested variance meets the four tests of Planning Act for granting of minor variances. Staff recommend approval of the requested variances.

Attachments

Appendix 'A' – Recommended Conditions of Approval

Appendix 'B' – Site Plan, Elevations, Interior Plans

Appendix 'A' – Recommended Conditions of Approval

The following conditions are required to be satisfied should application MV-2023-09 be approved by the Committee of Adjustment:

1. That the variance only applies to the subject property, in substantial conformity with the plan(s) attached as Appendix 'B' to this staff report, to the satisfaction of the Director of Planning and Development Services or designate.
2. That the Owner shall pay the LSRCA Plan Review Fee in accordance with the approved Fees Policy (Note: payment is currently outstanding for the LSRCA review of the minor variance application of \$536.00 per the LSRCA 2023 Fee Schedule).

Sheet List	
Sheet Number	Sheet Name
A0.0a	PROJECT STATISTICS W/ MATRIX
A0.0b	ADDITIONAL PROJECT STATS
A0.1	PROPOSED SITE PLAN
A1.1	PARKADE LEVEL-2
A1.2	PARKADE LEVEL-1
A1.3	BASEMENT PLAN, BLDNG 1
A1.4	1ST FLOOR PLAN, BLDNG 1
A1.5	2ND TO 6TH FLOOR PLAN, BLDNG 1
A1.6	7TH FLOOR PLAN, BLDNG 1
A1.7	MECH./ELEC. PENTHOUSE PLAN, BLDNG 1
A1.8	1ST FLOOR PLAN, BLDNG 2
A1.9	2ND TO 6TH FLOOR PLAN, BLDNG 2
A1.10	7TH FLOOR PLAN, BLDNG 2
A1.11	MECH./ELEC. PENTHOUSE PLAN, BLDNG 2
A1.12	1ST FLOOR PLAN, BLDNG 3
A1.13	2ND TO 6TH FLOOR PLAN, BLDNG 3
A1.14	7TH FLOOR PLAN, BLDNG 3
A1.15	MECH./ELEC. PENTHOUSE PLAN, BLDNG 3
A1.16	MAIL ROOMS
A2.1	FRONT ELEVATION (BLDNG 1)
A2.2	LEFTSIDE ELEVATION (BLDNG 1)
A2.3	REAR ELEVATION (BLDNG 1)
A2.4	RIGHTSIDE ELEVATION (BLDNG 1)
A2.5	FRONT ELEVATION (BLDNG 2)
A2.6	LEFTSIDE ELEVATION (BLDNG 2)
A2.7	REAR ELEVATION (BLDNG 2)
A2.8	RIGHTSIDE ELEVATION (BLDNG 2)
A2.9	FRONT ELEVATION (BLDNG 3)
A2.10	LEFTSIDE ELEVATION (BLDNG 3)
A2.11	REAR ELEVATION (BLDNG 3)
A2.12	RIGHTSIDE ELEVATION (BLDNG 3)
A2.13	ANGULAR PLANE STUDIES
A3.1	SITE SECTIONS
A7.1	3D VIEW FROM THE NORTH
A7.2	3D VIEW FROM THE WEST
A7.3	3D VIEW FROM THE SOUTH
A7.4	3D VIEW FROM THE EAST
A7.5	RENDERS



TOWN OF AURORA
PLANNING & DEVELOPMENT SERVICES
BUILDING DIVISION
PERMIT NO.: PR20230426 DATE: Mar. 2, 2023
APPROVED BY: *Bill Jean*
PRELIMINARY ZONING REVIEW

POLO CLUB CONDOS

15306 & 15286 LESLIE ST. AURORA, ON

SPA RE-SUBMISSION - ARCH SET

2022.10.27





romanov romanov

ARCHITECTS INCORPORATED

416 • 766 • 8750 www.romrom.com

375 Parkside Drive • Toronto • ON • M6R 2Z6



SITE SURFACES LEGEND

- CONC. PAVERS (VERIFY W/ LANDSCAPE)
- POURED CONC. (VERIFY W/ LANDSCAPE)
- ASPHALT
- @ GRADE PRIVATE TERRACE (CONC. PAVERS)

SITE SYMBOLS

- SIAMESE CONNECTION
- FIRE HYDRANT



FR-3 SIGN SPECIFICATIONS:
 1. Sign dimensions shall be 30 x 45 centimetres.
 2. White background, reflective material.
 3. Black border.
 4. Black "P", 10 centimetres tall.
 5. Black "FIRE ROUTE" letters, 5 centimetres tall.
 6. Black "BOTH SIDES" letters, 3 centimetres tall.
 7. Black arrows, 6.5 centimetres tall.
 8. Red 2.0 centimetre circular band around "P", 20 centimetres tall, reflective material.
 9. Red 2.0 centimetre diagonal stroke, reflective material.

