



**Town of Aurora  
Committee of Adjustment  
Meeting Agenda**

**Date:** Thursday, July 14, 2022  
**Time:** 7:00 p.m.  
**Location:** Video Conference

Aurora Council and Committee meetings are live streamed on the [Town's YouTube Channel](#). For information on how to participate in this meeting please visit [aurora.ca/participation](http://aurora.ca/participation).

---

	<b>Pages</b>
<b>1. Call to Order</b>	
<b>2. Land Acknowledgement</b>	
<b>3. Appointment of Secretary-Treasurer</b>	
That Peter Fan be confirmed as the Secretary-Treasurer	
<b>4. Approval of the Agenda</b>	
That the Agenda as circulated by the Secretary-Treasurer be approved.	
<b>5. Declarations of Pecuniary Interest and General Nature Thereof</b>	
<b>6. Receipt of the Minutes</b>	
<b>6.1. Committee of Adjustment Meeting Minutes of June 9, 2022, Meeting Number 22-06</b>	
That the Committee of Adjustment Minutes from Meeting Number 22-06 be adopted as circulated.	
<b>7. Presentation of Applications</b>	
<b>7.1. MV-2022-19 - Boyd - 3 Hawthorne Lane</b>	<b>1</b>
<b>7.2. MV-2022-22 - Norouzpour - 81 Child Drive</b>	<b>17</b>
<b>7.3. MV-2022-20 - Stangl - 141 Kennedy Street West</b>	<b>30</b>
<b>7.4. MV-2022-21 - Chin- 1622 Vandorf Sideroad</b>	<b>42</b>

8. **New Business**

9. **Adjournment**



100 John West Way  
Aurora, Ontario  
L4G 6J1  
(905) 727-3123  
aurora.ca

Town of Aurora

## Committee of Adjustment Report

No. MV-2022-19

---

**Subject:** **Minor Variance Application**  
David Small Designs  
3 Hawthorne Lane  
MV-2022-19

**Prepared by:** Sean Lapenna, Planner

**Department:** Planning and Development Services

**Date:** July 14, 2022

---

### Application

The applicant is requesting relief from the Town's Comprehensive Zoning By-law 6000-17, as amended, to facilitate the development of a new addition (one and two storey) to an existing Single-Detached Dwelling. The following relief from the requirements of the Town's Zoning By-law 6000-17, as amended, is requested:

- a) Section 7.2 of the Zoning By-law requires a minimum interior side yard setback of 3.0 metres. The applicant is proposing a two-storey addition, which is 1.5 metres to the interior side property line.
- b) Section 7.2 of the Zoning By-law requires a minimum exterior side yard setback of 9.0 metres. The applicant is proposing a one-storey addition, which is 5.1 metres to the exterior side property line.

### Background

#### Subject Property and Area Context

The subject lands are municipally known as 3 Hawthorne Lane and are located on the south side of Hawthorne Lane, west of Yonge Street and south of Wellington Street West. The subject lands have an approximate lot area of 1,310 m<sup>2</sup> (14,101 ft<sup>2</sup>) and a lot frontage of 30.48 m (100.0 ft).

## **Proposal**

The applicant has requested a total of two variances for reduced side yard setbacks (interior and exterior) in order to accommodate a new one and two storey addition (with a Gross Floor Area of approximately 148.67 m<sup>2</sup> (1,600.0 ft<sup>2</sup>)) to an existing two-storey single-detached dwelling, which is located at 3 Hawthorne Lane. The new total Gross Floor Area for the dwelling in it's entirety would be 464.80 m<sup>2</sup> (5,000.3 ft<sup>2</sup>).

## **Official Plan**

The subject property is designated 'Stable Neighbourhood' by the Town of Aurora Official Plan. Stable Neighbourhoods are to be protected from incompatible forms of development, but are permitted to evolve over time. All new development shall be compatible with its surrounding context. Single detached dwellings are permitted in the Stable Neighbourhoods designation.

## **Zoning**

The subject property is zoned 'R2 (2) (Detached Second Density Residential Exception Zone)' under Zoning By-law 6000-17, as amended, which permits single detached dwellings.

## **Preliminary Zoning Review**

A Preliminary Zoning Review (PZR) has been completed by the Building Division. The PZR identified the required variances.

## **Applicant's stated reasons(s) for not complying with the Zoning By-law**

Please see attached Cover Letter (Appendix C).

## **Planning Comments**

Planning staff have reviewed the requested variance as per the four tests in section 45(1) of the Planning Act.

### **a) The proposed variance meets the general intent of the Official Plan**

The variance requested is not anticipated to have any negative impact on the existing character of the neighbourhood. The proposed variances are minimal and will not negatively impact the character of the neighbourhood.

The proposed dwelling is also in keeping with the surrounding context and character of the existing neighbourhood, especially when considering the predominant built form



along Hawthorne Lane as well as surrounding area (two-storey single-detached dwellings).

The Official Plan requires new development and site alterations to be sympathetic to the form and character of abutting existing residential development and to be compatible with regard to building scale and urban design.

Section 8.1.2 of the Town's Official Plan lists 'Ground-Related Residential Uses' as permitted within Stable Neighbourhood areas. Staff are of the opinion that the proposed minor variances to permit a use allowed for through this designation (two storey Single Detached Dwelling) meets the applicable policies and maintains the general intent and purpose of the Official Plan

It is the opinion of Planning staff that the proposed variances maintains the general intent of the Official Plan.

**b) The proposed variance meets the general intent of the Zoning By-law**

The purpose of setback requirements in the Zoning By-law is to ensure that adequate separation is provided between buildings on abutting properties. In this case, the subject property is a corner lot (south-east corner of Hawthorne Lane and George Street) meaning that the exterior side yard property line is not abutting another residential lot but instead, George Street. In addition to this, staff are also mindful of any potential negative impacts to neighbouring properties from a privacy standpoint in regards to abutting side yard amenity space.

The interior side yard property line to the west is shared with the property at 5 Hawthorne Lane. The adjacent property at 5 Hawthorne Lane currently accommodates a two-storey single-detached dwelling that is setback approximately 2.40 m (7.87 ft) away from the mutual side yard property line. This results in a combined separation distance of approximately 3.90 m (13.0 ft) that will exist between the two properties.

Although the dwelling would be constructed closer to the exterior and interior side yard property lines than what the by-law allows, staff are of the opinion that the requested variances of 5.1 m (exterior side yard) and 1.5 m (interior side yard) will not result in any conflicts as it relates to building separation, nor will it impact the enjoyment of the side yard amenity areas with any surrounding property.

As such, staff are of the opinion that the requested variance meets the general intent of the zoning by-law.

**c) The variance is considered desirable for the appropriate development or use of the land**

Regarding the proposed 1.5 m (5.0 ft) interior side yard setback to the west, staff note that the subject property's dwelling is setback closer to the front yard property line compared to that of their neighbour to the west.

The subject property has an existing front yard setback of 13.72 m (45.0 ft) while the neighbouring property to the west has a front yard setback of 16.63 m (55.0 ft). With the dwelling for the subject property being located closer to the front yard property line, this results in a building configuration whereby the area of the dwelling at the subject property for which the reduced interior side yard setback will exist, will not be located directly adjacent to the neighbouring dwelling at 5 Hawthorne Lane. As a result, staff anticipate no negative impacts from a privacy standpoint.

Regarding the proposed exterior side yard setback adjacent to George Street to the east, as previously outlined in this report, there is no neighbouring residential dwelling or lot located here. With a side yard setback proposed of 5.1 m (17.0 ft) sufficient side yard amenity space will still exist. As a result, staff do not anticipate any negative impacts to result.

Both reduced side yard setbacks to the east and west will not impede existing access along either side yard, access to the rear yard or future maintenance along both side yards. This includes future maintenance of eaves along each side yard, which staff notes will not encroach over either side yard property line.

As such, staff are of the opinion that the requested variances are considered desirable for the appropriate development or use of the land.

**d) The variance is considered minor in nature**

The reduced side yard setbacks to the east and west are considered to generally be in keeping with the by-law requirements. For the reduced interior side yard setback to the west, the proposed side yard setback of 1.50 m (5.0 ft) is consistent with what currently exists present day where the owner will be reducing the existing number of garages from three to two and adding a second storey addition over top of the new garage. With the setback remaining consistent with the present-day setback, staff consider this to be a minor change.

Similarly, the same can be said for the proposed exterior side yard setback of 5.1 m (17.0 ft) to the east, which is very consistent with the present day existing exterior side yard setback of 5.86 m (19.0 ft).

Staff also note the existence of a mature hedgerow along the side yard property line to the east adjacent to George Street, as well as another mature hedgerow along the side yard property line to the west. This existing landscaping will remain in place and as such, will provide sufficient screening and buffering between adjacent properties.

Finally, staff note that all other applicable by-law requirements such as lot coverage, building height, front and rear yard setbacks are still being met.

Based on the above, staff are of the opinion that permitting the subject variances is minor in nature.

## Additional Comments

The minor variance application was circulated internally and to external agencies for review and comment. The following comments were provided:

Department / Agency	Comments Provided
Engineering Services	We have reviewed the above-noted minor variance application and have no objections.
Building Division	Preliminary Zoning Review conducted. No comments provided specifically on the application at the time of writing of this report.
Accessibility Advisor	No comments provided at the time of writing of this report.
Traffic Analyst	No comments provided at the time of writing of this report.
Operational Services – Parks	<p>We have reviewed the documentation for the property associated with the above noted application.</p> <p>There are trees situated on the subject property that may require removal and may be impacted by excavation or disturbance due to construction.</p> <p>In view of the above staff recommend that the Committee impose the following conditions if this application is approved.</p> <ul style="list-style-type: none"> <li>• That the owner may be required to provide an Evaluation Report prepared by a Certified Arborist or Professional Registered Forester outlining all aspects of the impacts that this proposal will have on existing and current remaining vegetation, The report shall include recommendations and an action plan on the mitigation of negative effects to vegetation , during and post construction periods as well as measures aimed at tree health care and protection for trees</li> </ul>

	<p>effected by the project and any remaining trees in the vicinity of the project that require applicable maintenance.</p> <ul style="list-style-type: none"> <li>• In addition the report shall include a schedule of monitoring the ongoing site work through a series of scheduled site visits by the Arborist / Forester during and post construction to ensure the vegetation preservation measures remain in compliance throughout the project, each site visit to be documented and any resulting action items required by the Arborist /Forester shall be implemented and confirmed on site forthwith by the Arborist /Forester following each visit.</li> <li>• The owner may be required to provide vegetation compensation and a replanting plan in accordance with the Town of Aurora TREE REMOVAL/PRUNING AND COMPENSATION POLICY to the satisfaction of the Director of Operational Services as compensation for trees removed to facilitate construction. Compensation planting shall be completed prior to release of the financial securities.</li> <li>• The owner shall agree to comply with the Aurora Tree Permit By-law # 5850 -16 prior to the removal of any trees on the property.</li> <li>• The owner shall agree to provide financial securities based on the total value of the Tree Compensation evaluation and all Arboriculture works as defined by the Town and the Owners Arborist/ Forester. To the satisfaction of the Director of Parks and Recreation.</li> <li>• All of the above shall be included as terms and conditions in a Letter of Undertaking with the Town of Aurora to guarantee compliance with the Conditions of Approval and all related site works</li> </ul>
Central York Fire Services	No comments provided at the time of writing of this report.
The Regional Municipality of York	The Regional Municipality of York has completed its review of the above minor variance and has no comment.
Lake Simcoe Region Conservation Authority	The LSRCA will not be providing comments or collecting an LSRCA review fee as the subject property is not regulated by

	the LSRCA and there are no natural heritage features which warrant our technical review.
Alectra Utilities	<p>We have reviewed the proposed Variance application and have no objections to its approval, subject to the following comments:</p> <p>Alectra Utilities (formerly PowerStream) has received and reviewed the proposed Variance Application. This review, however, does not imply any approval of the project or plan. All proposed billboards, signs, and other structures associated with the project or plan must maintain minimum clearances to the existing overhead or underground electrical distribution system as specified by the applicable standards, codes and acts referenced.</p> <p>In the event that construction commences, and the clearance between any component of the work/structure and the adjacent existing overhead and underground electrical distribution system violates the Occupational Health and Safety Act, the customer will be responsible for 100% of the costs associated with Alectra making the work area safe. All construction work will be required to stop until the safe limits of approach can be established.</p> <p>In the event construction is completed, and the clearance between the constructed structure and the adjacent existing overhead and underground electrical distribution system violates the any of applicable standards, acts or codes referenced, the customer will be responsible for 100% of Alectra's cost for any relocation work</p>

## Public Correspondence

Written submissions were not received at the time of writing of this report. Should written submissions be received after the writing of this report, the Secretary Treasurer will provide the submission(s) to Committee members at the meeting.

## **Conclusion**

Planning staff have reviewed the application with respect to the Section 45(1) of the Planning Act, R.S.O, 1990, c.P.13, as amended, and recommend approval subject to conditions of approval. Please refer to Appendix 'A' for the recommended conditions of approval for the requested variance.

## **Attachments**

Appendix 'A' - Recommended Condition of Approval

Appendix 'B' – Site Plan & Architectural Package

Appendix 'C' - Submitted Cover Letter

### **Appendix 'A' – Recommended Condition of Approval**

The following condition are required to be satisfied should application MV-2022-19 be approved by the Committee of Adjustment:

1. That the variance only applies to the subject property, in substantial conformity with the plan(s) attached as 'Appendix B' to this Staff Report and dated March 2022, to the satisfaction of the Director of Planning and Development Services.
2. That the owner may be required to provide an Evaluation Report prepared by a Certified Arborist or Professional Registered Forester outlining all aspects of the impacts that this proposal will have on existing and current remaining vegetation, The report shall include recommendations and an action plan on the mitigation of negative effects to vegetation , during and post construction periods as well as measures aimed at tree health care and protection for trees effected by the project and any remaining trees in the vicinity of the project that require applicable maintenance.
3. In addition the report shall include a schedule of monitoring the ongoing site work through a series of scheduled site visits by the Arborist / Forester during and post construction to ensure the vegetation preservation measures remain in compliance throughout the project, each site visit to be documented and any resulting action items required by the Arborist /Forester shall be implemented and confirmed on site forthwith by the Arborist /Forester following each visit.
4. The owner may be required to provide vegetation compensation and a replanting plan in accordance with the Town of Aurora TREE REMOVAL/PRUNING AND COMPENSATION POLICY to the satisfaction of the Director of Operational Services as compensation for trees removed to facilitate construction. Compensation planting shall be completed prior to release of the financial securities.
5. The owner shall agree to comply with the Aurora Tree Permit By-law # 5850 -16 prior to the removal of any trees on the property.
6. The owner shall agree to provide financial securities based on the total value of the Tree Compensation evaluation and all Arboriculture works as defined by the Town and the Owners Arborist/ Forester. To the satisfaction of the Director of Parks and Recreation.

7. All of the above shall be included as terms and conditions in a Letter of Undertaking with the Town of Aurora to guarantee compliance with the Conditions of Approval and all related site works



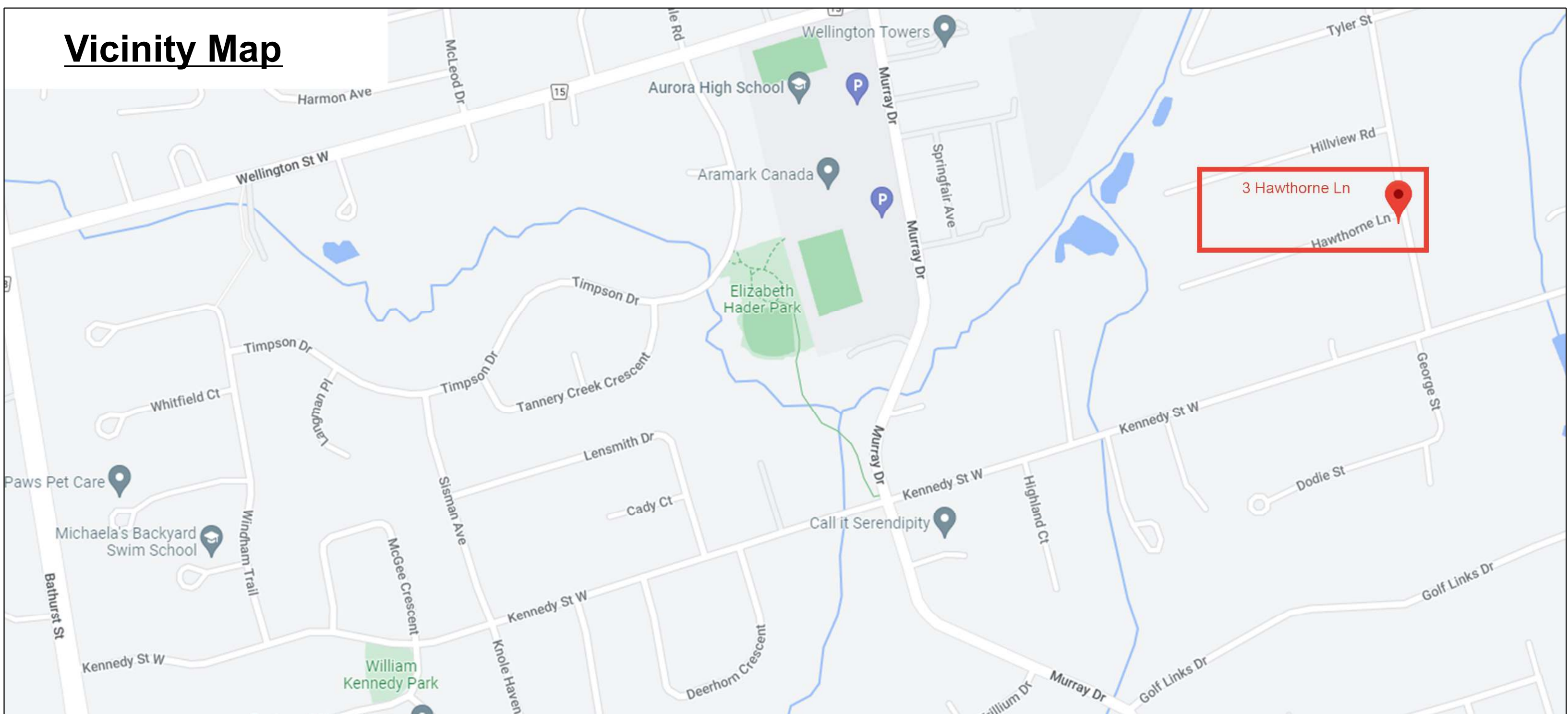
Abbreviations

AB	Anchor Bolt
ABV	Above
A/C	Air Conditioner
AD	Area Drain
ADJ	Adjacent
AFF	Above Finished Floor
AG	Average Grade
ALUM	Aluminum
A/V	Audio/Visual
BALC	Balcony
BEW	Bottom Bars Each Way
BF	Basement Floor
B/I	Built-In
BLDG	Building
BLK	Block
BLW	Below
BM	Beam
BPL	Bearing Plate
BRG	Bearing
BRK	Brick
BSMT	Basement
BS	Both Sides
BW	Both Ways
CAB	Cabinet
CANT	Cantilever
CI	Continuous Insulation
CL	Center Line
CLG	Ceiling
CLR	Clear
CMU	Concrete Masonry Unit
CO	Carbon Monoxide Detector
COL	Column
CONC	Concrete
CONT	Continuous
COV'D	Covered
CT	Ceramic Tile
C/W	Complete With
DIA	Diameter
DIM	Dimension
DN	Down
DRN	Drain
DWG	Drawings
DVG FP	Direct Vent Gas Fireplace
EG	Established Grade
EL	Elevation
EQ	Equal
EXIST	Existing
EXT	Exterior
FD	Floor Drain
FDN	Foundation
FF	Finished Floor
FG	Fixed Glass
FIN	Finish
FLR	Floor
FTG	Footing
GT	Girder Truss
GYP	Gypsum
HGT	Height
HL	Heel
HORZ	Horizontal
INSUL	Insulation
INT	Interior
LAU	Laundry
MAX	Maximum
MECH	Mechanical
MIN	Minimum
N.T.S.	Not To Scale
OC	On Center
O.H.	Overhang
PA	Post Above
PTD	Painted
REFER	Reference
REINF	Reinforcing/Reinforced
RO	Rough Opening
S.A.	Smoke Alarm
SCHED	Schedule
SS	Stainless Steel
STL	Steel
STOR	Storage
SUSP	Suspended
SW	Swale
TFW	Top of Foundation Wall
TW	Top of Wall
TYP	Typical
UF	Underside of Footing
UNO	Unless Noted Otherwise
U/S	Under Side
VB	Vapor Barrier
VERT	Vertical
WC	Water Closet
WD	Wood
WIC	Walk In Closet
WP	Wall Plate
1R	(1) Riser

TOWN OF AURORA  
PLANNING AND DEVELOPMENT SERVICES  
Development Planning Division  
DATE: Jun. 3, 2022  
RECEIVED



The Boyd Home



Drawing Index

- SP - Site Plan
- AB1 - As-Built Plans
- AB2 - As Built Elevations
- A1 - Basement Floor Plan
- A2 - Ground Floor Plan
- A3 - Second Floor Plan
- A4 - Roof Plan
- A5 - Front & Right-Side Elevations
- A6 - Rear & Left-Side Elevations
- A7 - General Notes & Section A-A
- D1 - Details
- S1 - Structural Notes & Details