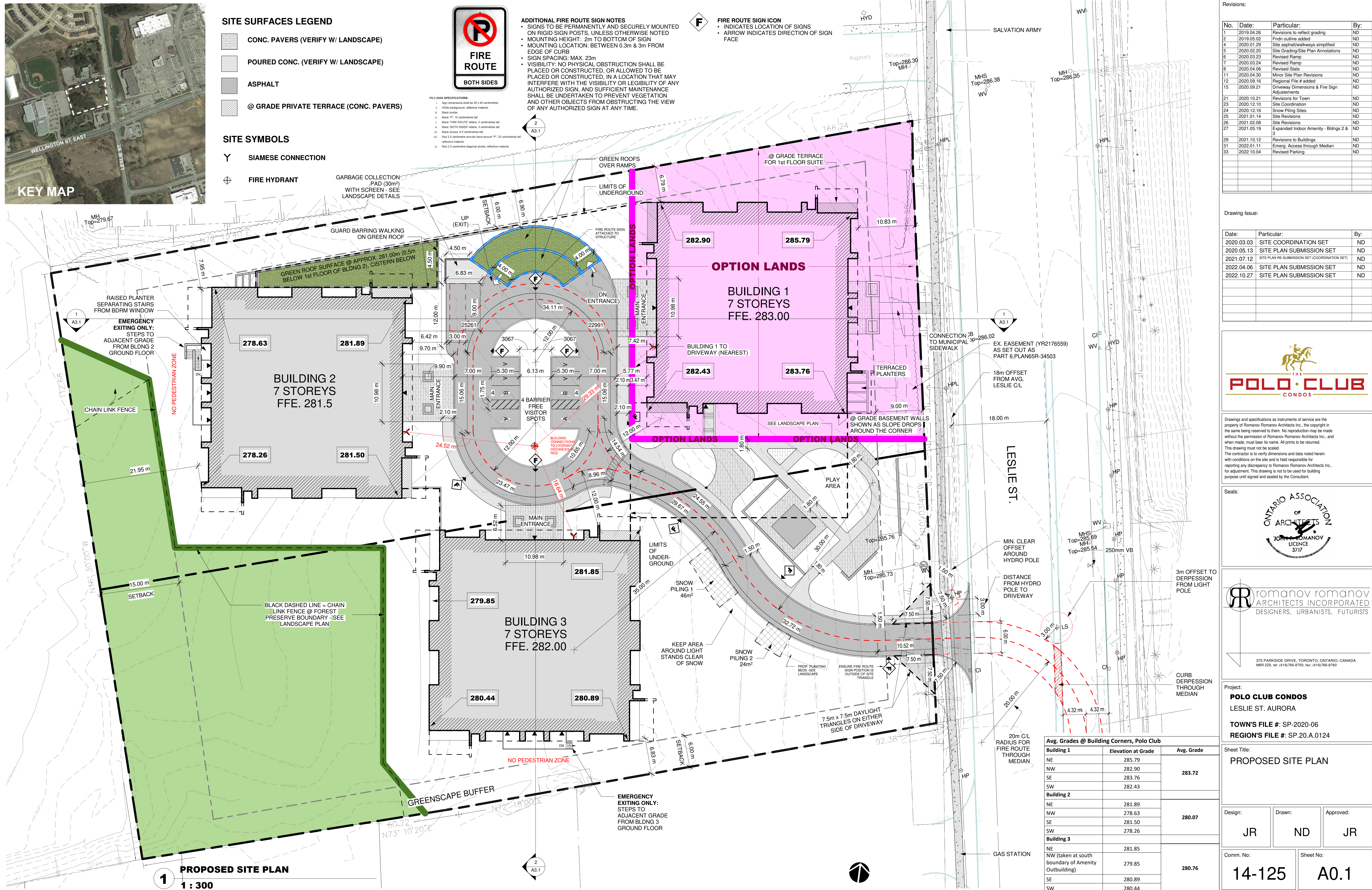
ADDITIONAL FIRE ROUTE SIGN NOTES

- SIGNS TO BE PERMANENTLY AND SECURELY MOUNTED ON RIGID SIGN POSTS, UNLESS OTHERWISE NOTED
- MOUNTING HEIGHT: 2m TO BOTTOM OF SIGN
- MOUNTING LOCATION: BETWEEN 0.3m & 3m FROM EDGE OF CURB
- SIGN SPACING: MAX. 23m
- VISIBILITY: NO PHYSICAL OBSTRUCTION SHALL BE PLACED OR CONSTRUCTED, OR ALLOWED TO BE PLACED OR CONSTRUCTED, IN A LOCATION THAT MAY INTERFERE WITH THE VISIBILITY OR LEGIBILITY OF ANY AUTHORIZED SIGN, AND SUFFICIENT MAINTENANCE SHALL BE UNDERTAKEN TO PREVENT VEGETATION AND OTHER OBJECTS FROM OBSTRUCTING THE VIEW OF ANY AUTHORIZED SIGN AT ANY TIME.



FIRE ROUTE SIGN ICON

- INDICATES LOCATION OF SIGNS
- ARROW INDICATES DIRECTION OF SIGN FACE



Revisions:

No.	Date:	Particular:	By:
1	2019.04.26	Revisions to reflect grading	ND
2	2019.05.02	Final outline added	ND
4	2020.01.29	Site asphalt/walkways simplified	ND
5	2020.02.20	Site Grading/Site Plan Annotations	ND
6	2020.03.23	Revised Ramp	ND
7	2020.03.24	Revised Ramp	ND
8	2020.04.06	Revised Stairs	ND
11	2020.04.30	Minor Site Plan Revisions	ND
12	2020.09.16	Regional File # added	ND
15	2020.09.21	Driveway Dimensions & Fire Sign Adjustments	ND
21	2020.10.21	Revisions for Town	ND
23	2020.12.10	Site Coordination	ND
24	2020.12.16	Snow Piling Sites	ND
25	2021.01.14	Site Revisions	ND
26	2021.02.08	Site Revisions	ND
27	2021.05.19	Expanded Indoor Amenity - Bldgs 2 & 3	ND
29	2021.10.12	Revisions to Buildings	ND
31	2022.01.11	Emerg. Access through Median	ND
33	2022.10.04	Revised Parking	ND

Drawing Issue:

Date:	Particular:	By:
2020.03.03	SITE COORDINATION SET	ND
2020.05.13	SITE PLAN SUBMISSION SET	ND
2021.07.12	SITE PLAN RE-SUBMISSION SET (COORDINATION SET)	ND
2022.04.06	SITE PLAN SUBMISSION SET	ND
2022.10.27	SITE PLAN SUBMISSION SET	ND



Drawings and specifications as instruments of service are the property of Romanov Romanov Architects Inc., the copyright in the same being reserved to them. No reproduction may be made without the permission of Romanov Romanov Architects Inc., and when made, must bear its name. All prints to be returned. This drawing must not be scaled. The contractor is to verify dimensions and data noted herein with conditions on the site and is held responsible for reporting any discrepancy to Romanov Romanov Architects Inc., for adjustment. This drawing is not to be used for building purpose until signed and sealed by the Consultant.

Seals:



romanov romanov
 ARCHITECTS INCORPORATED
 DESIGNERS, URBANISTS, FUTURISTS

375 PARKSIDE DRIVE, TORONTO, ONTARIO, CANADA
 M6R 2Z6 Tel: (416) 766-8750 Fax: (416) 766-8760

Project:

POLO CLUB CONDOS
 LESLIE ST. AURORA
 TOWN'S FILE #: SP-2020-06
 REGION'S FILE #: SP.20.A.0124

Sheet Title:

PROPOSED SITE PLAN

Design:

JR

Drawn:

ND

Approved:

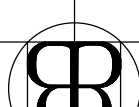
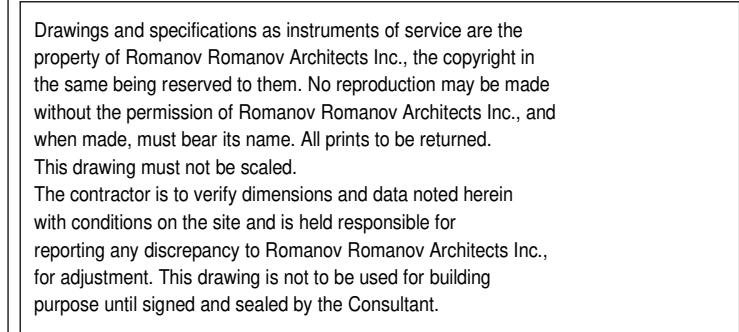
JR

Comm. No:

14-125

Sheet No:

A0.1

[illegible]

romanov romanov
ARCHITECTS INCORPORATED
DESIGNERS, URBANISTS, FUTURISTS

375 PARKSIDE DRIVE, TORONTO, ONTARIO, CANADA
MR 226, tel: (416) 766-8750; fax: (416) 766-8760

Sheet Title:

PARKADE LEVEL-2

Design: JR	Drawn: ND	Approved: JR
Comm. No: 14-125		Sheet No: A1.1

Date:	Particular:	By:
2020.03.03	SITE COORDINATION SET	ND
2020.05.13	SITE PLAN SUBMISSION SET	ND
2021.07.12	SITE PLAN RE-SUBMISSION SET (COORDINATION SET)	ND
2022.04.06	SITE PLAN SUBMISSION SET	ND
2022.10.27	SITE PLAN SUBMISSION SET	ND



Seals:



375 PARKSIDE DRIVE, TORONTO, ONTARIO, CANADA
M6R 2Z6, tel: (416)766-8750; fax: (416)766-8760

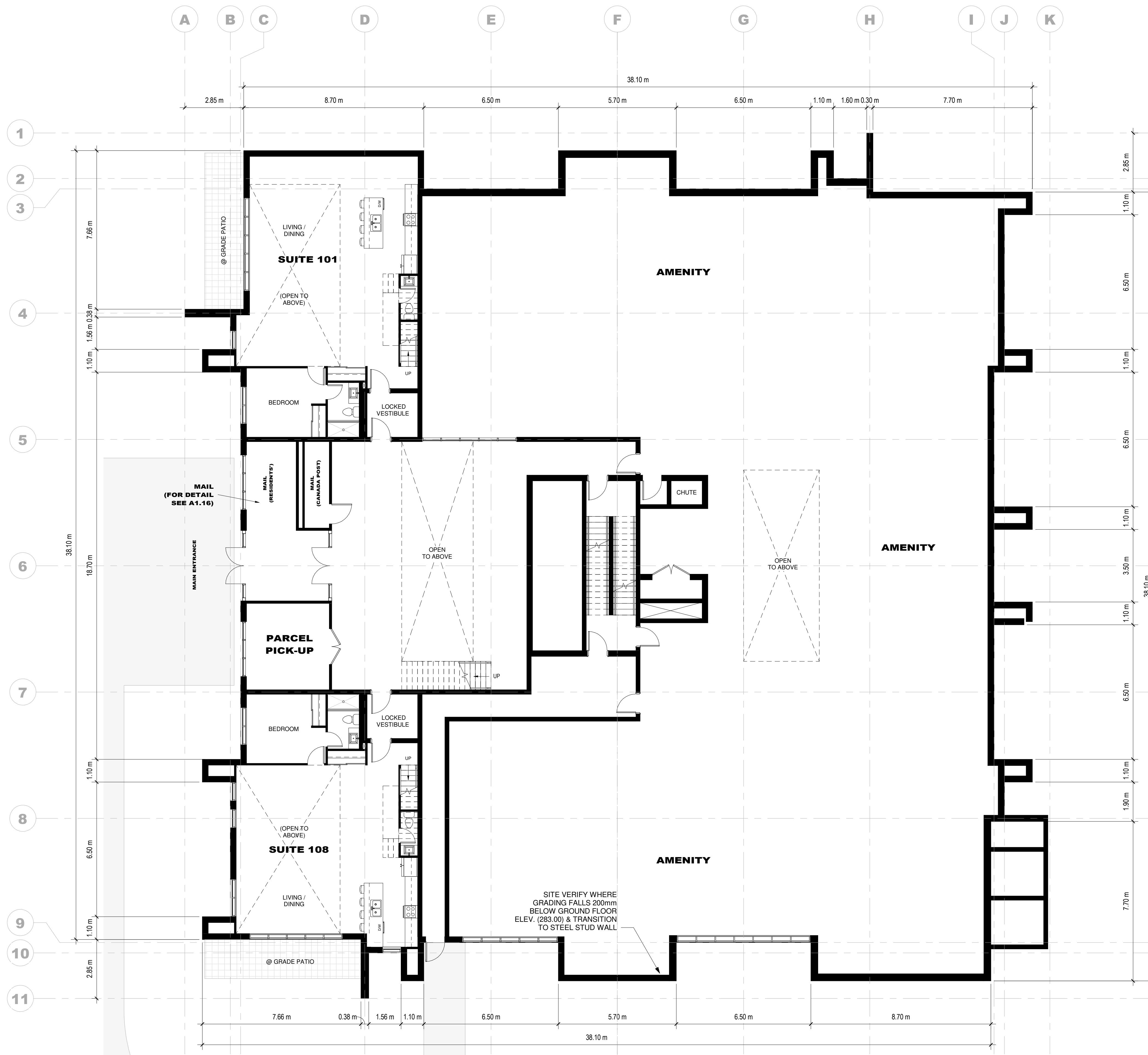
REGION'S FILE #: SP.20.A.0124

PARKADE LEVEL-1

JR

14-125

A1.2



Ex

[illegible]

Drawing Issue:

Date:	Particular:	By:
2020.03.03	SITE COORDINATION SET	ND
2020.05.13	SITE PLAN SUBMISSION SET	ND
2021.07.12	SITE PLAN RE-SUBMISSION SET (COORDINATION SET)	ND
2022.04.06	SITE PLAN SUBMISSION SET	ND
2022.10.27	SITE PLAN SUBMISSION SET	ND



Drawings and specifications as instruments of service are the property of Romanov Romanov Architects Inc., the copyright is the same being reserved to them. No reproduction may be made without the permission of Romanov Romanov Architects Inc., and when made, must bear its name. All prints to be returned. This drawing must not be scaled.

The contractor is to verify dimensions and data noted herein with conditions on the site and is held responsible for reporting any discrepancy to Romanov Romanov Architects Inc., for adjustment. This drawing is not to be used for building purpose until signed and sealed by the Consultant.

Seals:



375 PARKSIDE DRIVE, TORONTO, ONTARIO, CANADA
M6R 2Z6, tel: (416)766-8750; fax: (416)766-8760

Project

POLO CLUB CONDOS

LESLIE ST. AUBORA

TOWN'S FILE #: SP-2020-06

REGION'S FILE #: SP.20.A.0124

Sheet Title:

Sheet Title:

BASEMENT PLAN, BLDNG 1

Design:

JR

Drawn:

ND

Approved:	
-----------	--

JF

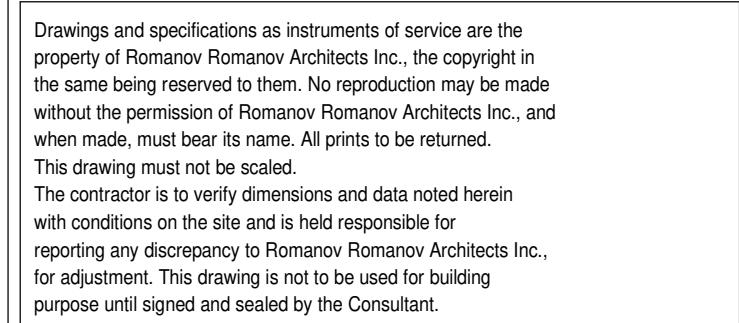
Comm. No:

14-125

Sheet No

A1.3

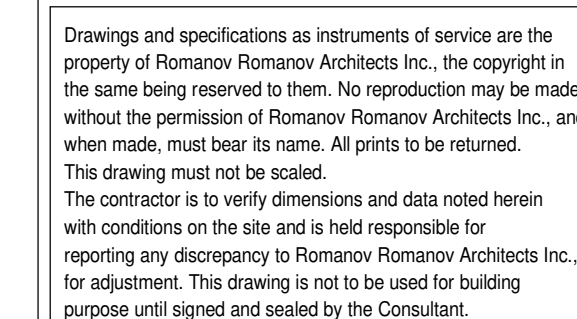
Date:	Particular:	By:
2020.03.03	SITE COORDINATION SET	ND
2020.05.13	SITE PLAN SUBMISSION SET	ND
2021.07.12	SITE PLAN RE-SUBMISSION SET (COORDINATION SET)	ND
2022.04.06	SITE PLAN SUBMISSION SET	ND
2022.10.27	SITE PLAN SUBMISSION SET	ND



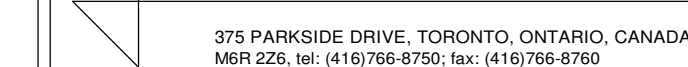
Sheet Title:

1ST FLOOR PLAN, BLDNG 1

Design: JR	Drawn: ND	Approved: JR
Comm. No: 14-125	Sheet No: A1.4	

[illegible]

ONTARIO ASSOCIATION
OF
ARCHITECTS
JOHN F. ROMANOV
LICENCE
3717



Sheet Title:
2ND TO 6TH FLOOR PLAN,
BLDNG 1

Comm. No: 14-125	Sheet No: A1.5
----------------------------	--------------------------



Date:	Particular:	By:
2020.03.03	SITE COORDINATION SET	ND
2020.05.13	SITE PLAN SUBMISSION SET	ND
2021.07.12	SITE PLAN RE-SUBMISSION SET (COORDINATION SET)	ND
2022.04.06	SITE PLAN SUBMISSION SET	ND
2022.10.27	SITE PLAN SUBMISSION SET	ND



Seals



375 PARKSIDE DRIVE, TORONTO, ONTARIO, CANADA
M6R 2Z6, tel: (416)766-8750; fax: (416)766-8760

POLO CLUB CONDOS
LESLIE ST. AURORA
TOWN'S FILE #: SP-2020-06
REGION'S FILE #: SP.20.A.0124

7TH FLOOR PLAN, BLDNG 1

JR

ND

JR

14-125

A1.6



1 : 100

Design: JR	Drawn: ND	Approved: JR
Comm. No: 14-125		Sheet No: A1.8



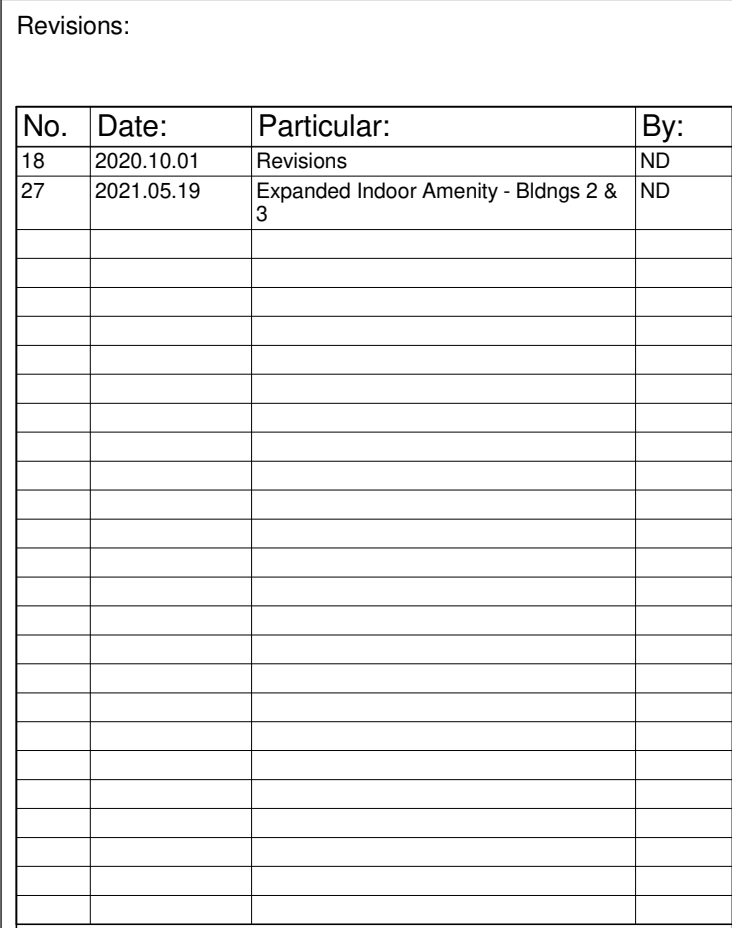
Comm. No: 14-125	Sheet No: A1.9
----------------------------	--------------------------



1 : 100



Comm. No: 14-125	Sheet No: A1.10
----------------------------	---------------------------

[illegible]

Seals:

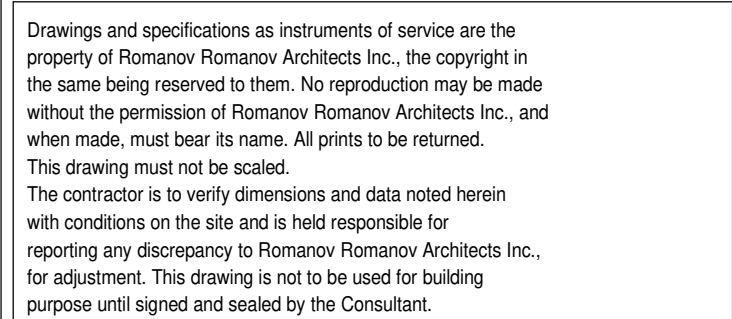
ONTARIO ASSOCIATION
OF
ARCHITECTS
JOHN F. ROMANOV
LICENCE
3717



Sheet Title:
MECH./ELEC. PENTHOUSE
PLAN, BLDNG 2

Design: JR	Drawn: ND	Approved: JR
-------------------	------------------	---------------------

Comm. No: 14-125	Sheet No: A1.11
----------------------------	---------------------------

[illegible]

romanov romanov
ARCHITECTS INCORPORATED
DESIGNERS, URBANISTS, FUTURISTS

Project:

POLO CLUB CONDOS

LESLIE ST. AURORA

TOWN'S FILE #: SP-2020-06

REGION'S FILE #: SP.20.A.0124

Sheet Title:

1ST FLOOR PLAN, BLDING 3

Design: JR	Drawn: ND	Approved: JR
-------------------	------------------	---------------------

Comm. No:	Sheet No:
14-125	A1.12

[illegible]

Drawings and specifications as instruments of service are the property of Romanov Romanov Architects Inc., the copyright in the same being reserved to them. No reproduction may be made without the permission of Romanov Romanov Architects Inc., and when made, must bear its name. All prints to be returned. This drawing must not be scaled.

The contractor is to verify dimensions and data noted herein with conditions on the site and is held responsible for reporting any discrepancy to Romanov Romanov Architects Inc., for adjustment. This drawing is not to be used for building purpose until signed and sealed by the Consultant.

ONTARIO ASSOCIATION
OF
ARCHITECTS
JOHN F. ROMANOV
LICENCE
3717



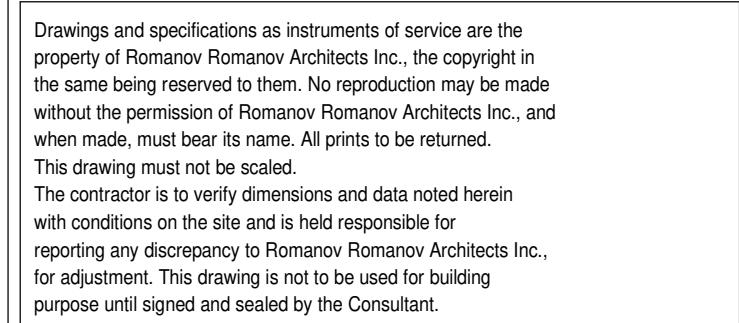
375 PARKSIDE DRIVE, TORONTO, ONTARIO, CANADA
M6R 2Z6, tel: (416)766-8750; fax: (416)766-8760

POLO CLUB CONDOS
LESLIE ST. AURORA
TOWN'S FILE #: SP-2020-06
REGION'S FILE #: SP.20.A.0124

2ND TO 6TH FLOOR PLAN,
BLDNG 3

JF

A1.13

[illegible]

romanov romanov
ARCHITECTS INCORPORATED
DESIGNERS, URBANISTS, FUTURISTS

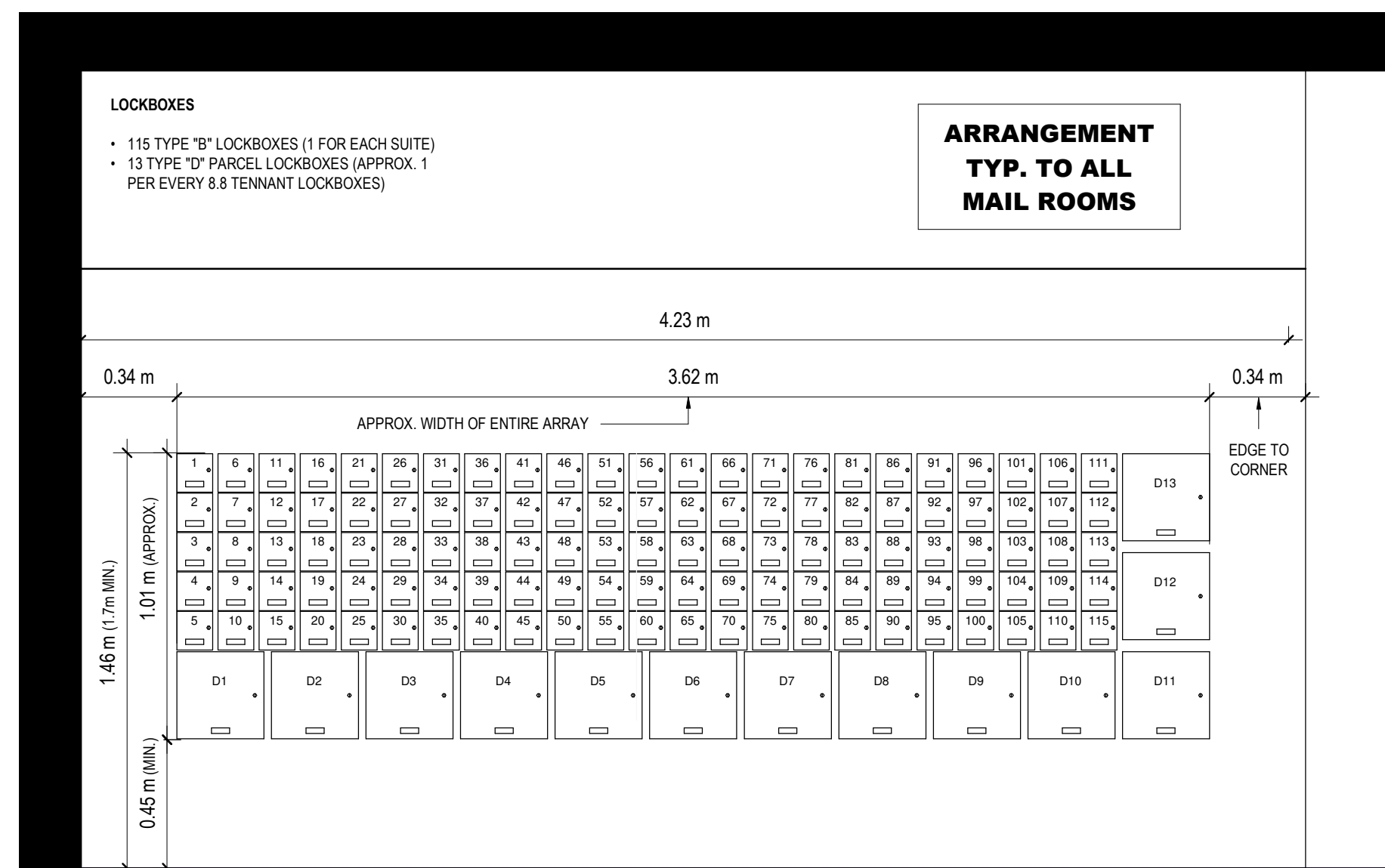
375 PARKSIDE DRIVE, TORONTO, ONTARIO, CANADA
MER 225. tel: (416)/766 8750; fax: (416)/766 8760