TOWN OF AURORA  
PLANNING & DEVELOPMENT SERVICES  
BUILDING DIVISION  
PERMIT NO.: PR20220456 DATE: Apr. 6, 2022  
APPROVED BY: Ashley Vandervord  
PRELIMINARY ZONING REVIEW

3 Hawthorne Lane  
Aurora, Ontario

Project No. 1857

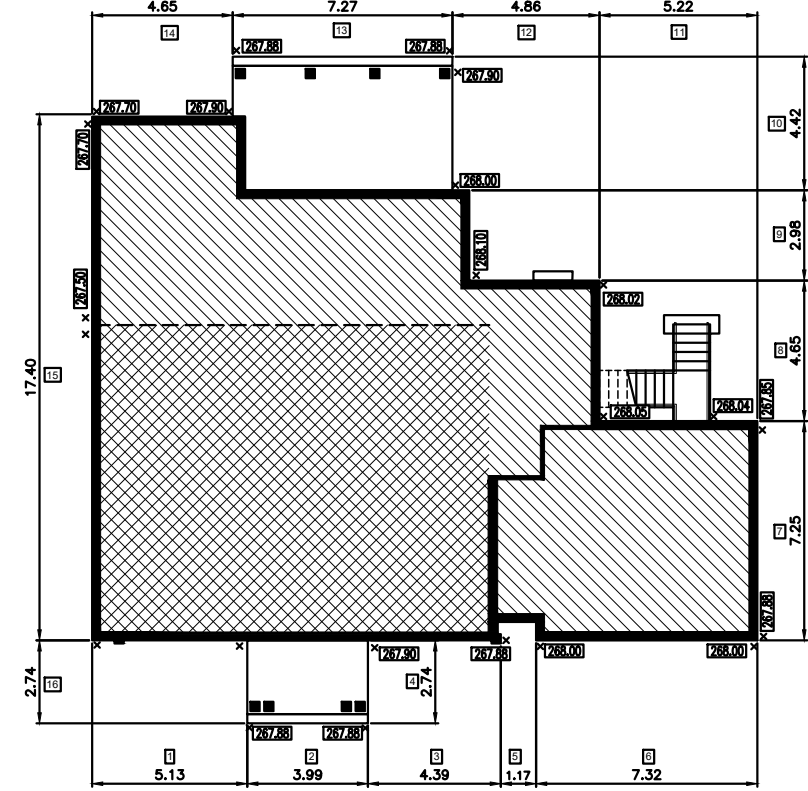
Revision Record

No.	Date	Revision / Comment
1	Mar 21/22	Issued to Owner for Zoning Approvals

David  
Small  
Designs



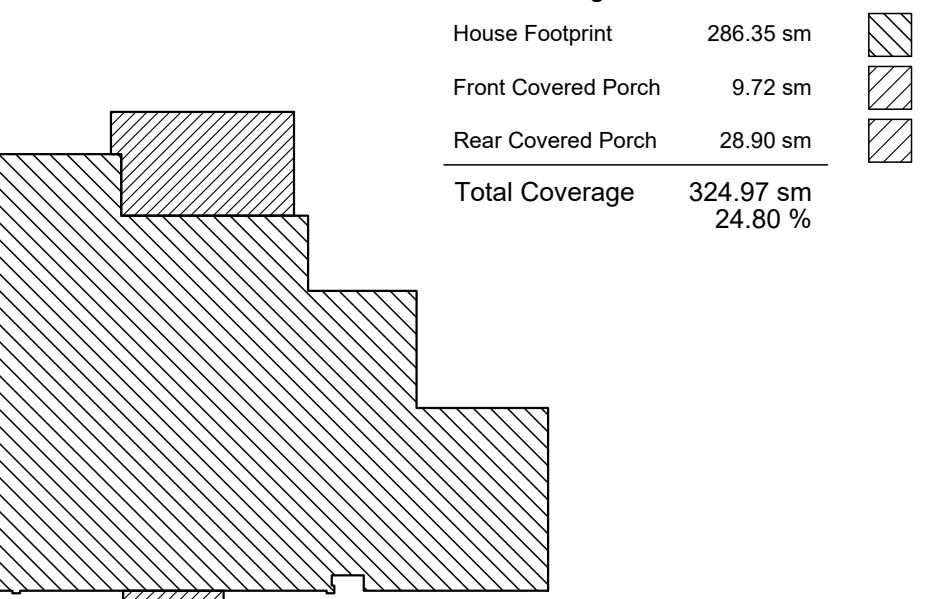
Average Grade Diagram 1:250



Wall No.	Wall Average Grade	Wall Length (m)	Product
1	267.79	5.13	1,373.76
2	267.88	3.99	1,068.84
3	267.89	4.39	1,176.04
4	267.89	2.74	734.02
5	267.94	1.17	313.49
6	268.00	7.32	1,961.76
7	267.86	7.25	1,941.99
8	267.94	4.65	1,245.92
9	268.05	2.98	798.79
10	267.95	4.42	1,184.34
11	268.05	5.22	1,399.22
12	268.06	4.86	1,302.77
13	267.88	7.27	1,947.49
14	267.80	4.65	1,245.27
15	267.60	17.40	4,856.24
16	267.79	2.74	733.74
Total	4,286.37	86.18	23,063.66

Average Grade = Total Product Divided By Total Wall Length = 267.85

Lot Coverage Diagram 1:300



Legend	Base Information:
3R Main Level Entrance/Exit 3R Lower Level Entrance/Exit --- Property Line --- Existing To Be Removed 102.05 Existing Spot Elevation 102.05 Proposed Spot Elevation Rainwater Downspouts AC Air Conditioner Solid Hoarding Framed Hoarding ESC Or Site Fence Hoarding AD Area Drain 0.300C Denotes Coniferous Tree (with trunk diameter) To Remain 0.300D Denotes Deciduous Tree (with trunk diameter) To Remain 0.300C Denotes Tree (with trunk diameter) To Be Removed R# Denotes Replacement Tree Native Species Min 60mm Caliper For Deciduous And 1.5m Height For Coniferous (SPECIES) Refers To Type of Replacement Tree As Per Arborist Report (R#) Refers To Replacement Tree Number Corresponding w/ Arborist Report # Denotes Tree Number Corresponding w/ Arborist Report	Base Information Taken From Plan Of Survey BY: Young & Young Surveying Dated: November 12, 2020 Location Plan of Park Lot 3 Registered Plan 38 Town of Aurora Regional Municipality of York City Benchmark Elevations Are Referred To The Town of Aurora Benchmark No. 3055, Having An Elevation of 269.25 Meters *TFW (Top Of Foundation Wall) Floor Still Plate On Inside Face Of Foundation. See Reduced Thickened Foundation Wall Detail & Reverse Veneer Detail For Foundation Wall Ledge Condition On Outside Face Of Foundation Wall. - Extent Of Each Type To Be Determined By Contractor On Site During Construction **U/F (Under Side Of Footing) - U/F Denotes Minimum Depth Of Under Side Of Footing - Under Side Of Footing May Differ Depending On Basement Conditions. See Floor Plans And Elevations For Specific Under Side Of Footing Conditions - Footings To Be Min 1.2m Below Grade

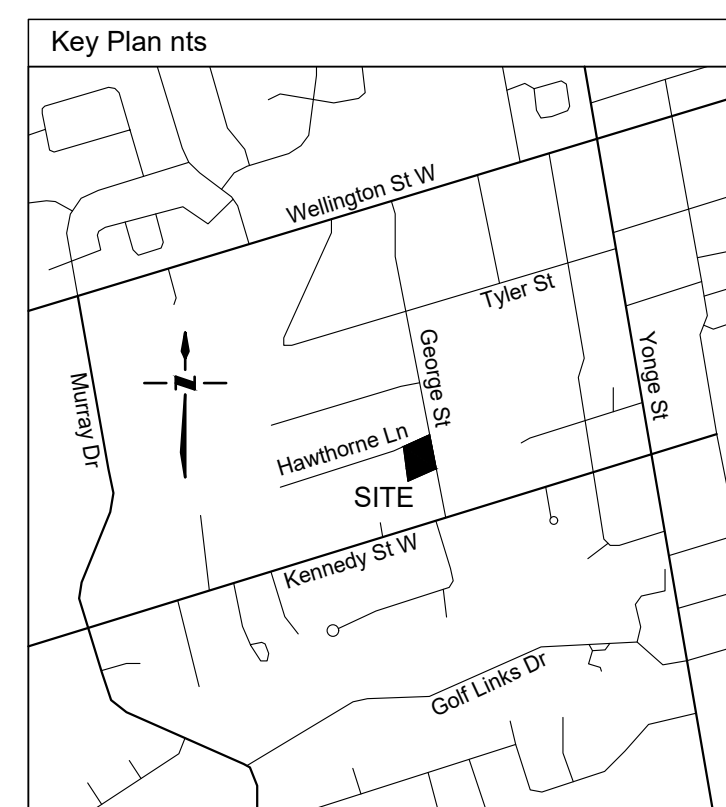
- General Notes:
1. Do Not Scale Drawings
  2. These Plans Are To Remain The Property Of The Designer And Must Be Returned Upon Request. These Plans Must Not Be Used In Any Other Location Without The Written Approval Of The Designer.
  3. All Works To Be In Accordance With The Ontario Building Code And All Code References Refer To O.B.C. 2012 Division 1.

Site Data	Existing	Removed	Proposed	Total
Lot Area	1,310.25 sm (0.131 ha)			
Zoning	R2(2)			
Average Grade	267.85			
Floor Area	153.39 sm	165.11 sf	0.95 sm	10.2 sf
Ground Floor	153.39 sm	165.11 sf	0.95 sm	10.2 sf
Second Floor	140.35 sm	1510.8 sf	1.20 sm	12.9 sf
Garage	53.93 sm	580.5 sf	0.77 sm	8.3 sf
Less Parking	28.62 sm	308.1 sf	0.00 sm	0.0 sf
Total Area	293.74 sm	3161.9 sf	2.15 sm	23.1 sf
Interior Alterations	246.79 sm	2656.5 sf		
Garage Interior	50.02 sm	560.0 sf		
Finished Basement	112.50 sm	1211.0 sf		
Lot Coverage				
House Footprint	21.85%	286.35 sm		
Front Covered Porch	0.74%	9.72 sm		
Rear Covered Porch	2.21%	28.90 sm		
Total Proposed Coverage	24.80%	324.97 sm		
Max Allowed Coverage	35.00%	458.59 sm		

PARK LOT 2  
PARK LOT 3

GEORGE STREET  
(By Registered Plan 38)

HAWTHORNE LANE  
(By Registered Plan 597)



TOWN OF AURORA  
PLANNING AND DEVELOPMENT SERVICES  
Development Planning Division  
DATE: Jun. 3, 2022  
RECEIVED

The Undersigned Has Reviewed And Takes Responsibility For This Design, And Has The Qualifications And Meets The Requirements Set Out In The Ontario Building Code To Be A Designer.  
Qualification Information Required Unless The Design Is Exempt Under Division C-3.2.5.1. Of The 2012 ONTARIO Building Code.  
Name: Peter Giordano  
Signature: [Signature]  
Registration Information Required Unless The Design Is Exempt Under Division C-3.2.4.1. Of The 2012 ONTARIO Building Code.  
Firm Name: SMALL DESIGNS INC.  
Firm No.: 29990

Project:

The Boyd Home  
3 Hawthorne Lane  
Part Of Park Lot 3  
Registered Plan 38  
Town of Aurora,  
Regional Municipality of York

Drawing:  
Site &  
Grading Plan

Scale: 1:100  
Date: Mar 2022  
Dwn by: MM  
Proj. no.: 20-1857

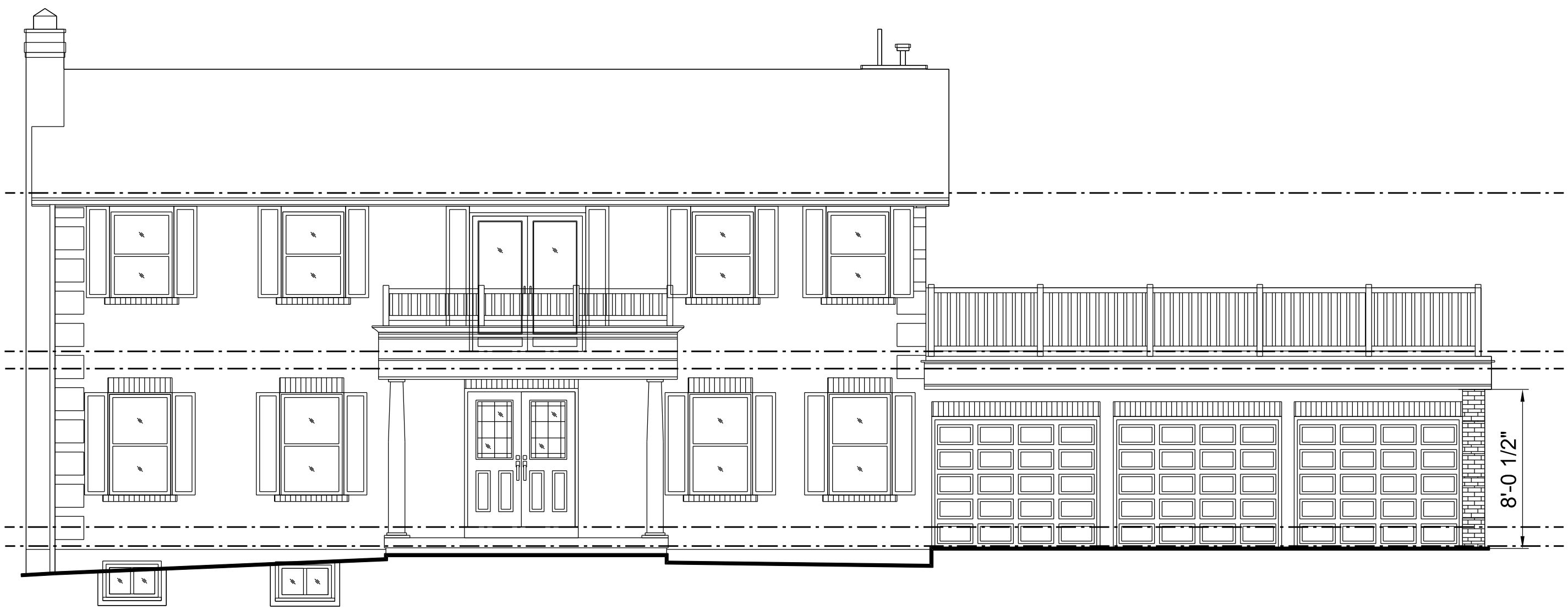
SP

TOWN OF AURORA  
PLANNING AND DEVELOPMENT SERVICES  
BUILDING DIVISION  
PERMIT NO.: PR20220456 DATE: Apr. 6, 2022  
APPROVED BY: [Signature]  
PRELIMINARY ZONING REVIEW

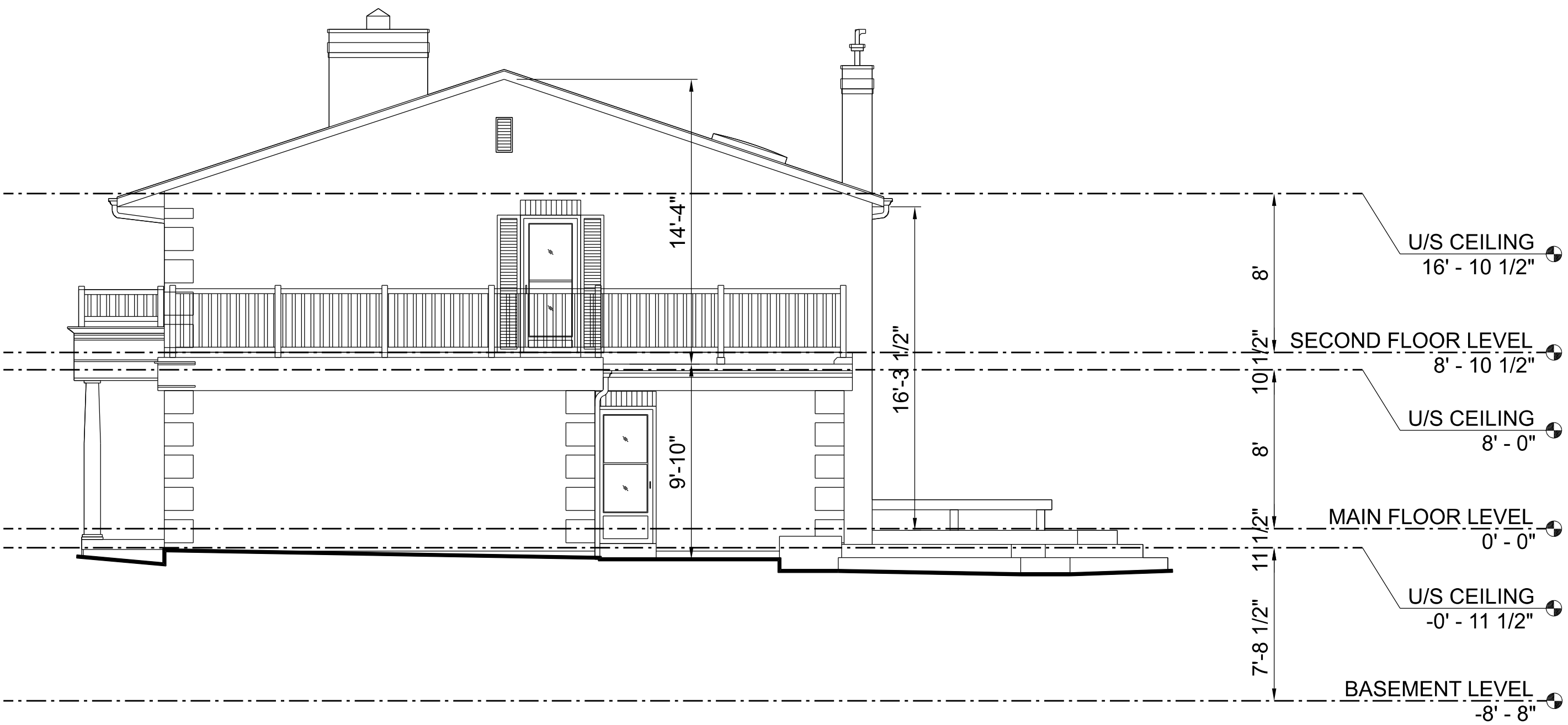
David  
Small  
Designs



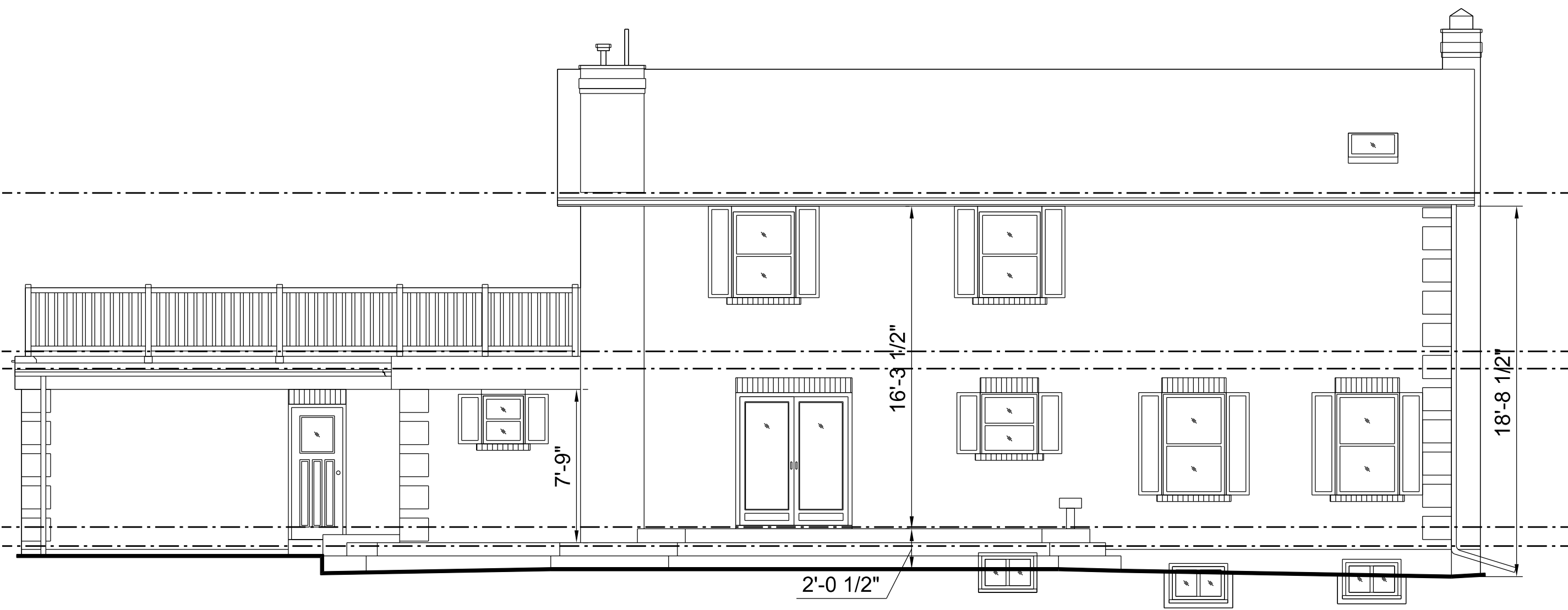
TOWN OF AURORA  
PLANNING & DEVELOPMENT SERVICES  
BUILDING DIVISION  
PERMIT NO.: PR20220456      DATE: Apr. 6, 2022  
APPROVED BY: *Abhey Vandervel*  
PRELIMINARY ZONING REVIEW



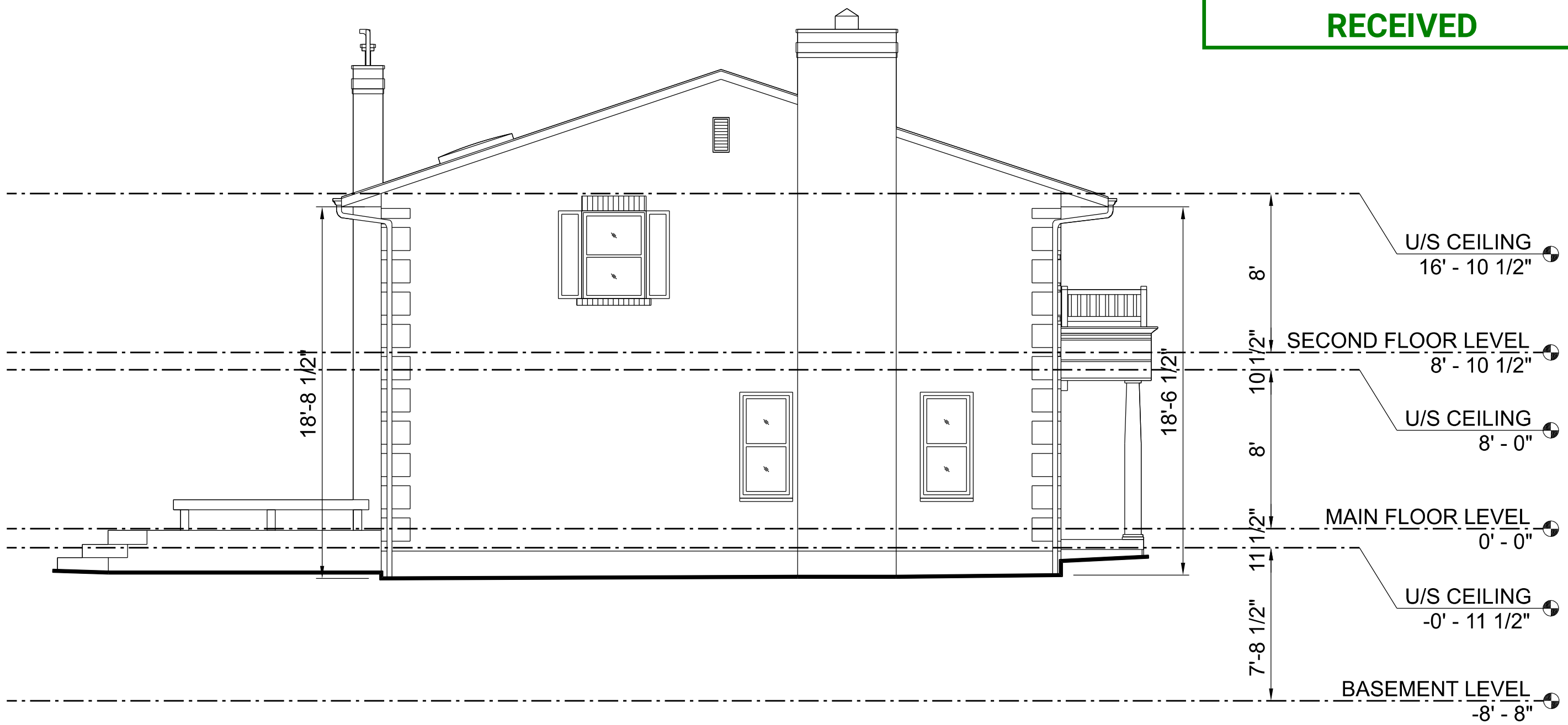
Existing Front Elevation



Existing Right Elevation



Existing Rear Elevation



Existing Left Elevation

TOWN OF AURORA  
PLANNING AND DEVELOPMENT SERVICES  
Development Planning Division  
DATE: Jun. 3, 2022  
**RECEIVED**

1	Mar. 21/22	Issued To Owner For Zoning Approvals
no.	date	revision / comment

Project:

The Boyd Home  
3 Hawthorne Lane  
Part of Lot 3  
Registered Plan 38  
Town of Aurora,  
Regional Municipality of York

Drawing:

As Built Elevations

Scale: 1/4"=1'-0"  
Date: Mar. 2022  
Dwn by:  
Proj. no.: 20-1857

AB2

NOTE:  
BASE INFORMATION  
PROVIDED BY PLANIT.  
DIMENSIONS SUBJECT  
TO SITE VERIFICATION  
BY BUILDER PRIOR TO  
CONSTRUCTION



**NOTE:**  
BASE INFORMATION PROVIDED BY  
PLANIT. DIMENSIONS SUBJECT TO SITE  
VERIFICATION BY BUILDER PRIOR TO  
CONSTRUCTION

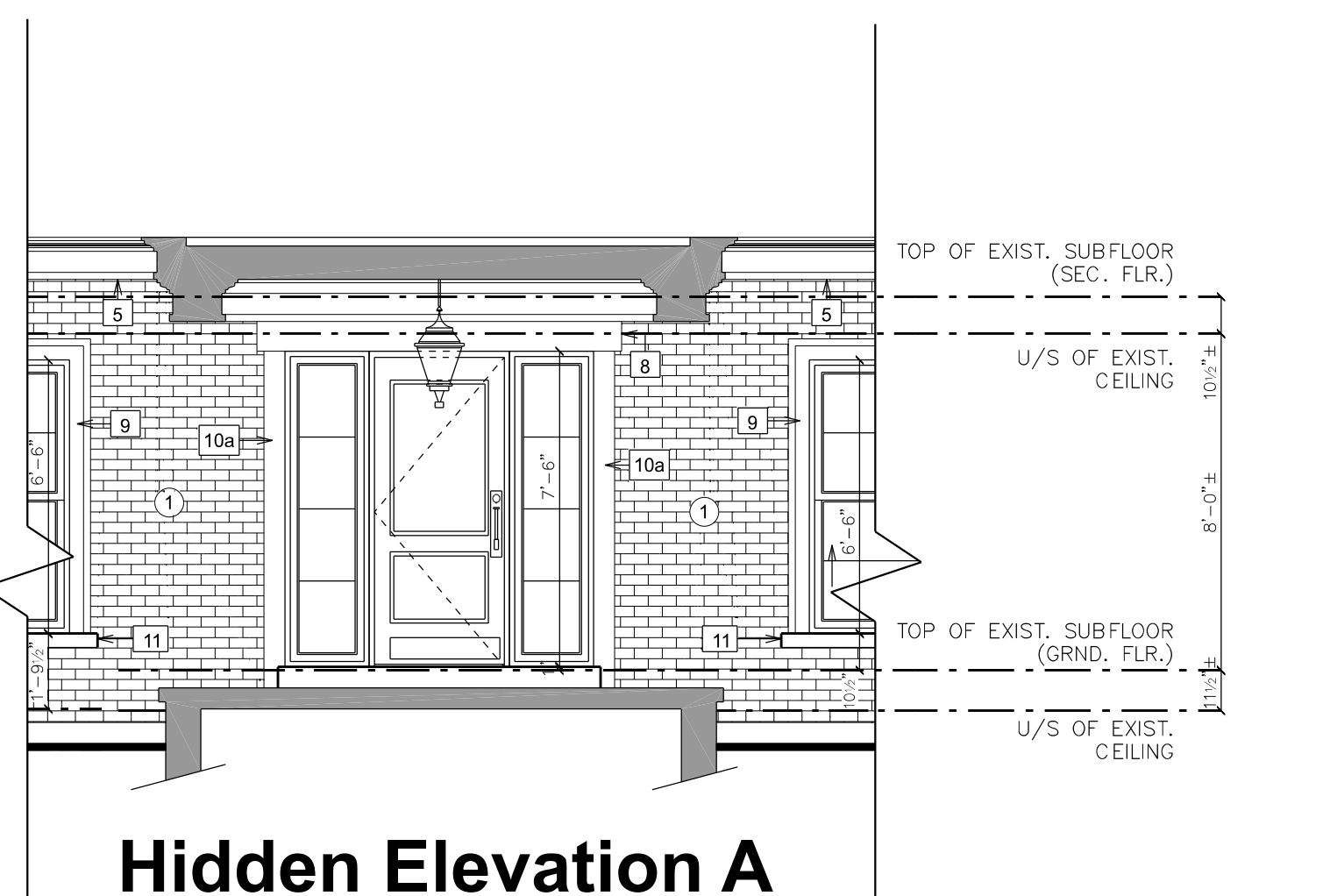
### Elevation Notes

- ③ Prefinished "natural" wood siding to comply with ONT. Reg. 332/12 subsection 9.27.6. Lumber-siding and table 9.27.5.4.
- ② Blocking or furring for the attachment of siding to comply with 9.27.5.2 and 9.27.5.3. and as per manufacturer's specifications
- ② All stucco to be "DuROCK" EIFS P.U.C.C.S. exterior insulation and finish system CCMC 12969R approved - install as per OBC 9.28. and manufacturer's specifications - note use "Polar Bear" by DuROCK for air/moisture barrier below stucco in place of Tyvek or equivalent product specified for all walls not clad in stucco
- Note: All over-hangs are 4" inset from stone facing on ground floors (typical)
- Note: Refer to roof plan for all roof slopes and overhang info
- ① Stepped footing per OBC 9.15.3.9.
- ② Glazing to be tempered glass (if operable window provide opening restrictor) - Comply with OBC 9.8.8.1 (5) and (6)
- ③ 12" dia. Poured concrete Sono tubes min. 48" below finished grade or to undisturbed soil (Typ.)
- ⑤ New foundations to connect with existing at same level, plus extend 2-15M rebars into existing footing set with Epoxy and extending 12" into new footing

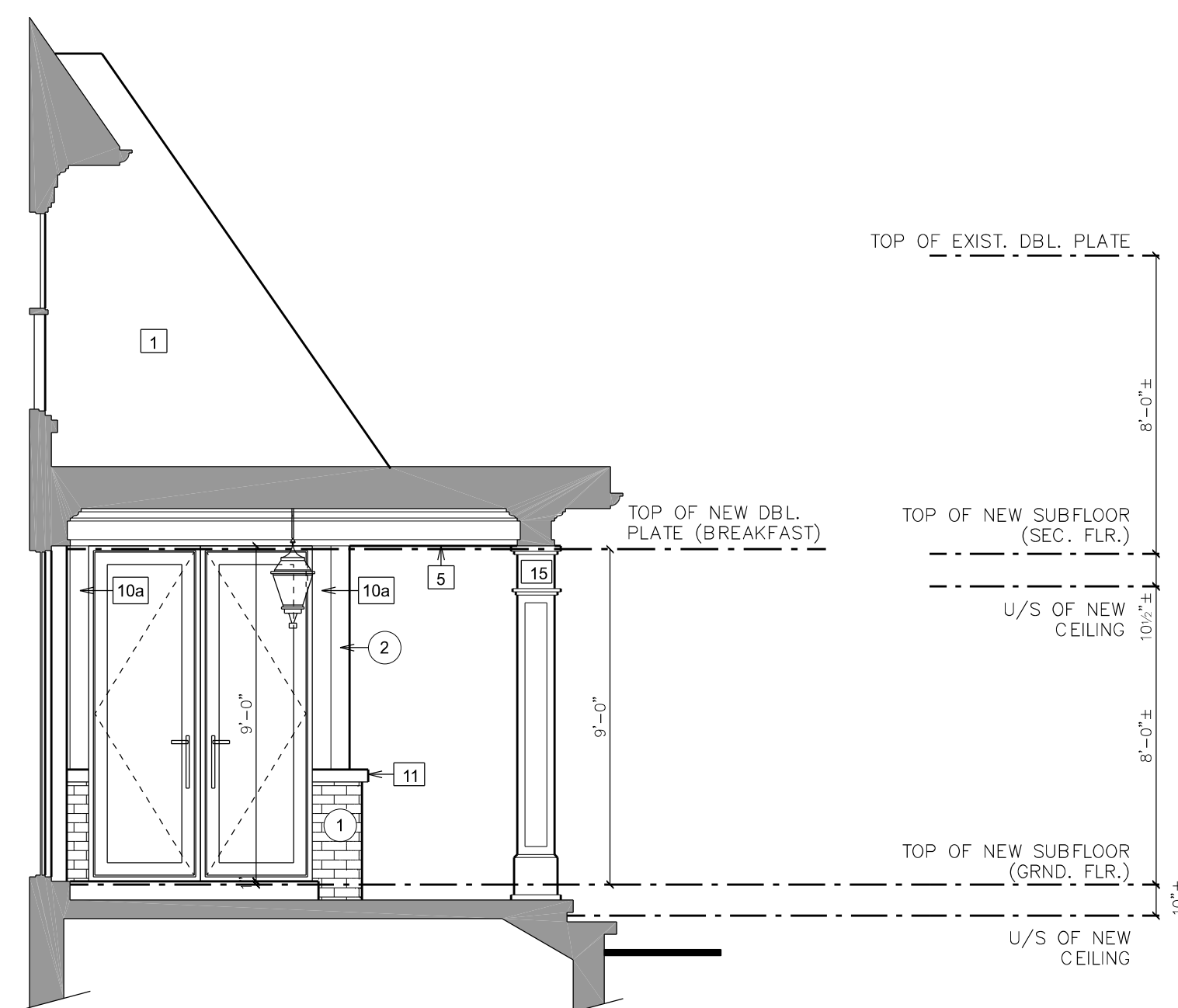
### Unprotected Openings Calculations

Limiting Distance	1.53m
Wall Area	1149.8 sf (106.8 sm)
Opening Area Allowed	81.2 sf (7.1 %)
Opening Area Existing	0.0 sf (0.0 %)
Opening Area Proposed	35.1 sf (3.1 %)
Total Opening Area	35.1 sf (3.1 %)

Please Note The Figure For % Openings Allowed Has Been Interpolated Based On O.B.C. Table 9.10.15.4 And Glazed Areas Were Used To Calculate Proposed Openings As Allowed By 9.10.15.4.



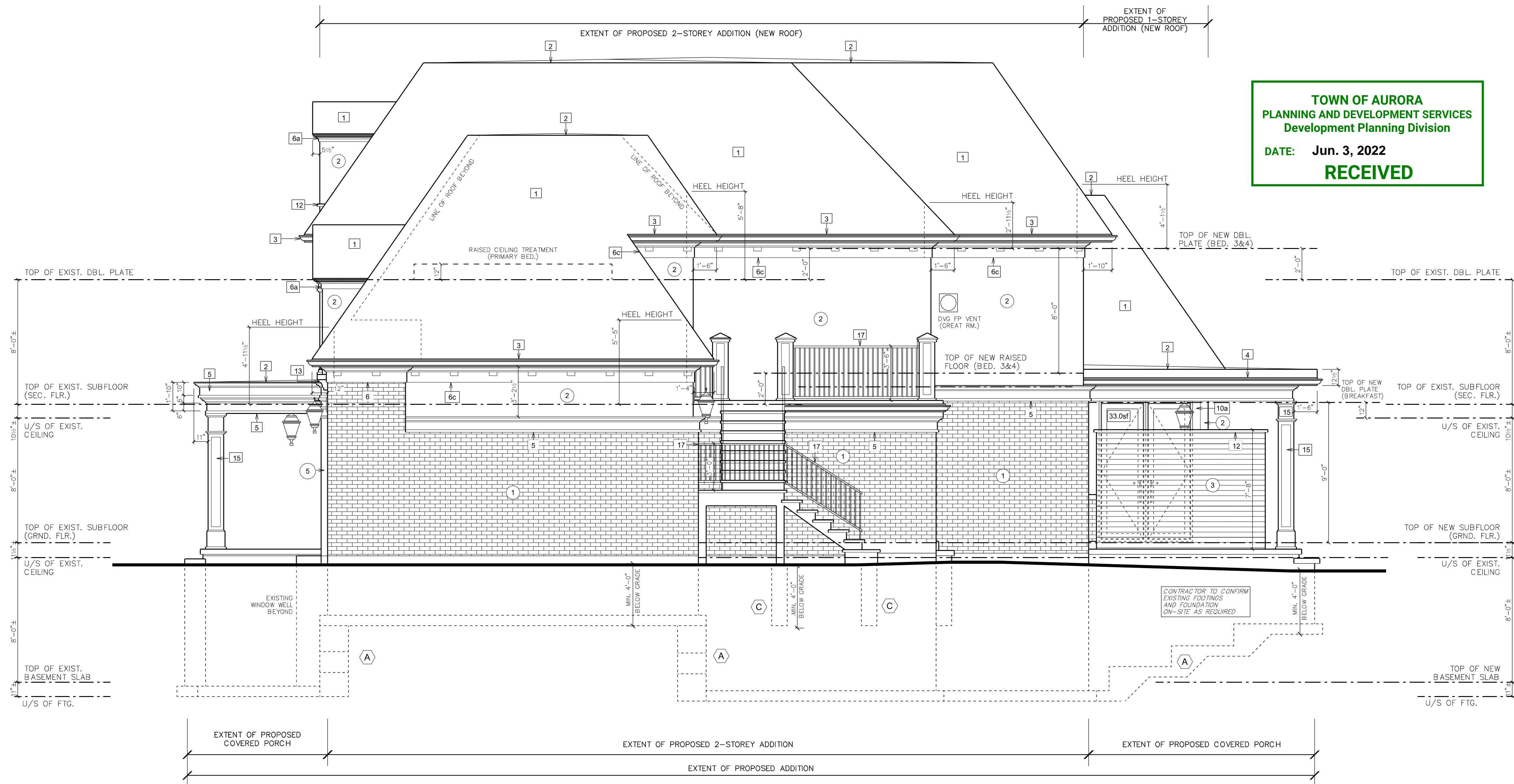
**Hidden Elevation A**



**Hidden Elevation B**



**Front Elevation**



**Right-Side Elevation**

**TOWN OF AURORA  
PLANNING & DEVELOPMENT SERVICES  
BUILDING DIVISION**  
PERMIT NO.: PR20220456 DATE: Apr. 6, 2022  
APPROVED BY: Ashley Vaudermat  
PRELIMINARY ZONING REVIEW

### Drawing Legend

#### 1.0 Materials

- ① New Brick Veneer
- ② New Pigmented Epoxy Stucco
- ③ New 4" Prefinished Horizontal Wood Siding
- ④ New Prefinished Aluminum Panel
- ⑤ Smooth Cut Stone

#### 2.0 Roofing

- ① New 40 Year Asphalt Shingles
- New 2-Ply Torched On Rubber Membrane  
Roof Sloped To 2% To Outside Edge On  
1/2" Plywood Roof Sheathing On Roof  
Trusses/Joists

#### 3.0 Trim, Cornice,

##### Moulding, & Gutter Notes

- ③ New Prefinished Aluminum Gutter  
on 6" Prefinished Aluminum Fascia
- ④ New 12" Wide Prefinished Aluminum  
Fascia c/w Starter Strip & Drip Edge 1"x12"  
Base Fascia Board 1"x6" Flat Stock 6"  
Prefinished Aluminum Gutter
- ⑤ New 4" Crown Mould Cut Stone Trim  
on Flat w/ 2" High x 6" Wide and 1"  
Bottom Trim (Total 12" High)
- ⑥ New 4" Crown Mould Cut Stone Trim on  
Flat w/ 3" High x 6" Wide and 1"  
Projection (Total 12" High)
- ⑥a New 4" Crown Mould Stucco  
Trim on Flat (Total 8" High)
- ⑥b New 4" Crown Mould Stucco  
Trim on Flat (Total 6" High)
- ⑥c New 4" Crown Mould Stucco Trim  
on Flat w/ 3" High x 6" Wide and  
1" Projection (Total 12" High)
- ⑦ New 4" Crown Mould Stucco Trim
- ⑧ New 10" Cut Stone Lintel
- ⑨ New 6" Cut Stone Surround w/ 2" Edge Reveal
- ⑨a New 6" Stucco Surround w/ 2" Edge Reveal
- ⑩ New 8" Stucco Trim
- ⑩a New 6" Stucco Trim
- ⑩b New 2" Stucco Trim
- ⑪ New 4" Cut Stone Sill Projected 2"
- ⑪a New 2" Stucco Sill Projected 2"
- ⑬ New Cut Stone Decorative Brackets
- ⑬a New 12"x12" Cut Stone Post As Shown
- ⑬b New 3"x3" Crezon Clad Site-Painted Wood Post
- New Site Painted wood Handrail and  
posts as shown - Min 42" Above Finished  
Deck surface. Add 1"x1" Metal Mesh  
Panel in front of all intermediate gaurd  
banding to Avoid climbing and as per  
OBC 9.8.7. & 9.8.8.

The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer. Qualification information required unless the design is exempt under Division C - 3.2.3.1 of the 2012 Ontario Building Code.