Sheet Title:

MECH./ELEC. PENTHOUSE
PLAN, BLDNG 3

Design: JR	Drawn: ND	Approved: JR
Comm. No: 14-125	Sheet No: A1.15	

3 MAIL ROOM - BUILDING 3
1 : 50



"B" SIZE

- PERSONAL COMPARTMENTS FOR RESIDENTS
- THESE ARE MINIMUM SIZE REQUIREMENTS
- REAR-LOADING
- 350 mm DEPTH (MIN.)

"D" SIZE

- COMMUNITY PARCEL COMPARTMENTS
- THESE ARE MINIMUM SIZE REQUIREMENTS
- REAR-LOADING
- 350 mm DEPTH (MIN.)

MAILROOM PARAMETERS

WHERE A MAILROOM FACILITY IS INSTALLED, THE MAILROOM MUST:

- MEET THESE SPECIFICATIONS
- BE LOCATED BEHIND THE LOCKBOX SYSTEM
- BE LIT WITH A BRIGHTNESS NOT LESS THAN 100 LUX, MEASURED 75 CM ABOVE THE FLOOR, WITHOUT IMPEDIMENTS OR OBSTRUCTIONS THAT WOULD REDUCE OR OBSCURE THE VISIBILITY OF SUITE NUMBERS OR CREATE ANY OTHER UNSAFE CONDITIONS (FOR EXAMPLE, SUSPENDED VENTILATION DUCTS, PIPES ABOVE THE FLOOR AND PIPES OR DUCTS RUNNING ALONG WALLS, PIPES IN FRONT OF THE MAILBOXES, HOT PIPES OR DUCTS OR DEBRIS AROUND THE MAILBOXES)
- BE ADEQUATELY VENTILATED
- BE OF SUFFICIENT SIZE TO ALLOW:
 1. A MINIMUM WORKING SPACE BEHIND THE BOXES OF 100 CM IN WIDTH ALONG THE LENGTH OF THE GROUP LOCKBOX SYSTEM
 2. SUCH ADDITIONAL WORKING SPACE AS DETERMINED BY YOUR DELIVERY PLANNER, WHERE THE PROCESSING OR TEMPORARY STORAGE OF MAIL TAKES PLACE WITHIN THE MAILROOM, OR WHERE THE MAILROOM IS APPROVED BY YOUR DELIVERY PLANNER AS A MAIL SORTING AND MATCHING AREA
- HAVE DOORS EQUIPPED WITH A HIGH-SECURITY DEADBOLT LOCK PURCHASED FROM YOUR LOCAL AUTHORIZED DEALER; CONSULT YOUR DELIVERY PLANNER

CONSTRUCTION OF MAILROOM ACCESS DOORS MUST:

- ALLOW A MINIMUM HEIGHT OF 203 CM THROUGHOUT, WITHOUT OBSTRUCTIONS THAT MAY IMPEDE THE WORK OF DELIVERY PERSONNEL (FOR EXAMPLE, SUSPENDED VENTILATION DUCTS, PIPES ABOVE THE FLOOR AND PIPES OR DUCTS RUNNING ALONG THE WALLS, PIPES IN FRONT OF THE MAILBOXES, HOT PIPES OR DUCTS)
- ALLOW A MINIMUM WIDTH OF 81 CM
- HAVE A SOLID CORE; TEMPERED GLASS SHOULD BE A MINIMUM OF 6 MM THICK WITH A SAFETY FILM OR WIRES

YOUR DELIVERY PLANNER MUST REVIEW THE PLAN FOR THE MAILROOM.

[illegible]

Drawing Issue:

[illegible]

Drawings and specifications as instruments of service are the property of Romanov Romanov Architects Inc., the copyright in the same being reserved to them. No reproduction may be made without the permission of Romanov Romanov Architects Inc., and when made, must bear its name. All prints to be returned. This drawing must not be scaled.

The contractor is to verify dimensions and data noted herein with conditions on the site and is held responsible for reporting any discrepancy to Romanov Romanov Architects Inc., for adjustment. This drawing is not to be used for building purpose until signed and sealed by the Consultant.

Seals



375 PARKSIDE DRIVE, TORONTO, ONTARIO, CANADA
M6R 2Z6, tel: (416)766-8750; fax: (416)766-8760

Project

POLO CLUB CONDOS
LESLIE ST. AURORA

TOWN'S FILE #: SP-2020-06

REGION'S FILE #: SP.20.A.0124

Sheet Title:

MAIL ROOMS

Design

JR

Drawn:

ND

Approved:

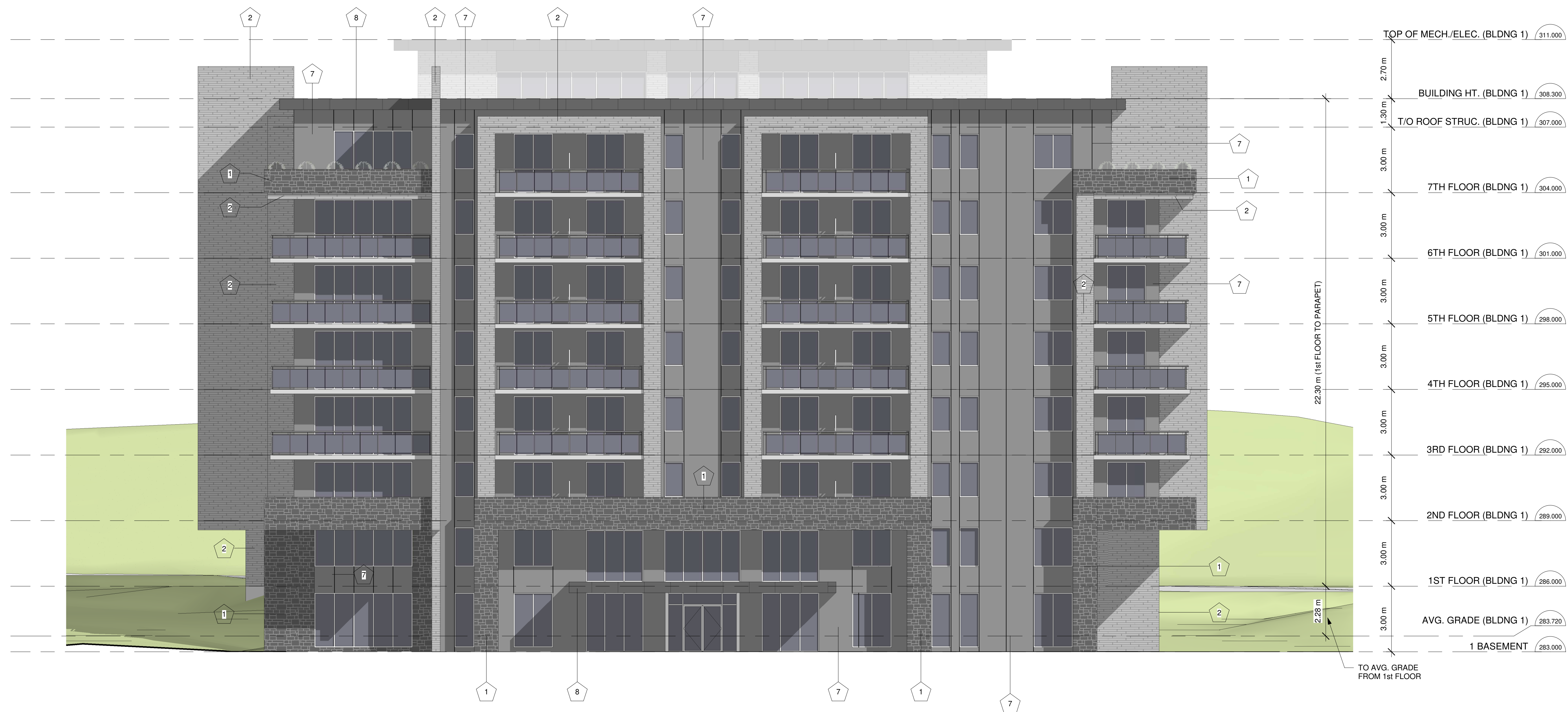
JR

Comm. No:

14-125

Sheet No:

A1.16



1 BLDNG 1 - FRONT ELEVATION
1 : 100

Materials Legend		
Mark	Description	Colour/Finish
1	Stone Veneer Texture	Grey (Building 1)
2	Horizontal Wood Cladding Texture	Grey (Building 1)
3	Stone Veneer Texture	Earth Red Tone (Building 2)
4	Horizontal Wood Cladding Texture	Earth Red Tone (Building 2)
5	Stone Veneer Texture	Sand Tone (Building 3)
6	Horizontal Wood Cladding Texture	Sand Tone (Building 3)
7	Metal Panel Finish	Mid-Grey (Common to all buildings)
8	Metal Panel Finish (fascia)	Grey (Common to all buildings)

[illegible]

Drawing Issue:

Date:	Particular:	By:
2020.03.03	SITE COORDINATION SET	ND
2020.05.13	SITE PLAN SUBMISSION SET	ND
2021.07.12	SITE PLAN RE-SUBMISSION SET (COORDINATION SET)	ND
2022.04.06	SITE PLAN SUBMISSION SET	ND
2022.10.27	SITE PLAN SUBMISSION SET	ND



Drawings and specifications as instruments of service are the property of Romanov Romanov Architects Inc., the copyright in the same being reserved to them. No reproduction may be made without the permission of Romanov Romanov Architects Inc., and when made, must bear its name. All prints to be returned. This drawing must not be scaled.

The contractor is to verify dimensions and data noted herein with conditions on the site and is held responsible for reporting any discrepancy to Romanov Romanov Architects Inc., for adjustment. This drawing is not to be used for building purpose until signed and sealed by the Consultant.

Seals:



375 PARKSIDE DRIVE, TORONTO, ONTARIO, CANADA
M6R 2Z6, tel: (416) 766-8750; fax: (416) 766-8760

Project:

POLO CLUB CONDOS

LESLIE ST. AURORA

TOWN'S FILE #: SP-2020-06

REGION'S FILE #: SP.20.A.0124

Sheet Title:
FRONT ELEVATION (BLDNG 1)

Design: JR	Drawn: ND	Approved: JR
-------------------	------------------	---------------------

Comm. No:	Sheet No:
14-125	A2.1

Materials Legend		
Mark	Description	Colour/Finish
1	Stone Veneer Texture	Grey (Building 1)
2	Horizontal Wood Cladding Texture	Grey (Building 1)
3	Stone Veneer Texture	Earth Red Tone (Building 2)
4	Horizontal Wood Cladding Texture	Earth Red Tone (Building 2)
5	Stone Veneer Texture	Sand Tone (Building 3)
6	Horizontal Wood Cladding Texture	Sand Tone (Building 3)
7	Metal Panel Finish	Mid-Grey (Common to all buildings)
8	Metal Panel Finish (fascia)	Grey (Common to all buildings)

Comm. No: 14-125	Sheet No: A2.2
-------------------------	-----------------------

1 **BLDNG 1 - REAR ELEVATION**
1 : 100

Materials Legend		
Mark	Description	Colour/Finish
1	Stone Veneer Texture	Grey (Building 1)
2	Horizontal Wood Cladding Texture	Grey (Building 1)
3	Stone Veneer Texture	Earth Red Tone (Building 2)
4	Horizontal Wood Cladding Texture	Earth Red Tone (Building 2)
5	Stone Veneer Texture	Sand Tone (Building 3)
6	Horizontal Wood Cladding Texture	Sand Tone (Building 3)
7	Metal Panel Finish	Mid-Grey (Common to all buildings)
8	Metal Panel Finish (fascia)	Grey (Common to all buildings)

[illegible]

Drawing Issue:

Date:	Particular:	By:
2020.03.03	SITE COORDINATION SET	ND
2020.05.13	SITE PLAN SUBMISSION SET	ND
2021.07.12	SITE PLAN RE-SUBMISSION SET (COORDINATION SET)	ND
2022.04.06	SITE PLAN SUBMISSION SET	ND
2022.10.27	SITE PLAN SUBMISSION SET	ND



Drawings and specifications as instruments of service are the property of Romanov Romanov Architects Inc., the copyright in the same being reserved to them. No reproduction may be made without the permission of Romanov Romanov Architects Inc., and when made, must bear its name. All prints to be returned. This drawing must not be scaled.

The contractor is to verify dimensions and data noted herein with conditions on the site and is held responsible for reporting any discrepancy to Romanov Romanov Architects Inc., for adjustment. This drawing is not to be used for building purpose until signed and sealed by the Consultant.

Seals: 168



375 PARKSIDE DRIVE, TORONTO, ONTARIO, CANADA
M6R 2Z6, tel: (416)766-8750; fax: (416)766-8760

Project: **POLO CLUB CONDOS**
LESLIE ST. AURORA

TOWN'S FILE #: SP-2020-06
REGION'S FILE #: SP.20.A.0124

Sheet Title:

REAR ELEVATION (BLDNG 1)

Design:	Drawn:	Approved:
JR	ND	JR

Comm. No: 14-125	Sheet No: A2.3
-------------------------	-----------------------

Materials Legend		
Mark	Description	Colour/Finish
1	Stone Veneer Texture	Grey (Building 1)
2	Horizontal Wood Cladding Texture	Grey (Building 1)
3	Stone Veneer Texture	Earth Red Tone (Building 2)
4	Horizontal Wood Cladding Texture	Earth Red Tone (Building 2)
5	Stone Veneer Texture	Sand Tone (Building 3)
6	Horizontal Wood Cladding Texture	Sand Tone (Building 3)
7	Metal Panel Finish	Mid-Grey (Common to all buildings)
8	Metal Panel Finish (fascia)	Grey (Common to all buildings)

[illegible]

Drawing Issue:

Date:	Particular:	By:
2020.05.13	SITE PLAN SUBMISSION SET	ND
2021.07.12	SITE PLAN RE-SUBMISSION SET (COORDINATION SET)	ND
2022.04.06	SITE PLAN SUBMISSION SET	ND
2022.10.27	SITE PLAN SUBMISSION SET	ND



Drawings and specifications as instruments of service are the property of Romanov Romanov Architects Inc., the copyright in the same being reserved to them. No reproduction may be made without the permission of Romanov Romanov Architects Inc., and when made, must bear its name. All prints to be returned. This drawing must not be scaled.

The contractor is to verify dimensions and data noted herein with conditions on the site and is held responsible for reporting any discrepancy to Romanov Romanov Architects Inc., for adjustment. This drawing is not to be used for building purpose until signed and sealed by the Consultant.