Peter Giordano 29991 BCIN  
Name Signature  
Registration information required unless the design is exempt under Division C - 3.2.3.1 of the 2012 Ontario Building Code.  
David W. Small Designs Inc. 29999 BCIN  
Firm Name

**TOWN OF AURORA  
PLANNING AND DEVELOPMENT SERVICES  
Development Planning Division**  
DATE: Jun. 3, 2022  
**RECEIVED**

no.	date	revision / comment
1	Mar 21/22	Issued To Owner For Zoning Approvals

Project:

**The Boyd Home  
3 Hawthorne Lane**

Part of Lot 3  
Registered Plan 38  
Town of Aurora,  
Regional Municipality of York

Drawing:

**Front & Rightside  
Elevations**

Scale: 1/4" = 1'-0"  
Date: Mar 2022  
Dwn by: CJ  
Proj. no.: 20-1857

**A5**

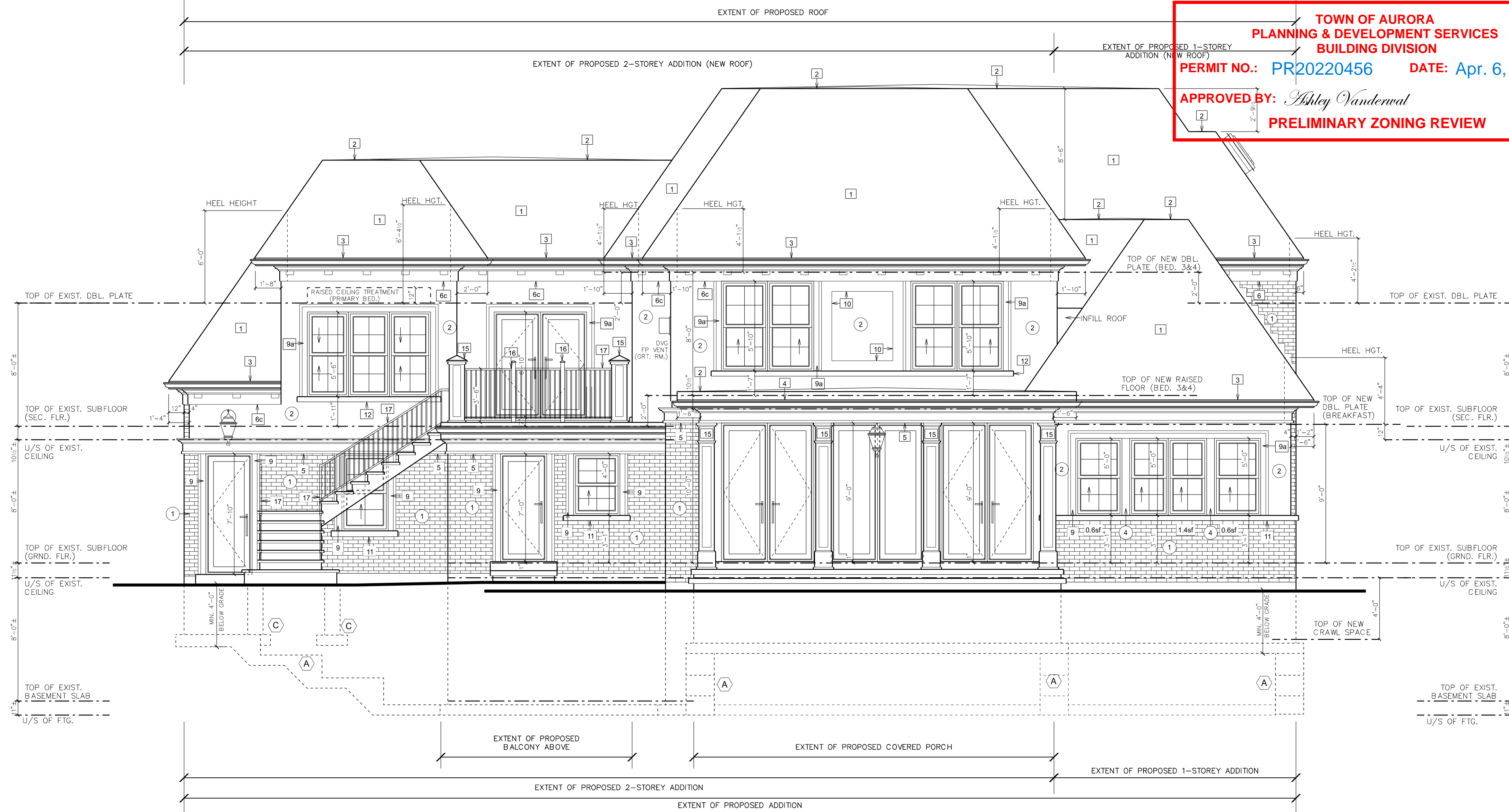
**David  
Small  
Designs**



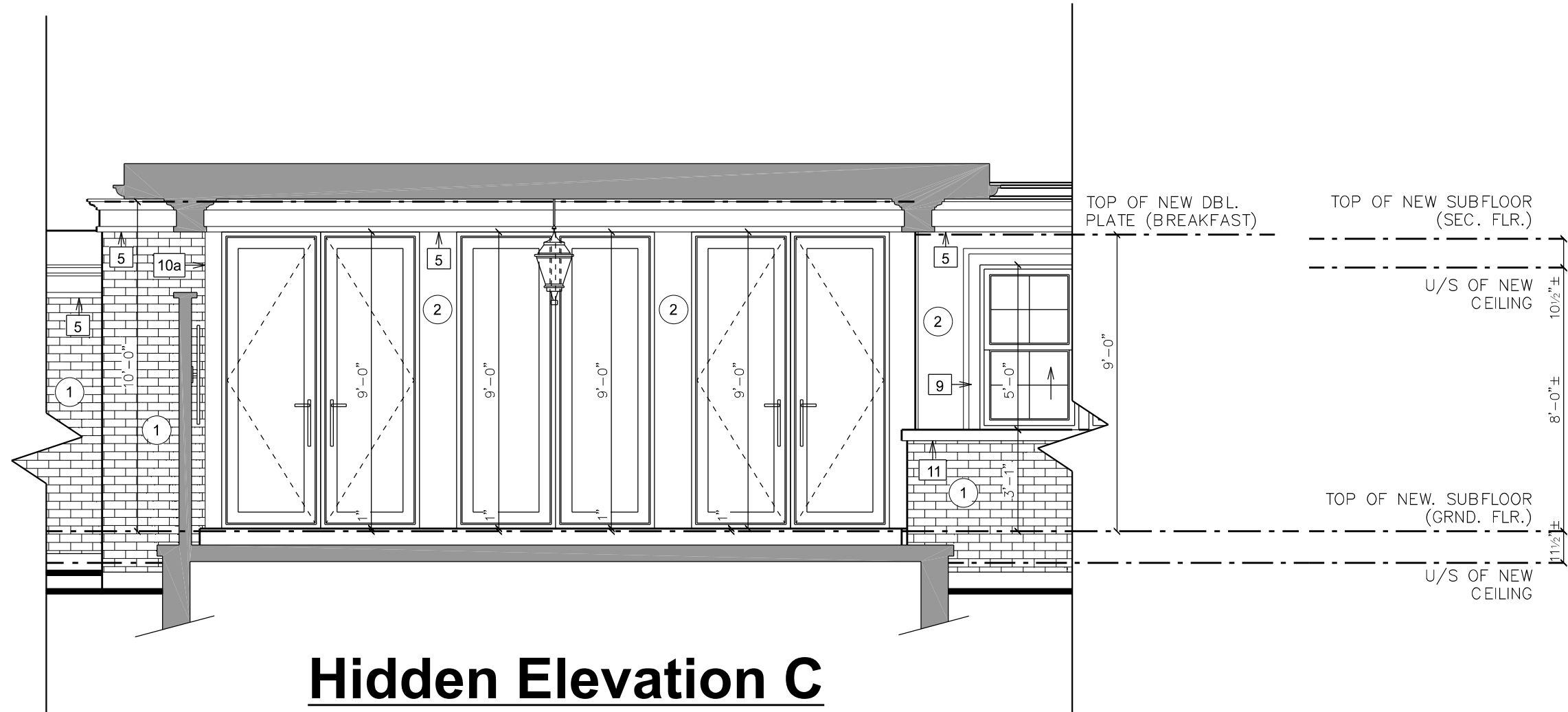
NOTE:  
BASE INFORMATION PROVIDED BY  
PLANIT. DIMENSIONS SUBJECT TO SITE  
VERIFICATION BY BUILDER PRIOR TO  
CONSTRUCTION

Elevation Notes

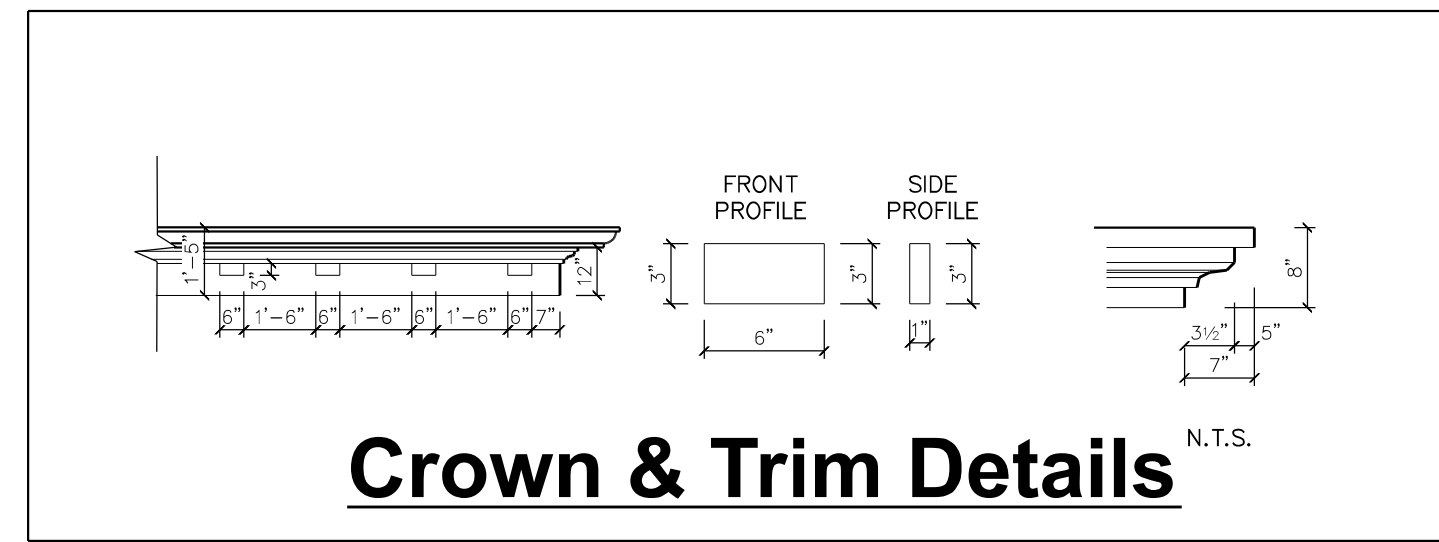
- 3 Prefinished 'natural' wood siding to comply with ONT. Reg. 332/12 subsection 9.27.6. Lumber-siding and table 9.27.5.4.
- 2 Blocking or furring for the attachment of siding to comply with 9.27.5.2 and 9.27.5.3. and as per manufacturer's specifications
- All stucco to be 'DuROCK' EIFS P.U.C.C.S. exterior insulation and finish system CCMC 12969R approved -install as per OBC 9.28. and manufacturer's specifications -note use 'Polar Bear' by DuROCK for air/moisture barrier below stucco in place of Tyvek or equivalent product specified for all walls not clad in stucco
- Note: All over-hangs are 4" inset from stone facing on ground floors (typical)
- Note: Refer to roof plan for all roof slopes and overhang info
- A Stepped footing per OBC 9.15.3.9.
- B Glazing to be tempered glass (If operable window provide opening restrictor) - Comply with OBC 9.8.8.1 (5) and (6)
- C 12" dia. Poured concrete Sono tubes min. 48" below finished grade or to undisturbed soil (Typ.)
- E New foundations to connect with existing at same level, plus extend 2-15M rebars into existing footing set with Epoxy and extending 12" into new footing



Rear Elevation



Hidden Elevation C



Crown & Trim Details

TOWN OF AURORA  
PLANNING AND DEVELOPMENT SERVICES  
Development Planning Division  
DATE: Jun. 3, 2022  
RECEIVED



Left-Side Elevation

TOWN OF AURORA  
PLANNING & DEVELOPMENT SERVICES  
BUILDING DIVISION  
PERMIT NO.: PR20220456 DATE: Apr. 6, 2022  
APPROVED BY: Ashley Vanderwal  
PRELIMINARY ZONING REVIEW

Drawing Legend

1.0 Materials

- 1 New Brick Veneer  
2 New Pigmented Epoxy Stucco  
3 New 4" Prefinished Horizontal Wood Siding  
4 New Prefinished Aluminum Panel  
5 Smooth Cut Stone

2.0 Roofing

- 1 New 40 Year Asphalt Shingles  
2 New 2-Ply Torched On Rubber Membrane Roof Sloped To 2% To Outside Edge On 1/2" Plywood Roof Sheathing On Roof Trusses/Joists

3.0 Trim, Cornice, Moulding, & Gutter Notes

- 3 New Prefinished Aluminum Gutter on 6" Prefinished Aluminum Fascia
- 4 New 12" Wide Prefinished Aluminum Fascia c/w Starter Strip & Drip Edge 1"x12" Base Fascia Board 1"x6" Flat Stock 6" Prefinished Aluminum Gutter
- 5 New 4" Crown Mould Cut Stone Trim on Flat w/ 2" High x 1-1/4" Deep Bottom Trim (Total 12" High)
- 6 New 4" Crown Mould Cut Stone Trim on Flat w/ 3" High x 6" Wide and 1" Projection (Total 12" High)
- 6a New 4" Crown Mould Stucco Trim on Flat (Total 8" High)
- 6b New 4" Crown Mould Stucco Trim on Flat (Total 6" High)
- 6c New 4" Crown Mould Stucco Trim on Flat w/ 3" High x 6" Wide and 1" Projection (Total 12" High)
- 7 New 4" Crown Mould Stucco Trim
- 8 New 10" Cut Stone Lintel
- 9 New 6" Cut Stone Surround w/ 2" Edge Reveal
- 9a New 6" Stucco Surround w/ 2" Edge Reveal
- 10 New 8" Stucco Trim
- 10a New 6" Stucco Trim
- 10b New 2" Stucco Trim
- 11 New 4" Cut Stone Sill Projected 2"
- 12 New 2" Stucco Sill Projected 2"
- 13 New Cut Stone Decorative Brackets
- 4.0 Railing, Post
- 15 New 12"x12" Cut Stone Post As Shown
- 16 New 3"x3" Crezon Clad Site-Painted Wood Post
- 17 New Site Painted wood Handrail and posts as shown - Min 42" Above Finished Deck surface. Add 1"x1" Metal Mesh Panel in front of all intermediate guard banding to Avoid climbing and as per OBC 9.8.7. & 9.8.8.

The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer. Qualification information required unless the design is exempt under Division C - 3.2.4.1. of the 2015 Ontario Building Code.

Peter Giordano  
Name  
Signature  
25961 BCN

Registration information required unless the design is exempt under Division C - 3.2.4.1. of the 2012 Ontario Building Code.

David W. Small Designs Inc.  
Firm Name  
29990 BCN

no.	date	revision / comment
1	Mar 21/22	Issued To Owner For Zoning Approvals

Project:

The Boyd Home  
3 Hawthorne Lane  
Part of Lot 3  
Registered Plan 38  
Town of Aurora,  
Regional Municipality of York

Drawing:

Rear & Left-Side Elevations

Scale: 1/4" = 1'-0"  
Date: Mar 2022  
Dwn by: CJ  
Proj. no.: 20-1857

A6

David  
Small  
Designs

**TOWN OF AURORA**  
**PLANNING AND DEVELOPMENT SERVICES**  
**Development Planning Division**

**DATE: Jun. 3, 2022**

**RECEIVED**

6. Why is it not possible to comply?

The subject property is a slanting trapezoidal shape, with the existing home positioned parallel to Hawthorne Lane. As the property line slants back on an angle towards the rear of the property, it's relationship to George St. to the East and the side yard property line to the West, tapers & reduces. One the East exterior side yard facing the George Street, the existing 2-storey home is existing non-conforming. Our proposed 1-storey addition on the left or East side follows the existing wall of the house creating a reduced exterior side yard setback. On the right or West side we are proposing a new Garage with a 2<sup>nd</sup> storey addition above, maintaining exactly the same width as the current footprint of the house along the front, and about 2' longer towards the rear. Once again the interior side wall is effectively existing non-conforming except for the last 2' projection at the rear of the garage which follows the same line of the wall but extends further by 2'. The second floor addition above the Garage is set-in about 5' in from the proposed Garage wall and built within the sloping hip roof over the Garage, limiting the impact of massing on the right side of the house. We believe these two variance items to be appropriate and understandably minor."



100 John West Way  
Aurora, Ontario  
L4G 6J1  
(905) 727-3123  
aurora.ca

Town of Aurora

## Committee of Adjustment Report

No. MV-2022-22

---

**Subject:**                    **Minor Variance Application**  
Norouzpour  
81 Child Drive  
Lot 385, Plan 514  
MV-2022-22  
Related Planning Applications: SPR-2022-06

**Prepared by:**            Rosanna Punit, Planner

**Department:**           Planning and Development Services

**Date:**                     July 14, 2022

---

### Application

The owner/applicant is requesting relief from the requirements of the Town's Comprehensive Zoning By-law 6000-17, as amended, to facilitate the construction of a new 2 storey dwelling. The following relief is being requested:

- a) Section 24.497.3.2 of the Zoning By-law requires a minimum interior side yard setback of 3.0 metres (10 ft) beyond the main rear wall of the adjacent dwelling. The applicant is proposing a two-storey detached dwelling, which is 1.8 (6 ft) metres to the interior side property line.

### Background

#### Subject Property and Area Context

The subject property is located north of Henderson Drive, west of Yonge Street and east of Bathurst Street. The current dwelling is a one storey dwelling with attached car port. The subject property has a lot area is approximately 697m<sup>2</sup> (7500 sq. ft.) and a lot frontage of approximately 15m (50 ft). There are trees located in the rear of the property. A hedge is located on the west side of the property abutting 83 Child Drive.

**Proposal**

The applicant is demolishing the existing dwelling, and proposing a new two storey dwelling on the subject lands with an approximate gross floor area of 367m<sup>2</sup> (3900 sq. ft.), The surrounding neighbourhood is in transition with one and two storey dwellings.

**Official Plan**

The subject property is designated “Stable Neighbourhoods” by the Town of Aurora’s Official Plan, which seeks to ensure that residential neighbourhoods are protected from incompatible forms of development, while allowing the neighbourhoods to be enhanced over time. Further, the Stable Neighbourhoods designation provides for single detached dwellings as a permitted use.

**Zoning**

The subject property is zoned “R3-SN (497)” (Detached Third Density Residential Exception 497 Zone) by Zoning By-law 6000-17, as amended, which permits single detached dwellings.

The proposed development is subject to Site Plan Approval as per By-law 6106-18, as amended. A Site Plan Application has been submitted to the Town and is currently under review

**Preliminary Zoning Review**

A Preliminary Zoning Review (PZR) has been completed by the Town of Aurora’s Building Division. The PZR identified the required variances, and no other non-compliance was identified.

**Applicant’s stated reason(s) for not complying with the Zoning By-law**

As stated on the application form, “Oversized setbacks makes the house too narrow”.

**Planning Comments**

Planning Staff have evaluated Minor Variance Application MV- 2022-22 pursuant to the prescribed tests as set out in Section 45(1) of the Planning Act, as follows:

**a) The proposed variance meets the general intent of the Official Plan**

The Regency Acres Neighbourhood is generally characterized by one to two storey dwellings. The Official Plan states that new development abutting existing residential development shall be sympathetic to the form and character of existing development with



regards to building scale and urban design. A Site Plan Application is currently under review by Planning staff where matters relating to site and building design, etc. will be addressed. Staff are of the opinion that the requested variance will facilitate the development of a new dwelling that is compatible with and generally in keeping with the low-density residential form and character of the neighbourhood.

It is the opinion of staff that the requested variance meets the general intent of the Official Plan.

**b) The proposed variance meets the general intent of the Zoning By-law**

The intent of the interior side yard setback provision is to ensure that appropriate and adequate spacing between buildings is provided for privacy, landscaping, access, and drainage.

The proposed interior side yard setback of 1.8m relates specifically to the extension of the proposed dwelling beyond the adjacent dwelling at 79 Child Drive. The current unenclosed carport has an approximate side setback of 0.6m (2 ft). The proposed new at dwelling at 81 Child Drive, would allow for a 1.8m side setback which, staff are of the opinion that provides increased privacy than what is currently on the property.

The new dwelling at 81 Child Drive extends approximately 3m (9.8 ft) from the adjacent dwelling (79 Child Drive), there are no windows or side entrances in this area, adding to privacy of the abutting property.

Staff are of the opinion that the requested variance meets the general intent of the Zoning By-law and has minimal impacts on the streetscape and privacy of the abutting neighbour.

**c) The proposed variance is considered desirable for the appropriate development of the land**

Staff are of the opinion that the extension adequately provides for privacy of the abutting dwelling and still provides for a rear amenity area for the proposed dwelling. The neighbourhood is currently under transition with one and two storey dwellings. Staff consider the variance desirable for the appropriate development of the land.

**d) The proposed variance is considered minor in nature**

The proposed dwelling is considered moderate in scale and are not anticipated to result in any negative impacts to surrounding properties or the neighbourhood. As such, Staff are of the opinion that the requested variance is minor in nature.

### Additional Comments

The minor variance application was circulated to Town Department/Divisions and to external agencies for review and comment. The following comments were provided:

Department or Agency	Comments
Building Division	Preliminary Zoning Review was completed on June 7, 2022.
Engineering Division	Comments provided stating no comments (dated: June 30, 2022)
Operational Services (Parks)	<p>Comments provided stating:</p> <ul style="list-style-type: none"> <li>• That the owner may be required to provide an Evaluation Report prepared by a Certified Arborist or Professional Registered Forester outlining all aspects of the impacts that this proposal will have on existing and current remaining vegetation, The report shall include recommendations and an action plan on the mitigation of negative effects to vegetation , during and post construction periods as well as measures aimed at tree health care and protection for trees effected by the project and any remaining trees in the vicinity of the project that require applicable maintenance.</li> <li>• In addition the report shall include a schedule of monitoring the ongoing site work through a series of scheduled site visits by the Arborist / Forester during and post construction to ensure the vegetation preservation measures remain in compliance throughout the project, each site visit to be documented and any resulting action items required by the Arborist /Forester shall be implemented and confirmed on site forthwith by the Arborist /Forester following each visit.</li> <li>• The owner may be required to provide vegetation compensation and a replanting plan in accordance with the Town of Aurora</li> </ul>

July 14, 2022

5 of 8

Report No. MV-2022-22

Department or Agency	Comments
	<p>TREE REMOVAL/PRUNING AND COMPENSATION POLICY to the satisfaction of the Director of Operational Services as compensation for trees removed to facilitate construction. Compensation planting shall be completed prior to release of the financial securities.</p> <ul style="list-style-type: none"> <li>• The owner shall agree to comply with the Aurora Tree Permit By-law # 5850 -16 prior to the removal of any trees on the property.</li> <li>• The owner shall agree to provide financial securities based on the total value of the Tree Compensation evaluation and all Arboriculture works as defined by the Town and the Owners Arborist/ Forester. To the satisfaction of the Director of Parks and Recreation.</li> <li>• All of the above shall be included as terms and conditions in a Letter of Undertaking with the Town of Aurora to guarantee compliance with the Conditions of Approval and all related site works</li> </ul> <p>(Dated: June 29, 2022)</p>
Operational Services (Public Works)	No comments received at the time of writing this report.
Central York Fire Services	Comments provided stating no comments (Dated: June 29, 2022)
York Region	Comments provided stating no comments (Dated: June 17, 2022)
Lake Simcoe Region Conservation Authority (LSRCA)	No comments, not regulated by the LSRCA under O.R. 179/06.
Alectra	<p>Comments provided stating, no objections to its approval, subject to the following comments:</p> <ul style="list-style-type: none"> <li>• Alectra Utilities (formerly PowerStream) has received and reviewed the proposed Variance</li> </ul>

Department or Agency	Comments
	<p>Application. This review, however, does not imply any approval of the project or plan.</p> <ul style="list-style-type: none"> <li>• All proposed billboards, signs, and other structures associated with the project or plan must maintain minimum clearances to the existing overhead or underground electrical distribution system as specified by the applicable standards, codes and acts referenced.</li> <li>• In the event that construction commences, and the clearance between any component of the work/structure and the adjacent existing overhead and underground electrical distribution system violates the Occupational Health and Safety Act, the customer will be responsible for 100% of the costs associated with Alectra making the work area safe. All construction work will be required to stop until the safe limits of approach can be established.</li> <li>• In the event construction is completed, and the clearance between the constructed structure and the adjacent existing overhead and underground electrical distribution system violates the any of applicable standards, acts or codes referenced, the customer will be responsible for 100% of Alectra's cost for any relocation work.</li> </ul> <p>(Dated: June 21, 2022)</p>

### Public Correspondence

A written submission was received stating their opposition to the requested variance. Should additional written submissions be received after the writing of this report, the Secretary Treasurer will provide the submission(s) to Committee members at the meeting.

**Conclusion**

Planning staff have reviewed the application with respect to the Section 45(1) of the Planning Act, R.S.O, 1990, c.P.13, as amended, and are of the opinion that the requested variance does meet the four tests of the Planning Act for granting of minor variances. Staff recommend approval of the requested variances subject to the conditions outlined in Appendix 'A'.

**Attachments**

Appendix 'A' – Recommended Conditions of Approval

Appendix 'B' – Site Plan and Elevations

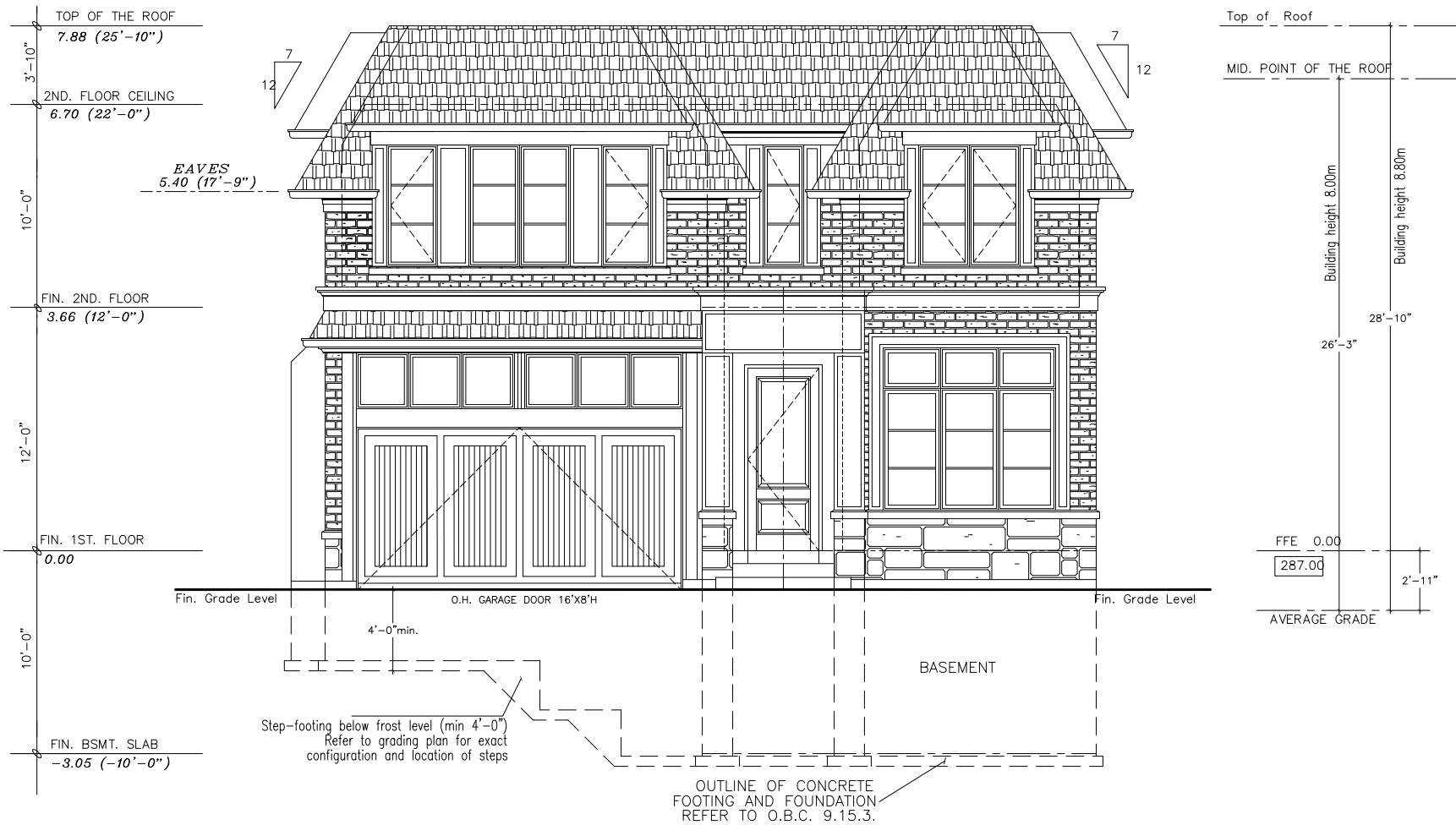
### **Appendix 'A' - Recommended Conditions of Approval**

1. That the owner obtains Stable Neighborhood Site Plan approval as per By-law 6106-18, as amended, to the satisfaction of the Director of Planning and Development Services or designate;
2.
  - a) That the owner may be required to provide an Evaluation Report prepared by a Certified Arborist or Professional Registered Forester outlining all aspects of the impacts that this proposal will have on existing and current remaining vegetation, The report shall include recommendations and an action plan on the mitigation of negative effects to vegetation , during and post construction periods as well as measures aimed at tree health care and protection for trees effected by the project and any remaining trees in the vicinity of the project that require applicable maintenance.
  - b) In addition the report shall include a schedule of monitoring the ongoing site work through a series of scheduled site visits by the Arborist / Forester during and post construction to ensure the vegetation preservation measures remain in compliance throughout the project, each site visit to be documented and any resulting action items required by the Arborist /Forester shall be implemented and confirmed on site forthwith by the Arborist /Forester following each visit.
  - c) The owner may be required to provide vegetation compensation and a replanting plan in accordance with the Town of Aurora TREE REMOVAL/PRUNING AND COMPENSATION POLICY to the satisfaction of the Director of Operational Services as compensation for trees removed to facilitate construction. Compensation planting shall be completed prior to release of the financial securities.
  - d) The owner shall agree to comply with the Aurora Tree Permit By-law # 5850 - 16 prior to the removal of any trees on the property.
  - e) The owner shall agree to provide financial securities based on the total value of the Tree Compensation evaluation and all Arboriculture works as defined by the Town and the Owners Arborist/ Forester. To the satisfaction of the Director of Parks and Recreation.
  - f) All of the above shall be included as terms and conditions in a Letter of Undertaking with the Town of Aurora to guarantee compliance with the Conditions of Approval and all related site works



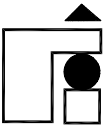
NORTH ELEVATION

SCALE 1/8" = 1'- 0"



TOWN OF AURORA  
PLANNING AND DEVELOPMENT SERVICES  
Development Planning Division  
DATE: Jun. 14, 2022  
RECEIVED

GUITBERG GROUP INC.



33 BELVEDERE CRES.  
RICHMOND HILL  
ONTARIO, L4C 8W1  
TEL. (905) 508-7436  
EMAIL: VICGUITBERG@ROGERS.COM

PRIVATE RESIDENCE  
AT 81 CHILD DRIVE  
TOWN OF AURORA, ONTARIO

NORTH ELEVATION

DRAWN BY	J.M.	CHECKED	V.G.
SCALE	1/8" = 1'-0"	DATE	APRIL '22

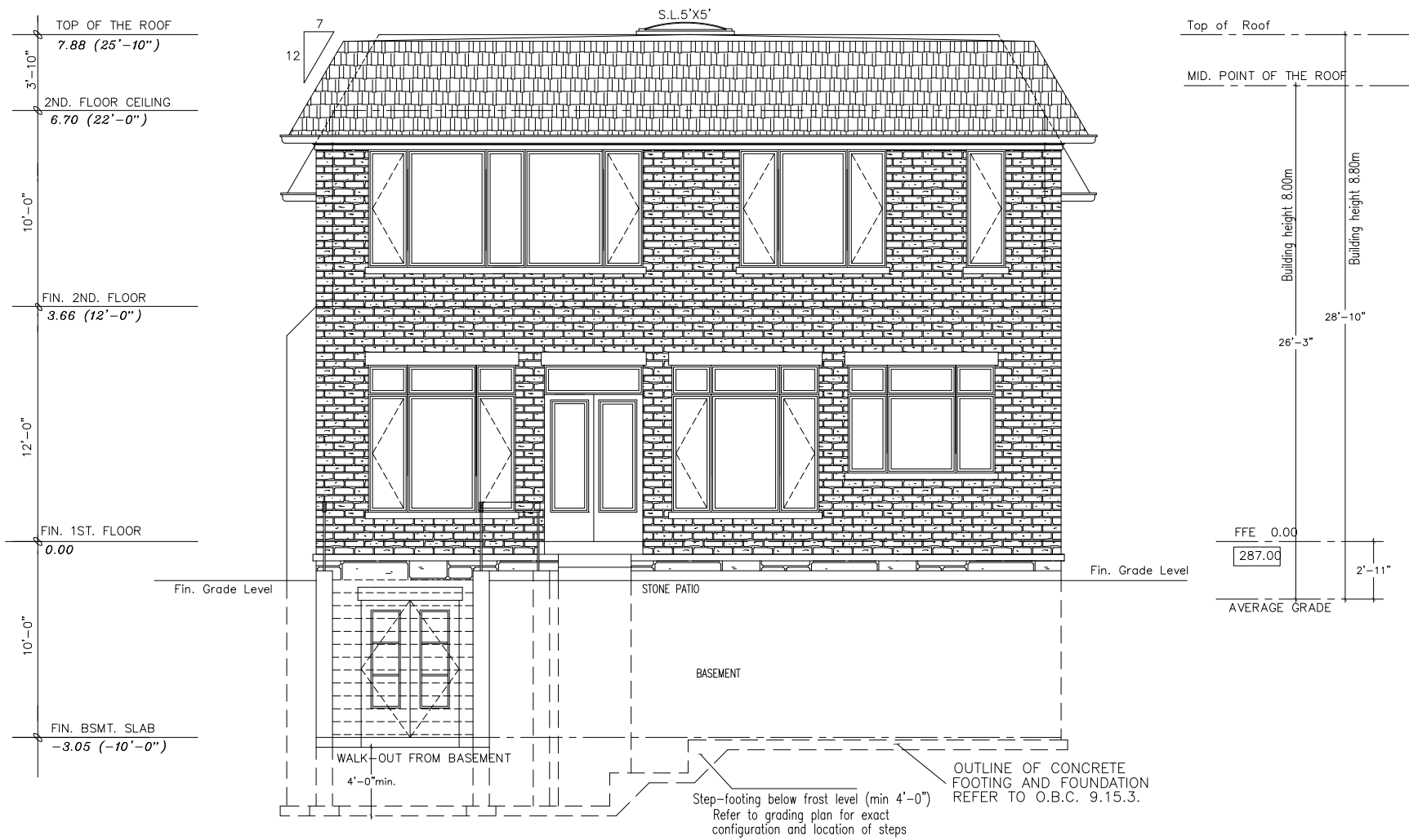
PROJECT NUMBER	R-22/04/22	A-5
----------------	------------	-----

TOWN OF AURORA  
PLANNING & DEVELOPMENT SERVICES  
BUILDING DIVISION  
PERMIT NO.: PR20220696      DATE: Jun. 7, 2022  
APPROVED BY: *Melissa Bezanin*  
PRELIMINARY ZONING REVIEW



SOUTH ELEVATION

SCALE 1/8" = 1'- 0"

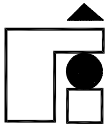


TOWN OF AURORA  
PLANNING AND DEVELOPMENT SERVICES  
Development Planning Division

DATE: Jun. 14, 2022

RECEIVED

GUITBERG GROUP INC.



33 BELVEDERE CRES.  
RICHMOND HILL  
ONTARIO, L4C 8W1  
TEL. (905) 508-7436  
EMAIL: VICGUITBERG@ROGERS.COM

PRIVATE RESIDENCE  
AT 81 CHILD DRIVE  
TOWN OF AURORA, ONTARIO

SOUTH ELEVATION

DRAWN BY J.M. CHECKED V.G.

SCALE 1/8" = 1'-0" DATE APRIL'22

PROJECT NUMBER R-22/04/22 A - 6

TOWN OF AURORA  
PLANNING & DEVELOPMENT SERVICES  
BUILDING DIVISION

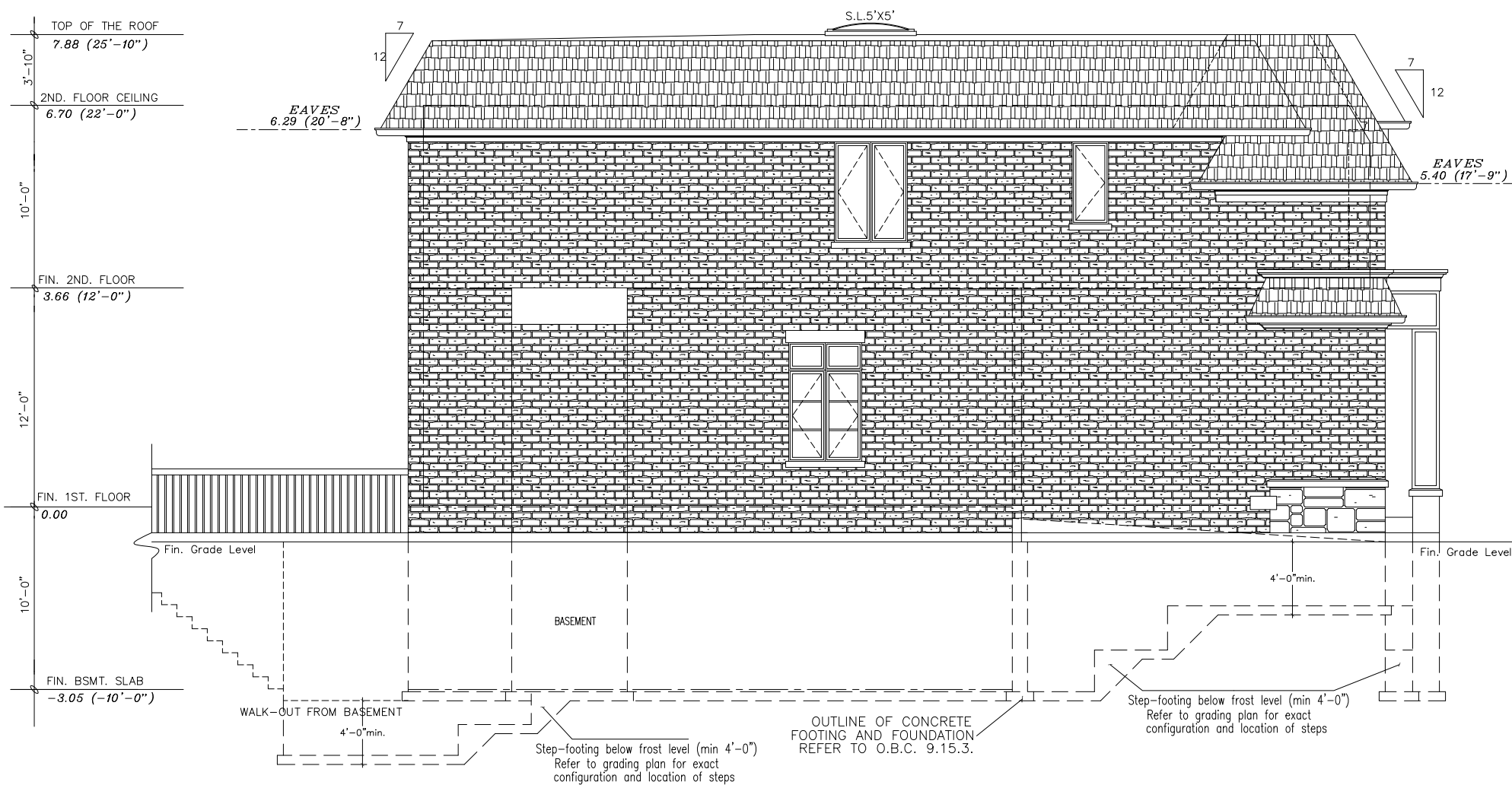
PERMIT NO.: PR20220696 DATE: Jun. 7, 2022

APPROVED BY: *Melissa Bozanin*

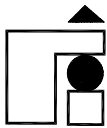
PRELIMINARY ZONING REVIEW

EAST ELEVATION

SCALE 1/8" = 1'- 0"



GUITBERG GROUP INC.



33 BELVEDERE CRES.  
RICHMOND HILL  
ONTARIO, L4C 8W1  
TEL. (905) 508-7436  
EMAIL: VICGUITBERG@ROGERS.COM

PRIVATE RESIDENCE  
AT 81 CHILD DRIVE  
TOWN OF AURORA, ONTARIO

EAST ELEVATION

DRAWN BY J.M. CHECKED V.G.