Seals:



375 PARKSIDE DRIVE, TORONTO, ONTARIO, CANADA
M6R 2Z6, tel: (416)766-8750; fax: (416)766-8760

Project: **POLO CLUB CONDOS**
LESLIE ST. AURORA

TOWN'S FILE #: SP-2020-06
REGION'S FILE #: SP.20.A.0124

Sheet Title:

LEFTSIDE ELEVATION (BLDNG
2)

Design: JR	Drawn: ND	Approved: JR
-------------------	------------------	---------------------

Comm. No: 14-125	Sheet No: A2.6
----------------------------	--------------------------

1	Stone Veneer Texture	Grey (Building 1)
2	Horizontal Wood Cladding Texture	Grey (Building 1)
3	Stone Veneer Texture	Earth Red Tone (Building 2)
4	Horizontal Wood Cladding Texture	Earth Red Tone (Building 2)
5	Stone Veneer Texture	Sand Tone (Building 3)
6	Horizontal Wood Cladding Texture	Sand Tone (Building 3)
7	Metal Panel Finish	Mid-Grey (Common to all buildings)
8	Metal Panel Finish (fascia)	Grey (Common to all buildings)

[illegible]

Drawing Issue:

Date:	Particular:	By:
2020.05.13	SITE PLAN SUBMISSION SET	ND
2021.07.12	SITE PLAN RE-SUBMISSION SET (COORDINATION SET)	ND
2022.04.06	SITE PLAN SUBMISSION SET	ND
2022.10.27	SITE PLAN SUBMISSION SET	ND



Drawings and specifications as instruments of service are the property of Romanov Romanov Architects Inc., the copyright in the same being reserved to them. No reproduction may be made without the permission of Romanov Romanov Architects Inc., and when made, must bear its name. All prints to be returned. This drawing must not be scaled.

The contractor is to verify dimensions and data noted herein with conditions on the site and is held responsible for reporting any discrepancy to Romanov Romanov Architects Inc., for adjustment. This drawing is not to be used for building purpose until signed and sealed by the Consultant.

Seals: 168



375 PARKSIDE DRIVE, TORONTO, ONTARIO, CANADA
M6R 2Z6; tel: (416)766-8750; fax: (416)766-8760

Project: **POLO CLUB CONDOS**
LESLIE ST. AURORA
TOWN'S FILE #: SP-2020-06
REGION'S FILE #: SP.20.A.0124

Sheet Title:

LEFTSIDE ELEVATION (BLDNG
3)

Design: JR	Drawn: ND	Approved: JR
-------------------	------------------	---------------------

Comm. No: 14-125	Sheet No: A2.10
----------------------------	---------------------------

1

Materials Legend		
Mark	Description	Colour/Finish
1	Stone Veneer Texture	Grey (Building 1)
2	Horizontal Wood Cladding Texture	Grey (Building 1)
3	Stone Veneer Texture	Earth Red Tone (Building 2)
4	Horizontal Wood Cladding Texture	Earth Red Tone (Building 2)
5	Stone Veneer Texture	Sand Tone (Building 3)
6	Horizontal Wood Cladding Texture	Sand Tone (Building 3)
7	Metal Panel Finish	Mid-Grey (Common to all buildings)
8	Metal Panel Finish (fascia)	Grey (Common to all buildings)

[illegible]

Drawing Issue:

Date:	Particular:	By:
2020.05.13	SITE PLAN SUBMISSION SET	ND
2021.07.12	SITE PLAN RE-SUBMISSION SET (COORDINATION SET)	ND
2022.04.06	SITE PLAN SUBMISSION SET	ND
2022.10.27	SITE PLAN SUBMISSION SET	ND



Drawings and specifications as instruments of service are the property of Romanov Romanov Architects Inc., the copyright in the same being reserved to them. No reproduction may be made without the permission of Romanov Romanov Architects Inc., and when made, must bear its name. All prints to be returned. This drawing must not be scaled.

The contractor is to verify dimensions and data noted herein with conditions on the site and is held responsible for reporting any discrepancy to Romanov Romanov Architects Inc., for adjustment. This drawing is not to be used for building purpose until signed and sealed by the Consultant.

Seals



375 PARKSIDE DRIVE, TORONTO, ONTARIO, CANADA
M6R 2Z6, tel: (416)766-8750; fax: (416)766-8760

Project:

POLO CLUB CONDOS

LESLIE ST. AURORA

TOWN'S FILE #: SP-2020-06

REGION'S FILE #: SP.20.A.0124

Sheet Title:

RIGHTSIDE ELEVATION
(BLDNG 3)

Design:	Drawn:	Approved:
JR	ND	JR

Comm. No:	Sheet No:
14-125	A2.12



ANGULAR PLANE: NORTH ELEVATION



ANGULAR PLANE: FROM NORTHEAST

[illegible]

Drawing Issue:

Date:	Particular:	By:
2020.05.13	SITE PLAN SUBMISSION SET	ND
2021.07.12	SITE PLAN RE SUBMISSION SET (COORDINATION SET)	ND
2022.04.06	SITE PLAN SUBMISSION SET	ND
2022.10.27	SITE PLAN SUBMISSION SET	ND



Drawings and specifications as instruments of service are the property of Romanov Romanov Architects Inc., the copyright in the same being reserved to them. No reproduction may be made without the permission of Romanov Romanov Architects Inc., and when made, must bear its name. All prints to be returned. This drawing must not be scaled.

The contractor is to verify dimensions and data noted herein with conditions on the site and is held responsible for reporting any discrepancy to Romanov Romanov Architects Inc., for adjustment. This drawing is not to be used for building purpose until signed and sealed by the Consultant.

Seals:



375 PARKSIDE DRIVE, TORONTO, ONTARIO, CANADA
M6R 2Z6, tel: (416)766-8750; fax: (416)766-8760

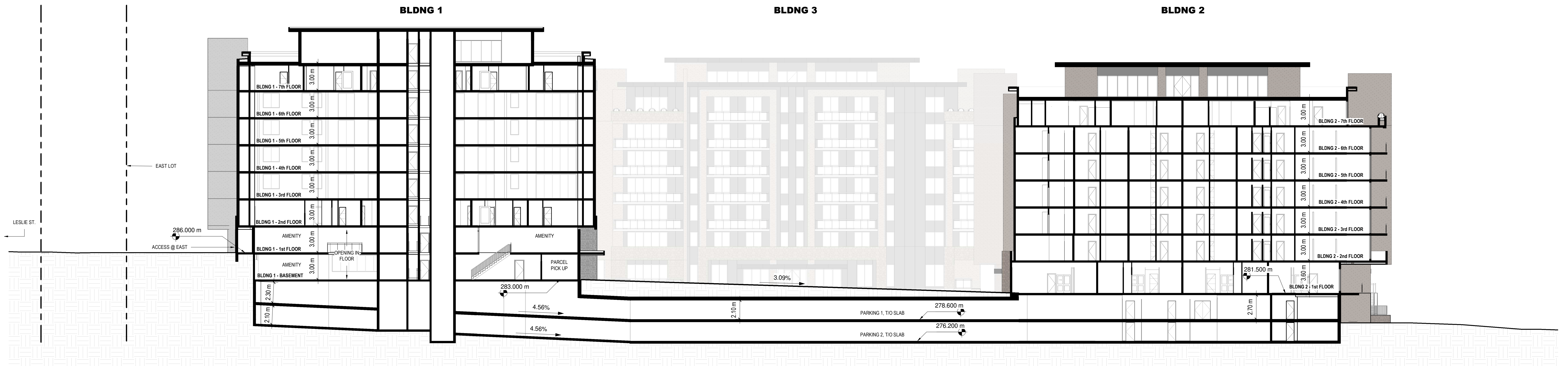
Project:

POLO CLUB CONDOS
LESLIE ST. AURORA
TOWN'S FILE #: SP-2020-06
REGION'S FILE #: SP.20.A.0124

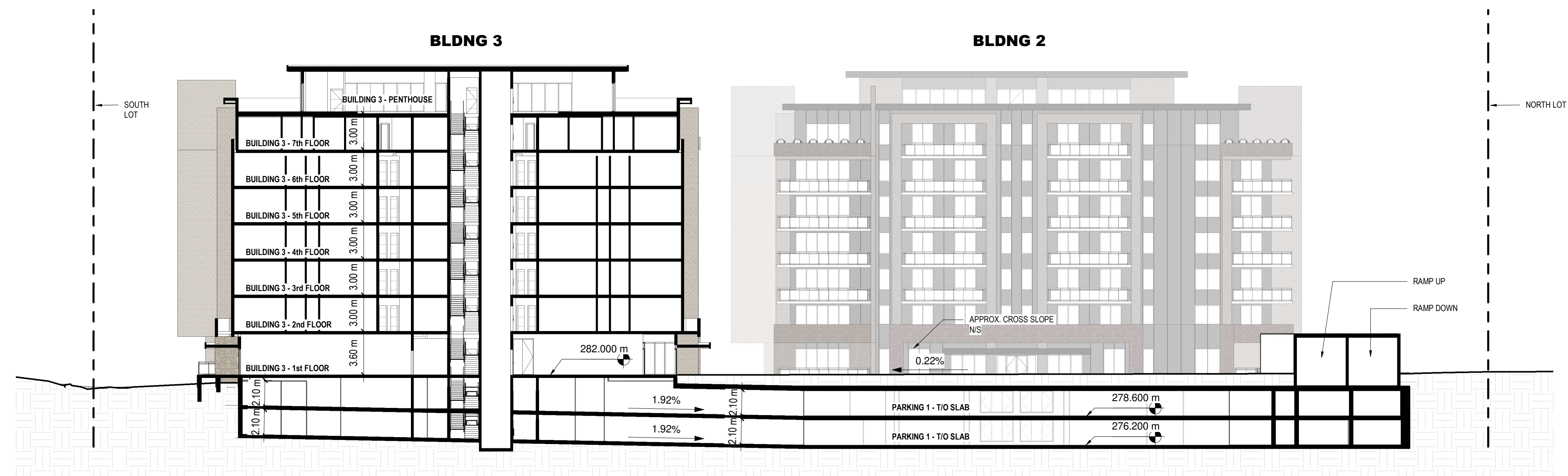
Sheet Title:

ANGULAR PLANE STUDIES

Design: JR	Drawn: ND	Approved: JR
Comm. No: 14-125		Sheet No: A2.13



1 SITE SECTION E/W
1 : 200



2 SITE SECTION N/S
1 : 250



romanov romanov
ARCHITECTS INCORPORATED
DESIGNERS, URBANISTS, FUTURISTS

375 PARKSIDE DRIVE, TORONTO, ONTARIO, CANADA
M5R 2Z6, tel: (416)766-8750; fax: (416)766-8760

Seals:



ONTARIO ASSOCIATION
OF
ARCHITECTS
JOHN F. ROMANOV
LICENCE
3717

Drawings and specifications as instruments of service are the property of Romanov Romanov Architects Inc., the copyright in the same being reserved to them. No reproduction may be made without the permission of Romanov Romanov Architects Inc., and when made, must bear its name. All prints to be returned. This drawing must not be scaled. The contractor is to verify dimensions and data noted herein with conditions on the site and is held responsible for reporting any discrepancy to Romanov Romanov Architects Inc., for adjustment. This drawing is not to be used for building purpose until signed and sealed by the Consultant.

Revisions:			
No.	Date:	Particular:	By:

Revisions:			
No.	Date:	Particular:	By:

Drawing Issue:		
Date:	Particular:	By:
2022.04.06	SITE PLAN SUBMISSION SET	ND
2022.10.27	SITE PLAN SUBMISSION SET	ND

Drawing Issue:		
Date:	Particular:	By:

Project:

POLO CLUB CONDOS
LESLIE ST. AURORA

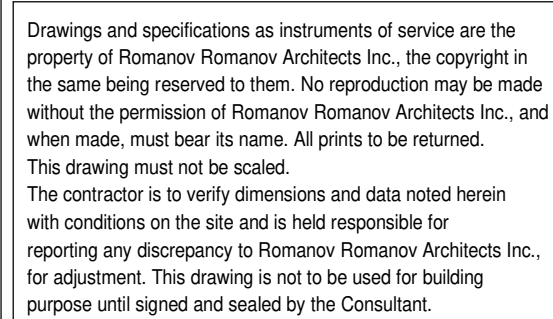
Sheet Title:

SITE SECTIONS

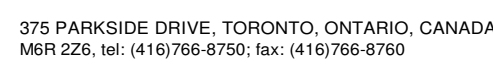
Design:	Drawn:	Approved:
JR	ND	JR
Comm. No:	Sheet No:	
14-125	A3.1	

[illegible]

Date:	Particular:	By:
2020.03.03	SITE COORDINATION SET	ND
2020.05.13	SITE PLAN SUBMISSION SET	ND
2021.07.12	SITE PLAN RE-SUBMISSION SET (COORDINATION SET)	ND
2022.04.06	SITE PLAN SUBMISSION SET	ND
2022.10.27	SITE PLAN SUBMISSION SET	ND



ONTARIO ASSOCIATION
OF
ARCHITECTS
JOHN F. ROMANOV
LICENCE
3717



POLO CLUB CONDOS
LESLIE ST. AURORA
TOWN'S FILE #: SP-2020-06
REGION'S FILE #: SP.20.A.0124

3D VIEW FROM THE NORTH

JR

ND

JR

14-125

A7.1

Drawing Issue:

THE
POLO CLUB
CONDOS

Drawings and specifications as instruments of service are the property of Romanov Romanov Architects Inc., the copyright in the same being reserved to them. No reproduction may be made without the permission of Romanov Romanov Architects Inc., and when made, must bear its name. All prints to be returned. This drawing must not be scaled.

The contractor is to verify dimensions and data noted herein with conditions on the site and is held responsible for reporting any discrepancy to Romanov Romanov Architects Inc., for adjustment. This drawing is not to be used for building purpose until signed and sealed by the Consultant.

Seals:



375 PARKSIDE DRIVE, TORONTO, ONTARIO, CANADA
M6R 2Z6, tel: (416)766-8750; fax: (416)766-8760

Project: **POLO CLUB CONDOS**
LESLIE ST. AURORA
TOWN'S FILE #: SP-2020-06
REGION'S FILE #: SP.20.A.0124

Sheet Title:

3D VIEW FROM THE WEST

Design: JR	Drawn: ND	Approved: JR
Comm. No: 14-125		Sheet No: A7.2

[illegible]

Date:	Particular:	By:
2020.03.03	SITE COORDINATION SET	ND
2020.05.13	SITE PLAN SUBMISSION SET	ND
2021.07.12	SITE PLAN RE-SUBMISSION SET (COORDINATION SET)	ND
2022.04.06	SITE PLAN SUBMISSION SET	ND
2022.10.27	SITE PLAN SUBMISSION SET	ND



Seals:



375 PARKSIDE DRIVE, TORONTO, ONTARIO, CANADA
M6R 2Z6; tel: (416)766-8750; fax: (416)766-8760

POLO CLUB CONDOS
LESLIE ST. AURORA
TOWN'S FILE #: SP-2020-06
REGION'S FILE #: SP.20.A.0124

3D VIEW FROM THE SOUTH

JR

ND

JR

14-125

A7.3

1

Comm. No: 14-125	Sheet No: A7.4
----------------------------	--------------------------

[illegible]

Date:	Particular:	By:
2021.07.12	SITE PLAN RE-SUBMISSION SET (COORDINATION SET)	ND
2022.04.06	SITE PLAN SUBMISSION SET	ND
2022.10.27	SITE PLAN SUBMISSION SET	ND



Seals



375 PARKSIDE DRIVE, TORONTO, ONTARIO, CANADA
M6R 2Z6, tel: (416)766-8750; fax: (416)766-8760

POLO CLUB CONDOS
LESLIE ST. AURORA
TOWN'S FILE #: SP-2020-06
REGION'S FILE #: SP.20.A.0124

RENDERS

JR

ND

JR

14-125

A7.5