SCALE 1/8" = 1'-0" DATE APRIL '22

PROJECT NUMBER

R-22/04/22

A-7

TOWN OF AURORA  
PLANNING AND DEVELOPMENT SERVICES  
Development Planning Division

DATE: Jun. 14, 2022

RECEIVED

TOWN OF AURORA  
PLANNING & DEVELOPMENT SERVICES  
BUILDING DIVISION

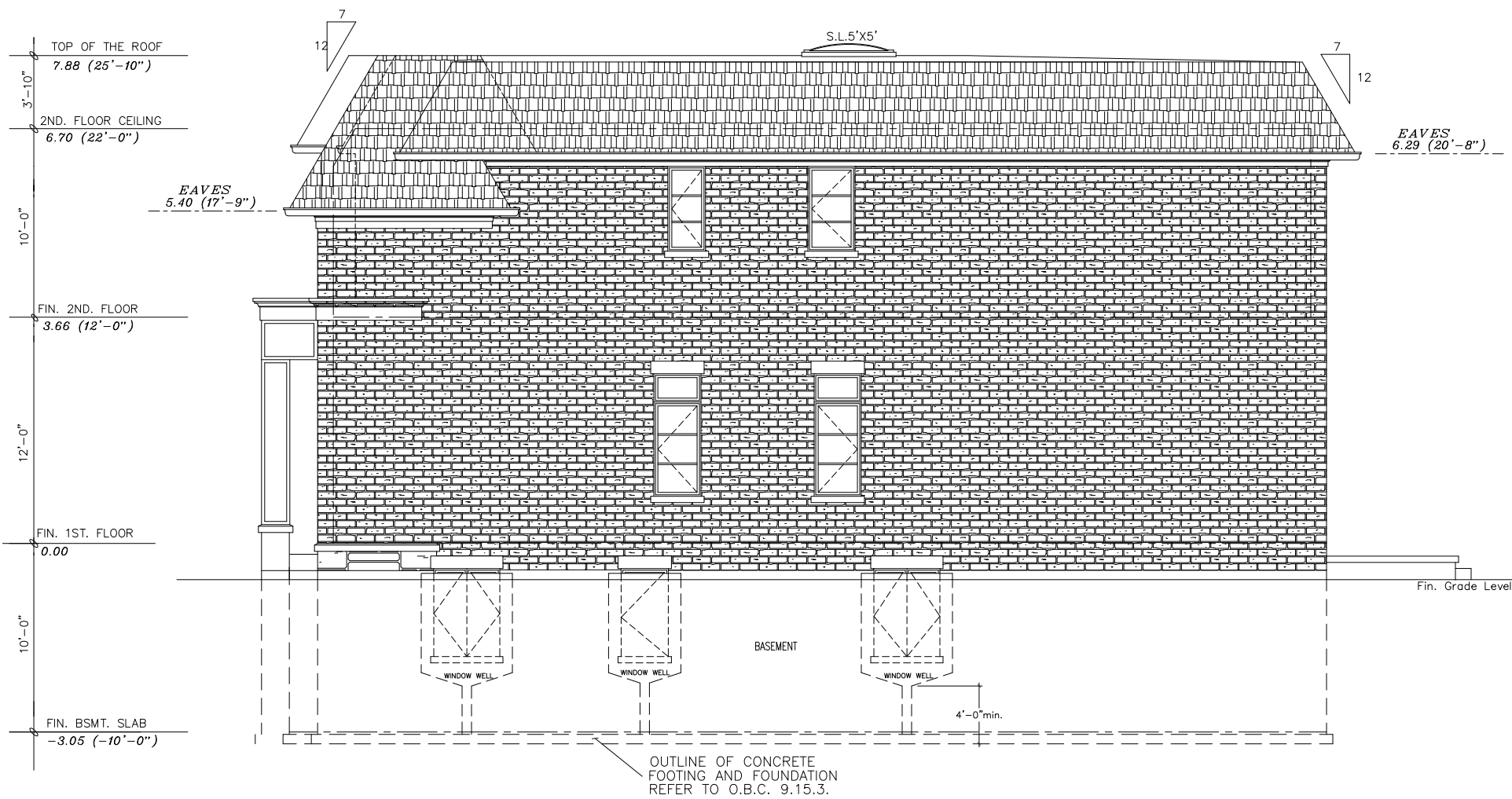
PERMIT NO.: PR20220696 DATE: Jun. 7, 2022

APPROVED BY: *Melissa Bezanin*

PRELIMINARY ZONING REVIEW

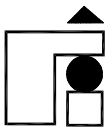
WEST ELEVATION

SCALE 1/8" = 1'- 0"



**TOWN OF AURORA**  
**PLANNING AND DEVELOPMENT SERVICES**  
**Development Planning Division**  
**DATE: Jun. 14, 2022**  
**RECEIVED**

GUITBERG GROUP INC.



33 BELVEDERE CRES.  
RICHMOND HILL  
ONTARIO, L4C 8W1  
TEL. (905) 508-7436  
EMAIL: VICGUITBERG@ROGERS.COM

PRIVATE RESIDENCE  
AT 81 CHILD DRIVE  
TOWN OF AURORA, ONTARIO

WEST ELEVATION

DRAWN BY J.M. CHECKED V.G.

SCALE 1/8" = 1'-0" DATE APRIL'22

PROJECT NUMBER

R-22/04/22

A-8

**TOWN OF AURORA**  
**PLANNING & DEVELOPMENT SERVICES**  
**BUILDING DIVISION**

**PERMIT NO.: PR20220696** **DATE: Jun. 7, 2022**

**APPROVED BY:** *Melissa Bozanin*

**PRELIMINARY ZONING REVIEW**



100 John West Way  
Aurora, Ontario  
L4G 6J1  
(905) 727-3123  
aurora.ca

Town of Aurora

## Committee of Adjustment Report

No. MV-2022-20

**Subject:** **Minor Variance Application**  
Stangl  
141 Kennedy Road  
Part of Lot 33, Registered Plan 246  
MV-2022-20  
Related Planning Applications: n/a

**Prepared by:** **Rosanna Punit, Planner**

**Department:** Planning and Development Services

**Date:** July 14, 2022

### Application

The owner/applicant is requesting relief from the requirements of the Town's Comprehensive Zoning By-law 6000-17, as amended, to facilitate a garage addition and driveway width increase. The following relief is being requested:

- a) Section 7.2 of the Zoning By-law requires a minimum interior side yard of 4.5 metres. The applicant is proposing a garage addition, which is 1.9 metres to the interior side property line; and
- b) Section 5.6.1(a)(iii) of the Zoning By-law allows a maximum driveway width of 10.0 metres if the lot frontage is 18.0 metres or greater, with the exception that the maximum driveway at the street line shall not exceed 6.0 metres. The applicant is proposing a driveway width of 18.0 metres.

### Background

#### Subject Property and Area Context

The subject lands are located west of Yonge Street and east of Bathurst Street. The subject property is located on the south side of Kennedy Street West. The subject property has a shared laneway access from Kennedy Street West with the abutting property (145 Kennedy Street West). There are a number of mature trees and

vegetation on the subject lands. The subject property is setback from Kennedy Street West and not visible from the street.

### **Proposal**

The requested variances relate to the driveway widening and a garage addition to the existing dwelling. The driveway extension is specifically located within the property, no changes are being made to the driveway width at the street line (Refer to Appendix B – Site Plan).

### **Official Plan**

The subject property is designated “Suburban Residential” by the Town of Aurora’s Official Plan, which seeks to ensure that estate residential areas shall be limited to detached dwellings, an accessory dwelling and compatible home occupations. The designation intent is to ensure low density residential uses.

### **Zoning**

The subject property is zoned “R1” (Detached First Density Residential Zone) by Zoning By-law 6000-17, as amended, which permits single detached dwellings.

### **Preliminary Zoning Review**

A Preliminary Zoning Review (PZR) has been completed by the Town of Aurora’s Building Division. The PZR identified the required variances and no other non-compliance was identified.

### **Applicant’s stated reason(s) for not complying with the Zoning By-law**

As stated on the application form,

**“Setback:** The adoption of Zoning By-law #6000-17 created a non-conforming situation of the east side setback (the existing building does not meet the 4.5M required setback). Additionally, the east wall of the house was not originally built parallel to the east property line enhancing this.

**Width of Driveway:** A review of the survey reveals the drive is in fact only 12.99’ wide for the first 277’. With restricted parking on Kennedy West the owners require parking for guests as well as space to maneuver vehicles. The visual impact of the space in question is negligible from all surrounding properties and is impossible to see from anywhere on Kennedy West”.

## Planning Comments

Planning Staff have evaluated Minor Variance Application MV-2022-20 pursuant to the prescribed tests as set out in Section 45(1) of the Planning Act, as follows:

### **a) The proposed variances meets the general intent of the Official Plan**

The intent of the Official Plan is to have maintain low density development. Given that no additional density is being added to the site, staff are of the opinion that the requested variances meet the intent of the Official Plan.

### **b) The proposed variance meets the general intent of the Zoning By-law**

The intent of the interior side yard setback provision is to ensure that appropriate and adequate spacing between buildings is provided for privacy, landscaping, access, and drainage. The proposed garage addition requires an interior (east) side yard setback of approximately 1.9m (6.2 ft) at the closest point. The current setback within the interior side yard setback at the closest point is approximately 3.6m (11.8 ft) on the east side. There is heavy vegetation along the east side of the property, which provides for screening to the neighbouring property on Dodie Street. Engineering staff have requested conditions relating to drainage, and have been included as conditions, should the application be approved. Staff are of the opinion that the requested variance meets the intent of the Zoning By-law given the buffer of vegetation from the abutting property and with engineering imposed conditions relating to drainage.

The proposed driveway extension is to facilitate accessibility in and out of the subject property. There are three mature trees within the location of the proposed driveway extension. The Parks Department have provided conditions relating to trees on the property, should the application be approved. Staff have reviewed the driveway extension and are of the opinion that the current driveway are narrow with an approximate width of 3.6m (12 ft), making it difficult to exit the property in a vehicle. The expanded driveway area would allow for maneuverability of vehicles. Vehicles would be able to exit the property using the expanded driveway width, instead of reversing out of the property onto Kennedy Steet West. Staff are of the opinion that the requested variance meets the intent of the Zoning By-law.

### **c) The proposed variance is considered desirable for the appropriate development of the land**

The subject interior side yard setback and driveway width increase do not adversely affect the overall streetscape of the neighbourhood. The side yard setback variance and driveway extension are located within the interior of the property, and are screened

with mature vegetation. Staff are of the opinion that the requested variances are desirable and appropriate development of the land.

**d) The proposed variance is considered minor in nature**

Staff are of the opinion that the requested variances are minor in nature and provide for easier maneuverability of vehicles in and out of the property.

### Additional Comments

The minor variance application was circulated to Town Department/Divisions and to external agencies for review and comment. The following comments were provided:

Department or Agency	Comments
Building Division	Preliminary Zoning Review was completed on May 19, 2022.
Engineering Division	Comments provided stating, no objections to it, provided that the applicant shall provide a site grading and drainage plan prepared by a Professional Engineer or Qualified Engineering Professional demonstrating that the drainage pattern at site has been maintained and the structure and any associated grading work completed at site shall not cause any adverse impacts on the drainage to the adjacent properties. The said grading and drainage plan shall be submitted for review and approval during the building permit application process (Letter dated June 17, 2022)
Operational Services (Parks)	Comments provided stating: <ul style="list-style-type: none"> <li><i>That the owner may be required to provide an Evaluation Report prepared by a Certified Arborist or Professional Registered Forester outlining all aspects of the impacts that this proposal will have on existing and current remaining vegetation, The report shall include recommendations and an action plan on the mitigation of negative effects to vegetation, during and post construction periods as well as measures aimed at tree health care and protection for trees effected by the project and any remaining trees in the vicinity of the project that require applicable maintenance.</i></li> </ul>

Department or Agency	Comments
	<ul style="list-style-type: none"> <li><i>In addition the report shall include a schedule of monitoring the ongoing site work through a series of scheduled site visits by the Arborist / Forester during and post construction to ensure the vegetation preservation measures remain in compliance throughout the project, each site visit to be documented and any resulting action items required by the Arborist /Forester shall be implemented and confirmed on site forthwith by the Arborist /Forester following each visit.</i></li> <li><i>The owner may be required to provide vegetation compensation and a replanting plan in accordance with the Town of Aurora TREE REMOVAL/PRUNING AND COMPENSATION POLICY to the satisfaction of the Director of Operational Services as compensation for trees removed to facilitate construction. Compensation planting shall be completed prior to release of the financial securities.</i></li> <li><i>The owner shall agree to comply with the Aurora Tree Permit By-law # 5850 -16 prior to the removal of any trees on the property.</i></li> <li><i>The owner shall agree to provide financial securities based on the total value of the Tree Compensation evaluation and all Arboriculture works as defined by the Town and the Owners Arborist/ Forester. To the satisfaction of the Director of Parks and Recreation.</i></li> <li><i>All of the above shall be included as terms and conditions in a Letter of Undertaking with the Town of Aurora to guarantee compliance with the Conditions of Approval and all related site works</i></li> </ul> <p>(Letter dated June 29, 2022)</p>
Operational Services (Public Works)	No comments received at the time of writing this report.
Central York Fire Services	Comments provided stating no comments/concerns with proposed application (Dated: June 29, 2022)



July 14, 2022

6 of 9

Report No. MV-2022-20

Department or Agency	Comments
York Region	No comments received at the time of writing this report.
LSRCA	No comments, not regulated by the LSRCA under O.R. 179/06
Alectra	<p>Comments provided stating no objections to the approval, subject to the following comments: Alectra Utilities (formerly PowerStream) has received and reviewed the proposed Variance Application. This review, however, does not imply any approval of the project or plan.</p> <p>All proposed billboards, signs, and other structures associated with the project or plan must maintain minimum clearances to the existing overhead or underground electrical distribution system as specified by the applicable standards, codes and acts referenced.</p> <p>In the event that construction commences, and the clearance between any component of the work/structure and the adjacent existing overhead and underground electrical distribution system violates the Occupational Health and Safety Act, the customer will be responsible for 100% of the costs associated with Alectra making the work area safe. All construction work will be required to stop until the safe limits of approach can be established.</p> <p>In the event construction is completed, and the clearance between the constructed structure and the adjacent existing overhead and underground electrical distribution system violates the any of applicable standards, acts or codes referenced, the customer will be responsible for 100% of Alectra's cost for any relocation work. (Dated: June 21, 2022)</p>

Written submissions were not received at the time of writing of this report. Should written submissions be received after the writing of this report, the Secretary Treasurer will provide the submission(s) to Committee members at the meeting.

## **Conclusion**

Planning staff have reviewed the application with respect to the Section 45(1) of the Planning Act, R.S.O, 1990, c.P.13, as amended, and are of the opinion that the requested variance does meet the four tests of the Planning Act for granting of minor variances. Staff recommend approval of the requested variances subject to the conditions outlined in Appendix 'A'.

## **Attachments**

Appendix 'A' – Recommended Conditions of Approval

Appendix 'B' – Site Plan

### Appendix 'A' – Recommended Conditions of Approval

- 1) That the variance only applies to the subject property, in substantial conformity with the plan(s) attached as 'Appendix B' to this Staff Report, to the satisfaction of the Director of Planning and Development Services or designate;
- 2)
  - a) That the owner may be required to provide an Evaluation Report prepared by a Certified Arborist or Professional Registered Forester outlining all aspects of the impacts that this proposal will have on existing and current remaining vegetation, The report shall include recommendations and an action plan on the mitigation of negative effects to vegetation , during and post construction periods as well as measures aimed at tree health care and protection for trees effected by the project and any remaining trees in the vicinity of the project that require applicable maintenance.
  - b) In addition, the report shall include a schedule of monitoring the ongoing site work through a series of scheduled site visits by the Arborist / Forester during and post construction to ensure the vegetation preservation measures remain in compliance throughout the project, each site visit to be documented and any resulting action items required by the Arborist /Forester shall be implemented and confirmed on site forthwith by the Arborist /Forester following each visit.
  - c) The owner may be required to provide vegetation compensation and a replanting plan in accordance with the Town of Aurora TREE REMOVAL/PRUNING AND COMPENSATION POLICY to the satisfaction of the Director of Operational Services as compensation for trees removed to facilitate construction. Compensation planting shall be completed prior to release of the financial securities.
  - d) The owner shall agree to comply with the Aurora Tree Permit By-law # 5850 - 16 prior to the removal of any trees on the property.
  - e) The owner shall agree to provide financial securities based on the total value of the Tree Compensation evaluation and all Arboriculture works as defined by the Town and the Owners Arborist/ Forester. To the satisfaction of the Director of Parks and Recreation.
  - f) All of the above shall be included as terms and conditions in a Letter of Undertaking with the Town of Aurora to guarantee compliance with the Conditions of Approval and all related site works
- 3) That the applicant shall provide a site grading and drainage plan prepared by a Professional Engineer or Qualified Engineering Professional demonstrating that the drainage pattern at site has been maintained and the structure and any associated grading work completed at site shall not cause any adverse impacts on the drainage to the adjacent properties. The said grading and drainage plan

shall be submitted for review and approval during the building permit application process

**TOWN OF AURORA ZONING BY-LAW #6000-17**

## Residential Zoning Requirements - R1

**Definitions:**

**Lot Coverage:**  
means the percentage of a lot covered by all buildings, but excluding decks attached to the Main Building, balconies, fireplaces, landings & steps, Pools including perimeter decking which forms part of an above-ground pool, and any part of a building which is completely below grade.

**Accessory Building or Structure:**  
means a detached building or structure which is naturally and normally incidental, subordinate, and exclusively devoted to a Principal Use or building which is located on the same lot.

**Accessory Use:**  
means an additional use, other than human habitation, naturally and normally incidental, subordinate and exclusively devoted to a Principal Use or building which is located on the same lot.

**Driveway:**  
means a vehicular accessway provided between the property line and a Parking space, Parking area, or loading area, garage, or between two Parking Areas.

**Building Height:**  
means the vertical distance measured between the Average Finished Grade and:

- 1) on a flat roof or a structure with no roof, the highest point of the structure, roof surface or the parapet, whichever is the greater
- 2) on any sloped roof, the mean distance between the eaves and the ridge of a roof

**in calculating the height of a building, any construction used as an ornament or for the mechanical operation of the building such as a chimney, tower, cupola or steeple shall not be included.**

**General Provisions - Accessory Buildings and Uses:**

#### 4.1.1 Location

**Must comply with YARD requirements of the Zone EXCEPT that  
Rear Lot Line Setback 1 m**

### 4.1.2 Height

**4.5 m (14' 9") where area of lot exceeds 460 m<sup>2</sup>**

### 4.1.3 Lot Coverage

b) Where the Lot Area is equal to or greater than 460 m2, the maximum Lot Coverage for accessory Buildings and structures shall not exceed 15%  
(40,018.76 sq ft x 15% = 6,002.81 sq ft)

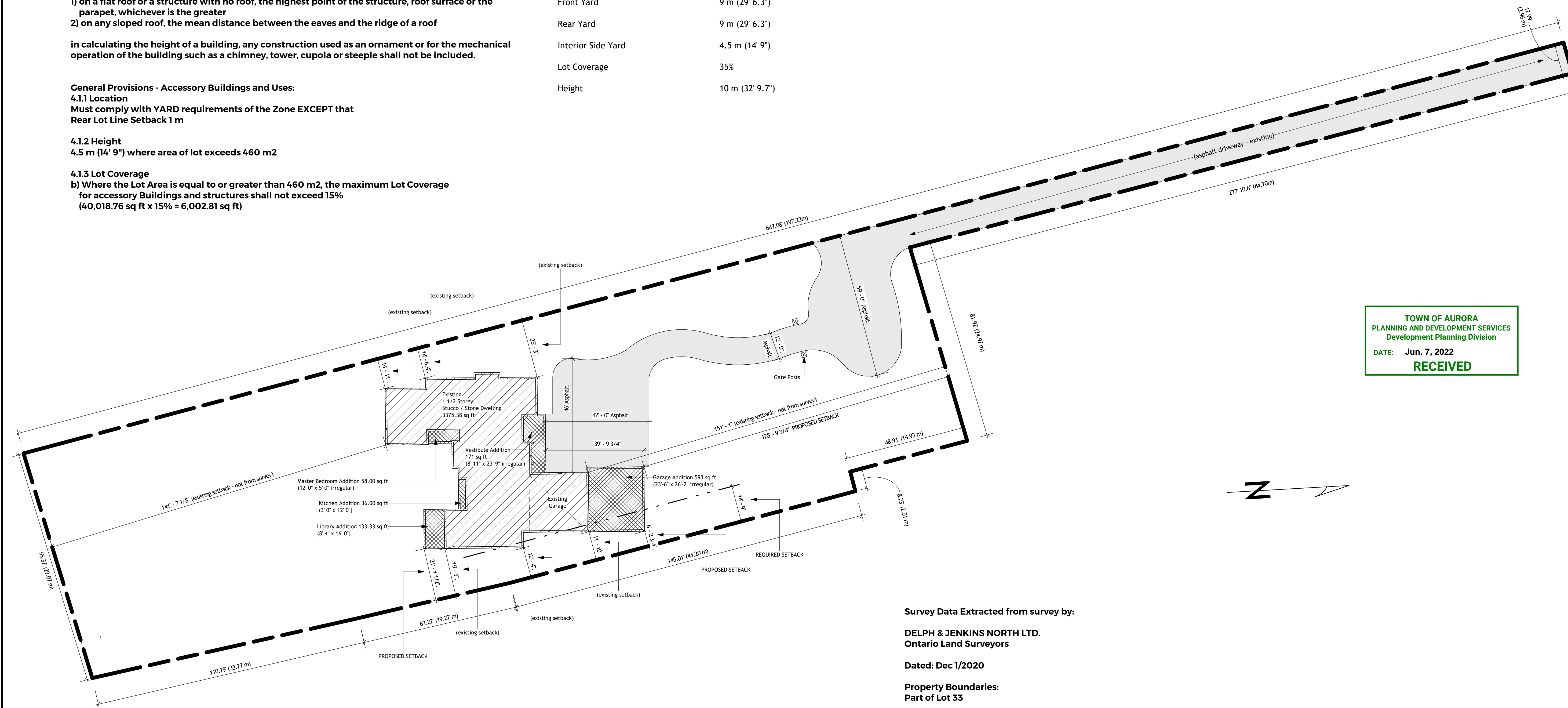
Municipal Address: 141 Kennedy Street West - ZONED R1

LOT AREA = 40,018.76 Sq Ft (3,717.85 m2)  
Lot Coverage per 7.2 Residential Zone Requirements = 35% (14,006.56 sq ft)

EXISTING Residence Footprint = 3,375.38 sq ft (313.58 m2)	
PROPOSED Residence Footprint:	
3,375.38	Existing Residence
58.00	Master Bedroom Addition
36.00	Kitchen Addition
133.33	Library Addition
593.00	Garage Addition
171.00	Vestibule Addition
4,366.71	GRAND TOTAL (10.91% of Lot Area)

## Residential Zone Requirements for R1 (minimum requirements)

Lot Area	2,000 m2 (21,527.82 sq ft)
Lot Frontage	30 m (98' 5.1")
Front Yard	9 m (29' 6.3")
Rear Yard	9 m (29' 6.3")
Interior Side Yard	4.5 m (14' 9")
Lot Coverage	35%
Height	10 m (32' 9.7")



Survey Data Extracted from survey by:

**DELPH & JENKINS NORTH LTD.**  
**Ontario Land Surveyors**

**Dated: Dec 1/2020**

**Property Boundaries:**  
**Part of Lot 33**

Registered Plan 246

(a copy of the survey accompanies this site plan)

**TOWN OF AURORA  
PLANNING & DEVELOPMENT SERVICES  
BUILDING DIVISION**

**PERMIT NO.:** PR20220622      **DATE:** May 19, 2022

**APPROVED BY:** *Melissa Bozanin*

## PRELIMINARY ZONING REVIEW

The Designer has reviewed and takes responsibility for the design and has the qualifications and meets the requirements as set out in the Ontario Building Code to be a designer.

### QUALIFICATION INFORMATION

Mark Weston - BCIN # 42389

1977

Sign

Koa Tree- design - FIRM BCI

M 11.

Sign Yank was

1

KoaTree - design // markwestondesigns.com // mw@koatree.ca // 905.505.5855

## Stangl Residence

41 Kennedy Street West  
Aurora, Ontario L4G 2L8

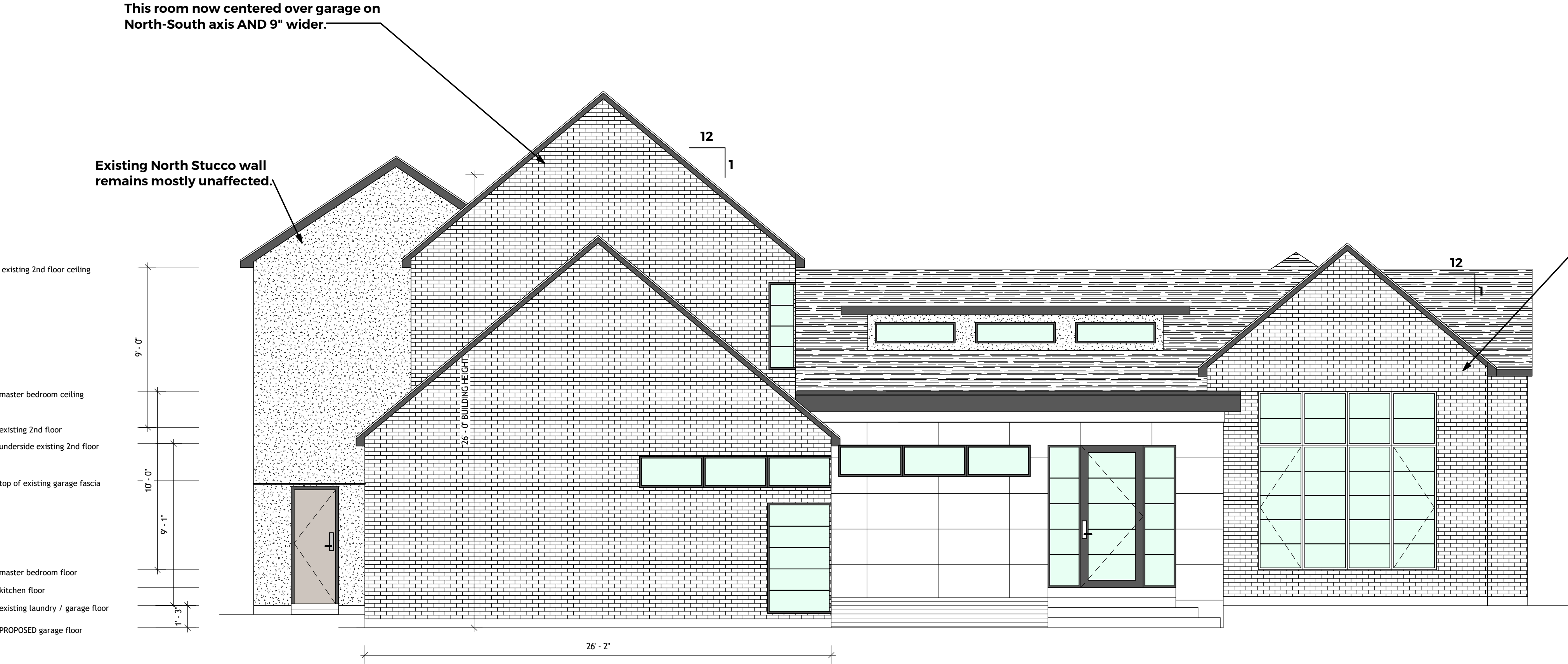
[illegible]

SCALE:	AS NOTED
DATE:	June 21, 1981
DRAWN BY:	MARK WESTON
PROJECT:	<b>Various additions to the existing residence.</b>
SHEET No.:	1



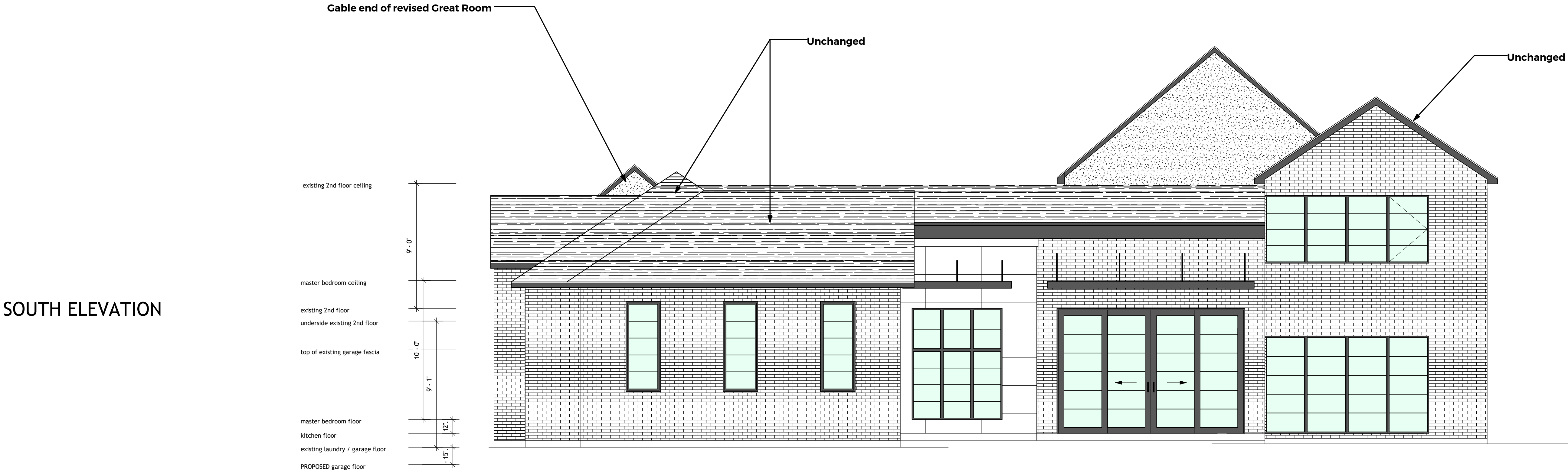
TOWN OF AURORA  
PLANNING & DEVELOPMENT SERVICES  
BUILDING DIVISION  
PERMIT NO.: PR20220622      DATE: May 19, 2022  
APPROVED BY: *Melissa Bozanin*  
PRELIMINARY ZONING REVIEW

The Designer has reviewed and takes responsibility for the design and has the qualifications and meets the requirements as set out in the Ontario Building Code to be a designer.  
QUALIFICATION INFORMATION  
Mark Weston - BCIN # 42389  
May 13, 2022  
Sign \_\_\_\_\_ Date \_\_\_\_\_  
Koa Tree- design - FIRM BCIN # 42772  
May 13, 2022  
Sign \_\_\_\_\_ Date \_\_\_\_\_



NORTH ELEVATION

TOWN OF AURORA  
PLANNING AND DEVELOPMENT SERVICES  
Development Planning Division  
DATE: Jun. 7, 2022  
RECEIVED



SOUTH ELEVATION

1 N&S Elev w Gable Ends (A)  
1/4" = 1'-0"

Stangl Residence  
141 Kennedy Street  
West

No.	DESCRIPTION	DATE	BY:	No.	DATE	BY:
3	zero by NawaWall introduced	Aug 17/20	M.W.	10	Integration Elevations Revised	M.W.
4	Roof Trees with options presented.	Aug 28/20	M.W.	11	Integration Elevations Revised (Aluminum frame windows)	M.W.
5	Garage shortened by 3' // Pan door removed // 1 - 16' Garage Door	Sept 10/20	M.W.	12	Elevation Revised w Gable Ends (A)	M.W.
6	Extended garage / Adjusted garage windows / Big Post Column Sliders	Sept 15/20	M.W.	13	Apply for Preliminary Zoning Review	M.W.
7	Issued to Jenkins	Feb 8/21	M.W.			
8	Integration Elevations Issued	Aug 23/21	M.W.			
9	Integration Elevations Revised	Sept 27/21	M.W.			

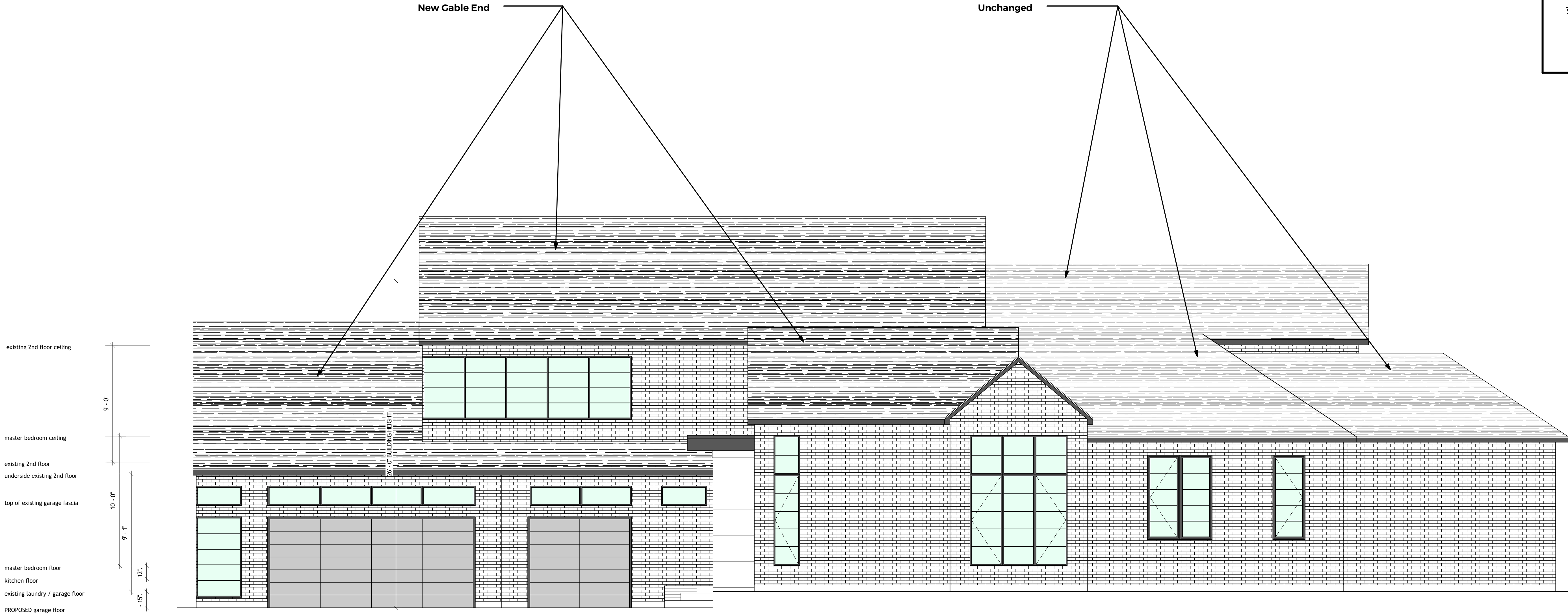
SCALE: AS NOTED  
DATE: 08 || 18 || 2020  
DRAWN BY: MARK WESTON  
TITLE: DETACHED GARAGE

SHEET No.: A3A

KoaTree - design // markwestondesigns.com // mw@koatree.ca // 905.505.5855

TOWN OF AURORA  
PLANNING & DEVELOPMENT SERVICES  
BUILDING DIVISION  
PERMIT NO.: PR20220622      DATE: May 19, 2022  
APPROVED BY: *Melissa Bozanin*  
PRELIMINARY ZONING REVIEW

The Designer has reviewed and takes responsibility for the design and has the qualifications and meets the requirements as set out in the Ontario Building Code to be a designer.  
QUALIFICATION INFORMATION  
Mark Weston - BCIN # 42389  
May 13, 2022  
Sign \_\_\_\_\_ Date \_\_\_\_\_  
Koa Tree- design - FIRM BCIN # 42772  
May 13, 2022  
Sign \_\_\_\_\_ Date \_\_\_\_\_



1 West Elev w Gable Ends (A)  
1/4" = 1'-0"

TOWN OF AURORA  
PLANNING AND DEVELOPMENT SERVICES  
Development Planning Division  
DATE: Jun. 7, 2022  
RECEIVED

Stangl Residence  
141 Kennedy Street  
West

KoaTree - design // markwestondesigns.com // mw@koatree.ca // 905.505.5855

No.	DESCRIPTION	DATE	BY:	No.	DATE	BY:
3	zero by NewWell introduced	Aug 17/20	M.W.	10	Integration Elevations Revised	Jan 11/22 M.W.
4	Roof Trees with options presented.	Aug 28/20	M.W.	11	Integration Elevations Revised (Aluminum frame windows)	Jan 13/22 M.W.
5	Garage shortened by 3' // Alan door removed // 1 - 16' Garage Door	Sept 10/20	M.W.	12	Elevation Revised w Cable Ends (A)	May 5/22 M.W.
6	Extended garage / Adjusted garage windows / Big Post Cabana Sliders	Sept 15/20	M.W.	13	Apply for Preliminary Zoning Review	May 13/22 M.W.
7	Issued to Jenkins	Feb 8/21	M.W.			
8	Integration Elevations Issued	Aug 23/21	M.W.			
9	Integration Elevations Revised	Sept 27/21	M.W.			

SCALE: AS NOTED  
DATE: 08 || 18 || 2020  
DRAWN BY: MARK WESTON  
TITLE: DETACHED GARAGE  
SHEET No.: A4A



100 John West Way  
Aurora, Ontario  
L4G 6J1  
(905) 727-3123  
aurora.ca

Town of Aurora

## Committee of Adjustment Report

No. MV-2022-21

---

**Subject:**                    **Minor Variance Application**  
Chin  
1622 Vandorf Sideroad  
Concession 3 Part of Lot 16  
File: MV-2022-21

**Prepared by:**            **Kenny Ng, Planner**

**Department:**          Planning and Development Services

**Date:**                     July 14, 2022

---

### Application

The owner/applicant is requesting relief from the requirements of the Town's Comprehensive Zoning By-law 6000-17, as amended, to facilitate the construction of a three (3) storey single-detached dwelling.

The following relief is being requested:

- a) Section 17.1.1 of the Zoning By-law permits a maximum height of 10.0 metres. The applicant is proposing to construct a three-storey single-detached dwelling with a height of 12.5 metres; and
- b) Section 17.1.3 of the Zoning By-law states new single residential dwellings on existing lots will only be permitted through a minor variance. The applicant is proposing to construct a new three-storey single-detached dwelling on an existing lot.

### Background

#### Subject Property and Area Context

The subject lands are municipally known as 1622 Vandorf Sideroad and are located on the north side of Vandorf Sideroad, east of Leslie Street. The subject lands have an approximate lot area of 4.03 hectares (9.97 acres), and an approximate lot frontage of 100.96 metres. The subject currently contain a one and a half storey single-detached



dwelling with an approximate gross area of 264.9 m<sup>2</sup> (2851 ft<sup>2</sup>), a pool, and a driveway. The existing single detached dwelling will be demolished to facilitate the proposed development. A watercourse and vegetation also exist on the subject lands.

### **Surrounding Land Uses**

The surrounding land uses are as follows:

North: Open space;

South: Westview Golf Club;

East: Rural Residential; and

West: Golf course.

### **Proposal**

The applicant is proposing to demolish the existing detached dwelling and to construct a three-storey single detached dwelling with a gross floor area of 914.17 m<sup>2</sup> (9,840 ft<sup>2</sup>) and building area of 495.08 m<sup>2</sup> (5,329 ft<sup>2</sup>) (see Appendix B). The proposal also includes the installation of a new septic system within Lake Simcoe Region Conservation Authority (LSRCA) regulatory area, whereas the proposed new dwelling will be outside of the regulated lands. Town parks staff noted potential trees removal as a result of the proposed development.

### **Official Plan**

The property is designated as “Oak Ridges Moraine Natural Linkage Area” and “Oak Ridges Moraine Countryside Area” by Amendment No. 48 to the Town of Aurora Official Plan. OPA 48 implements the policies of the Oak Ridges Moraine Conservation Plan (ORMCP).

The intent of the “Oak Ridges Moraine Natural Linkage Area” designation is to identify areas that form natural and open space linkages between Natural Core Areas, and along river valleys and streams. These areas provide as part of a central corridor system that supports or has the potential to support the movement of plants and animals among the Natural Core Areas, Natural Linkage Areas, river valleys and stream corridors. The intent of the “Oak Ridges Moraine Countryside Area” designation is to encourage agricultural and other rural uses.

OPA 48 further identifies the subject lands as within a “Category 1 (Complex Landform)” Landform Class, and provides that Key Natural Heritage Features (KNHFs) and Hydrologically Sensitive Features (KHF) including “Woodland”, “Woodland Minimum Vegetation Protection Zone”, “Watercourse” and “Watercourse Minimum Vegetation Protection Zone” are located on the property.

Section 3.13.3.g of OPA 48 allows for the use, erection or location of a single dwelling and related accessory uses, provided that:

- i. the use, erection and location would have been permitted by the applicable zoning by-law on November 15, 2001;
- ii. prior to issuance of a building permit, the applicant demonstrates, to the extent possible, that the use, erection and location will not adversely affect the ecological integrity of the Oak Ridges Moraine, by means of a natural heritage or hydrological evaluation or other required study in accordance with the policies of the Oak Ridges Moraine Conservation Plan; and
- iii. notwithstanding Subsection 3.13.3.g.ii above, where said lands are located within the Oak Ridges Moraine Settlement Area, the policies of Subsections 3.13.4.f.iv and 3.13.4.f.v shall also apply.

Similarly, the ORMCP does not prevent the use, erection or location of a single-detached dwelling if it was permitted by the applicable zoning by-law on November 15, 2001, and the applicant demonstrates, to the extent possible, that the use, erection and location will not adversely affect the ecological integrity of the Plan Area (Section 7 of ORMCP).

## **Zoning**

The subject property is dually zoned “C-ORM – Oak Ridges Moraine Countryside Area” and “NL-ORM – Oak Ridges Moraine Natural Linkage Area” by Zoning By-law 6000-17, as amended. The existing dwelling (and proposed new dwelling subject to this minor variance application) is located entirely within the NL-ORM Zone. The existing dwelling is a permitted use within this zone, as it legally existed prior to November 15, 2001, in accordance with ORMCP policies, and the Town’s Zoning By-law. However, new single residential dwellings and related accessory uses on existing lots will only be permitted through a minor variance or rezoning to be completed to ensure compliance with Section 3.13.3 g of OPA 48, which is outlined in the above section.

## **Preliminary Zoning Review**

A Preliminary Zoning Review (PZR) has been completed by the Town of Aurora’s Building Division. The PZR identified the required variances and no other non-compliance was identified.

## **Applicant’s stated reason(s) for not complying with the Zoning By-law**

As stated on the application form, *“The architectural design features huge green roof and roof top solar panel, which is enjoyable and also needs a lot of maintenance. It is*

*both functional as well as aesthetic to add a small area of cover space on top of roof. This adds extra 2.5 metres to overall building height."*

## Planning Comments

Planning Staff have evaluated Minor Variance Application MV-2022-21 pursuant to the prescribed tests as set out in Section 45 (1) of the Planning Act, as follows:

### a) The proposed variance meets the general intent of the Official Plan

The proposed development is located wholly within the "Oak Ridges Moraine Natural Linkage Area" designation. As stated in Section 3.13.3 (g), there are three policy tests that must be satisfied to permit the use, erection or location of a single dwelling and related accessory uses. Subsection 3.13.3 (g)(i) requires that the use, erection and location would have been permitted by the applicable zoning by-law on November 15, 2001. The existing single-detached dwelling use existed prior to the adoption of the currently in-effect Comprehensive Zoning By-law 6000-17, as amended. The Previous Zoning By-law No. 2213-78, was in effect prior to the Oak Ridges Moraine Conservation Plan coming into effect, and zoned the subject property as Rural (RU). One single family dwelling was permitted in the RU zone. Given that the RU zone permitted a detached dwelling on the subject property prior to November 15, 2001, Staff are of the opinion that Subsection 3.13.3(g)(i) of OPA 48 is met.

Subsection 3.13.3(g)(ii) requires that prior to issuance of a building permit, the applicant must demonstrate, to the extent possible, that the use, erection and location will not adversely affect the ecological integrity of the Oak Ridges Moraine, by means of a natural heritage or hydrological evaluation or other required study in accordance with the policies of the Oak Ridges Moraine Conservation Plan. The application has been reviewed by the Lake Simcoe Region Conservation Authority (LSRCA), who has determined that a detailed planting plan for the required minimum vegetation protection zone to the Natural Heritage Features in lieu of a Scoped Natural Heritage Evaluation/Environmental Impact Study is acceptable. The landowner is to hire a qualified professional (e.g. landscape architect, natural heritage ecologist) to prepare a planting plan to mitigate any potential negative impacts from the proposed development and achieve a net ecological gain to the ecological features at this site. Given LSRCA's requirement, and that the area of proposed development is disturbed due to prior development, as well as the minimum vegetated protection zone of approximately 15 metres or more to the features is maintained, Staff are of the opinion that Subsection 3.13.3(g)(ii) of OPA 48 is met.

Subsection 3.13.3(g)(iii) is not applicable as the subject property is located outside of the Oak Ridges Moraine Settlement Area.

The proposed development represents a modest increase in the maximum permitted height for the dwelling, given the context of the surrounding area, no visual impact or privacy issues is anticipated as a result of the proposed development. The proposed development will have a larger footprint than the existing dwelling and based on the submitted drawing, is not anticipated to further impede the movement among KNHFs or KHF's on the property, and is located away from the existing features.

Additionally, while the lands are located within a "Category 1 (Complex Landform)" Landform Class, the proposed development does not trigger any disturbance thresholds on the subject lands, as outlined in Section 3.13.6 of OPA 48.

Staff are of the opinion that the requested variance meets the general intent of the Official Plan.

**b) The proposed variance meets the general intent of the Zoning By-law**

The proposed development is located wholly within the NL-ORM Zone. The Zoning By-law defines "Building Height" of a flat roof as the vertical distance between the average finished grade and the highest point of the structure, roof surface or the parapet, whichever is the greater. The intent of the development standards of the Town's Zoning By-law as provided for in Section 17.1.1, is to ensure that development or site alteration occurs in accordance with the policies of the ORMCP, and to ensure there is no adverse impact on nearby KNHFs or KHF's. The intent of the Zoning By-law maximum height restriction is to ensure adequate privacy for residents and to assist in achieving a uniform, aesthetically pleasing streetscape. To achieve this, visual impact of the proposed building shall be adequately designed to avoid overbuilding and incompatibility.

The requested variance seeks to permit development that is located away from any KNHFs or KHF's present on the subject lands and is proposed to be located within an area that is already disturbed on the property. Staff in consultation with the LSRCA have confirmed that the proposed development will not result in any adverse impacts to the ORM or any features on the subject lands. The requested height increase is also not expected to result in any visual impacts or incompatibility issues.

Staff are of the opinion that the requested variance meets the general intent of the zoning by-law.

**c) The variance is considered desirable for the appropriate development of the property**

The proposed variance would allow for additional leisure space and storage space within the dwelling for the current homeowner to maintain the proposed rooftop garden and solar panels. The proposed area which requires additional height is modest in nature, will

not adversely affect any neighbouring properties, and is well screened from Vandorf Sideroad (due to the topography of the lands, location of the dwelling and the existing on-site vegetation). Adjacent dwellings are also separated by quite a significant distance with existing vegetation which provides for screening purpose. As mentioned, in consultation with the LSRCA, it has been determined that there will be no adverse affects on the KNHFs or KHF's located on the subject lands. Additionally, Departments and Agencies circulated have not raised concerns for this application.

Staff are of the opinion that the proposed variance is desirable for the appropriate development of the property.

**d) The Variance is considered minor in nature**

There is minimal impact as a result of the proposed variance. The proposed height is not considered to be an egregious increase from the zoning standard and the additional height will occur for a small area of the proposed building. No adverse impacts on streetscape, surrounding character of the community or KNHFs/KHF's are anticipated. Staff are of the opinion that the requested variance is minor in nature.

**Additional Comments**

The minor variance application was circulated to Town Department/Divisions and to external agencies for review and comment. The following comments were provided:

Department or Agency	Comments
Building Division	Preliminary Zoning Review was completed on June 24, 2022 to confirm the variance required for the proposed development.
Engineering Division	Comments provided stating no comments/concerns with proposed application (dated June 29, 2022)
Operational Services (Parks)	<p>Comments provided stating there are trees situated on the subject property that may require removal and may be impacted by excavation or disturbance due to demolition/construction of the residence.</p> <p>Parks staff recommend that the Committee impose the following conditions if this application is approved. (dated June 29, 2022)</p>

Department or Agency	Comments
	<ul style="list-style-type: none"><li>• <i>That the owner may be required to provide an Evaluation Report prepared by a Certified Arborist or Professional Registered Forester outlining all aspects of the impacts that this proposal will have on existing and current remaining vegetation, The report shall include recommendations and an action plan on the mitigation of negative effects to vegetation , during and post construction periods as well as measures aimed at tree health care and protection for trees effected by the project and any remaining trees in the vicinity of the project that require applicable maintenance.</i></li><li>• <i>In addition the report shall include a schedule of monitoring the ongoing site work through a series of scheduled site visits by the Arborist / Forester during and post construction to ensure the vegetation preservation measures remain in compliance throughout the project, each site visit to be documented and any resulting action items required by the Arborist /Forester shall be implemented and confirmed on site forthwith by the Arborist /Forester following each visit.</i></li><li>• <i>The owner may be required to provide vegetation compensation and a replanting plan in accordance with the Town of Aurora TREE REMOVAL/PRUNING AND COMPENSATION POLICY to the satisfaction of the Director of Operational Services as compensation for trees removed to facilitate construction. Compensation planting shall be completed prior to release of the financial securities.</i></li><li>• <i>The owner shall agree to comply with the Aurora Tree Permit By-law # 5850 -16 prior to the removal of any trees on the property.</i></li></ul>

Department or Agency	Comments
	<ul style="list-style-type: none"> <li><i>The owner shall agree to provide financial securities based on the total value of the Tree Compensation evaluation and all Arboriculture works as defined by the Town and the Owners Arborist/ Forester. To the satisfaction of the Director of Parks and Recreation.</i></li> <li><i>All of the above shall be included as terms and conditions in a Letter of Undertaking with the Town of Aurora to guarantee compliance with the Conditions of Approval and all related site works</i></li> </ul>
Operational Services (Public Works)	No comments received at the time of writing this report.
Central York Fire Services	Comments provided stating no comments/concerns with proposed application (dated June 29, 2022)
York Region	York Region has completed its review of the application and will defer to the LSRCA for any comments/requirements related to natural heritage, including natural hazards (i.e. flood hazard) (dated June 17, 2022)
LSRCA	<p>Comments provided stating the proposal is consistent and in conformity with the natural heritage and natural hazard policies of the applicable Provincial, Regional and Local plans. On this basis, LSRCA recommend that any approval of this application be subject to the following condition: (dated July 6, 2022)</p> <p><i>a) That the Owner shall pay the LSRCA Plan Review Fee in accordance with the approved Fees Policy (Note: payment is currently outstanding for the LSRCA review of the minor variance application of \$525.00 per the LSRCA 2022 Fee Schedule).</i></p>

Department or Agency	Comments
	<p><i>b) That the Owner shall obtain a permit under Ontario Regulation 179/06 prior to the proposed development and site alteration taking place.</i></p> <p><i>c) That the Owner shall provide a detailed planting plan for the required minimum vegetation protection zone to the Natural Heritage Features.</i></p> <p><i>d) That the Owner shall provide a detailed grading plan and erosion control plan.</i></p> <p>Note: The plantings should be targeted to areas directly adjacent to existing natural areas and the proposed development (i.e. stream, significant woodland). An updated Site Grading Plan is also required showing Erosion and Sediment Control details in accordance with Section 2.6 of the "LSRCA Technical Guidelines for Stormwater Management (SWM) Submissions". The applicant is to demonstrate on this plan that there will be no significant changes to significant site grading within the stream and woodland setback, including activities such as backfilling and excavation.</p> <p>For general guidelines for preparing the planting plan, LSRCA suggests using "CH Guidelines for Landscaping and Rehabilitation Plans, June 2021" which can be found on Conservation Halton website and the link below:</p> <p><a href="https://www.conservationhalton.ca/policies-and-guidelines">https://www.conservationhalton.ca/policies-and-guidelines</a></p> <p>Please note that per Section 2.1.7 of the Provincial Policy Statement: Development and site alteration shall not be permitted in habitat of endangered species and threatened species, except in accordance with provincial and federal</p>



Department or Agency	Comments
	requirements. Please note that a Species at Risk (SAR) Assessment based on existing or potential habitat, with a focus on SAR Bats, Butternut, and potential Barn Swallow and Chimney Swift Habitat in the existing dwelling and/or trees proposed for removal may be required as determined by Ministry of Environment Conservation and Parks (MECP). Please contact the MECP York Durham District Office for additional information.
Alectra	No concerns with the proposed minor variance (dated June 29, 2022)

## Public Correspondence

Written submissions were not received at the time of writing of this report. Should written submissions be received after the writing of this report, the Secretary Treasurer will provide the submission(s) to Committee members at the meeting.

## Conclusion

Planning staff have reviewed the application with respect to the Section 45(1) of the Planning Act, R.S.O, 1990, c.P.13, as amended, and are of the opinion that the requested variance meets the four tests the Planning Act for granting of minor variances. Please refer to Appendix 'A' for recommended conditions of approval for the requested variance.

## Attachments

Appendix 'A' – Recommended Conditions of Approval

Appendix 'B' – Drawings

### **Appendix 'A' – Recommended Conditions of Approval**

The following conditions are required to be satisfied should application MV-2022-21 be approved by the Committee of Adjustment:

1. That the variance only applies to the subject property, in substantial conformity with the plans attached as 'Appendix B' to this Staff Report, to the satisfaction of the Director of Planning and Development Services or designate; and,
2. That the Owner shall agree that any single detached dwelling permitted to be constructed shall not exceed a total ground floor area of 500m<sup>2</sup>; and,
3. That the Owner shall enter into a Letter of Undertaking with the Town of Aurora, to ensure that the development and site alteration occurs in accordance with the conditions of minor variance approval, and to guarantee compliance with all related site work, to the satisfaction of Town of Aurora Director of Planning and Development; and,
4. That the Owner shall pay the LSRCA Plan Review Fee in accordance with the approved Fees Policy (Note: payment is currently outstanding for the LSRCA review of the minor variance application of \$525.00 per the LSRCA 2022 Fee Schedule); and,
5. That the Owner shall obtain a permit under Ontario Regulation 179/06 prior to the proposed development and site alteration taking place; and,
6. That the Owner shall provide a detailed planting plan for the required minimum vegetation protection zone to the Natural Heritage Features; and,
7. That the Owner shall provide a detailed grading plan and erosion control plan; and,
8. That the owner shall provide an Evaluation Report prepared by a Certified Arborist or Professional Registered Forester outlining all aspects of the impacts that this proposal will have on existing and current remaining vegetation. The report shall include recommendations and an action plan on the mitigation of negative effects to vegetation, during and post construction periods, as well as measures aimed at tree health care and protection for trees effected by the project and any remaining trees in the vicinity of the project that require applicable maintenance. The report shall include a schedule of monitoring the ongoing site work through a series of scheduled site visits by the Arborist / Forester during and post construction to ensure the vegetation preservation

measures remain in compliance throughout the project, each site visit to be documented and any resulting action items required by the Arborist /Forester shall be implemented and confirmed on site forthwith by the Arborist /Forester following each visit; and,

9. That the Owner shall provide vegetation compensation and a replanting plan in accordance with the Town of Aurora TREE REMOVAL/PRUNING AND COMPENSATION POLICY to the satisfaction of the Director of Operational Services as compensation for trees removed to facilitate construction. Compensation planting shall be completed prior to release of the financial securities; and,
10. The Owner shall agree to comply with the Aurora Tree Permit By-law #5850-16 prior to the removal of any trees on the property.

Appendix B

NL-ORM ZONE			
ZONING	C-ORM ZONE (By-law No. 4468-03.D)	LOT NO.	
PLAN NO.		LOT AREA	434,137.9 SQF (40,332.7 SQM)
LOT FRONTAGE	331.23' (100.96 M)	LOT DEPTH	1309.27' (399.07 M)
DESCRIPTION	EXISTING	PROPOSED	REQUIRED
MIN.LOT FRONTAGE	331.23' (100.96 M)	331.23' (100.96 M)	15M
MIN. LOT AREA	1,309.27' (399.07 M)	1,309.27' (399.07 M)	450 SM
MAX.BUILDING HEIGHT	—	40' - 6 5/8" (12.41 M)	10 M
NO. OF STORIES	1.5	3	NA
DRIVEWAY WIDTH	4M	4M	4M
BUILDING AREA	—	5,329 SQF (495.08 SQM)	NA
GROSS FLOOR AREA	—	9,639 SQF (895.49 SQM)	NA
MAX LOT COVERAGE	—	5,329 SQF (495.08 SQM)	NA
AVERAGE GRADING	—	291.62M	NA
FIRST FLOOR ELEVATION	—	293.50M	NA
SETBACK	EXISTING	PROPOSED	REQUIRED
FRONT (SOUTH)	1041'-8 1/2" (317.51m)	1042'-2" (317.7m)	15.0m
SIDE (WEST)	32'-6" (9.9m)	32'-11" (10.03 m)	9.0m
SIDE (EAST)	231'-5 1/2" (70.5m)	217'-5 3/4" (66.29m)	4.5m
REAR (NORTH)	150'-4" (45.8m)	123'-2 3/8" (37.6m)	22.0m

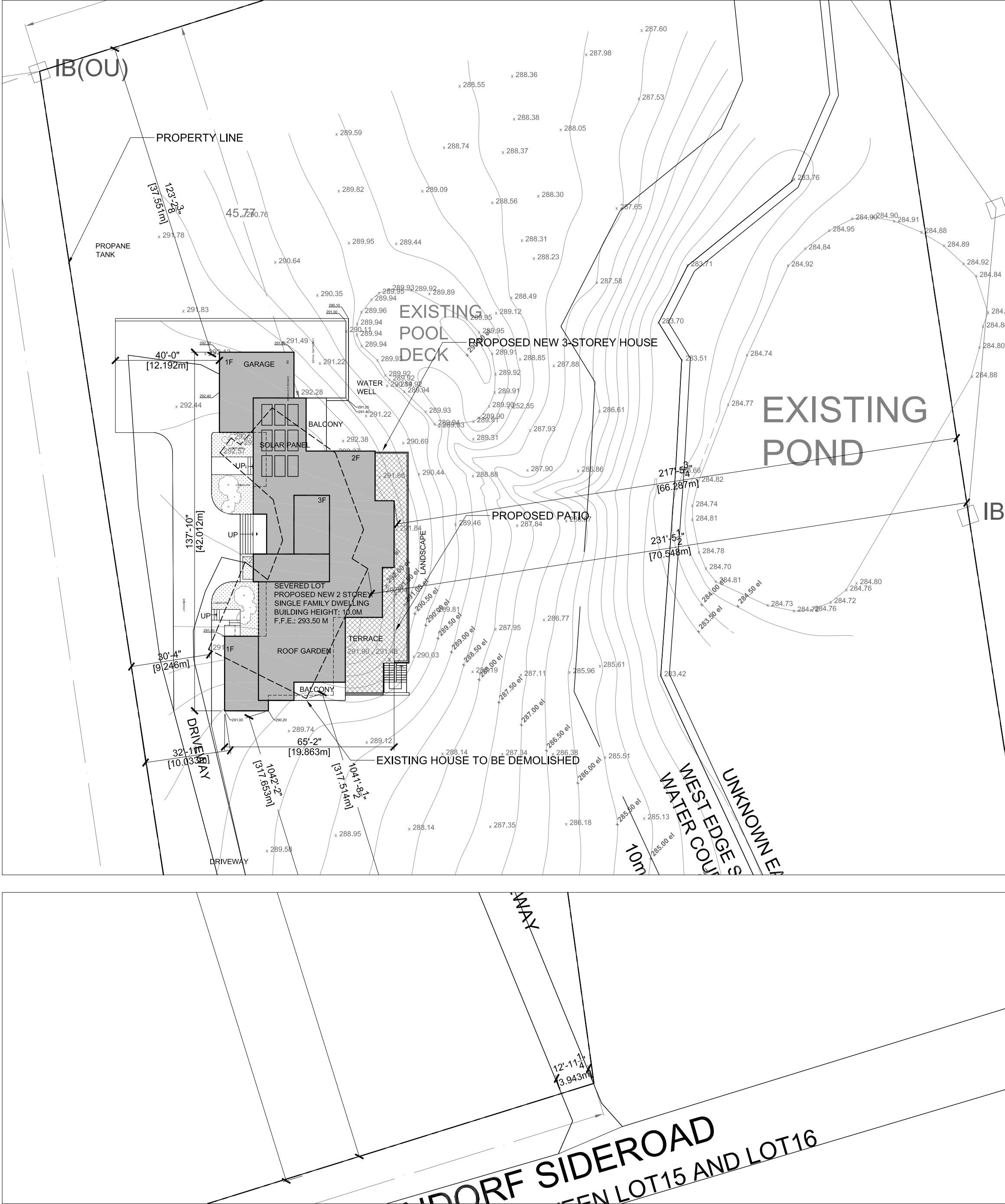
\* VARIANCE

STATISTICS	AREA	%	COMMENTS
TOTAL LOT AREA	434,137.9 SQF (40,332.7 SQM)	100	
IMPERVIOUS AREAS			
House Footprint	4,396 SQF (408.4 SQM)	1.01	
Garage Footprint	933 SQF (86.68 SQM)	0.21	
Driveway Area	17,158 SQF (1594 SQM)	3.95	
Walkway and Interlocking Patios	1,114 SQF (103.49 SQM)	0.26	Wood Decks are exempt
Sheds and Gazebos	NA	NA	
Pool and Pool Deck	NA	NA	
Other	NA	NA	
Total Impervious	23,661 SQF (2,198.18 SQM)	5.43	Category 1 - 15% Permitted
DISTURBED AREAS			
Impervious Areas	23,661 SQF (2,198.18 SQM)	5.43	
Septic Bed	9752 SQF (906.0 SQM)	2.25	
Re-graded Area	1875 SQF (174.19 SQM)	0.43	Only where grades are altered
Filled Area	710 SQF (65.96 SQM)	0.16	Not including sod and other landscaping
Other Disturbed	NA	NA	
Total Disturbed	37,253 SQF (3,460.92 SQM)	8.58	Category 1 - 25% Permitted

TOWN OF AURORA  
PLANNING & DEVELOPMENT SERVICES  
BUILDING DIVISION

PERMIT NO.: PR20220778      DATE: Jun. 24, 2022

APPROVED BY: *Ashley Vandermar*  
PRELIMINARY ZONING REVIEW    AMENDED



ALL DRAWINGS, SPECIFICATIONS AND RELATED DOCUMENTS ARE THE COPYRIGHT PROPERTY OF THE ARCHITECT AND MUST BE RETURNED UPON REQUEST. REPRODUCTION OF DRAWINGS, SPECIFICATIONS AND RELATED DOCUMENTS IN PART OR IN WHOLE IS FORBIDDEN WITHOUT THE WRITTEN PERMISSION OF THE ARCHITECT.

DO NOT SCALE DRAWINGS.

CONTRACTOR MUST CHECK & VERIFY ALL DIMENSIONS ON SITE.

THIS DRAWING IS ISSUED FOR BUILDING PERMIT ONLY. ONLY DRAWINGS ISSUED FOR CONSTRUCTION WHICH ARE SIGNED BY THE ARCHITECT OR DESIGNER AND ENGINEERS CAN BE USED FOR CONSTRUCTION.

No.	Revision	Date	By
1	SITE PLAN	2021/12/02	
2	FOR MINOR VARIANCE	2022/05/03	

QUALIFICATION INFORMATION  
Required unless design is exempt under 2.17.5.1. of the building code

NAME: PENG CAI  
SIGNATURE:  
BCIN #: 106803

QUALIFICATION INFORMATION  
Required unless design is exempt under 2.17.4.1. of the building code

FIRM NAME: 9676538 CANADA INC.  
REGISTRATION 117699



ZEN HOUSE

1622 VANDORF SIDEROAD

Project number: 2021-06

Drawn      Scale 1/32"=1'-0"

Checked      Date

SITE PLAN

Drawing No. A001

ALL DRAWINGS, SPECIFICATIONS AND RELATED DOCUMENTS ARE THE COPYRIGHT PROPERTY OF THE ARCHITECT AND MUST BE RETURNED UPON REQUEST. REPRODUCTION OF DRAWINGS, SPECIFICATIONS AND RELATED DOCUMENTS IN PART OR IN WHOLE IS FORBIDDEN WITHOUT THE WRITTEN PERMISSION OF THE ARCHITECT.

DO NOT SCALE DRAWINGS.

CONTRACTOR MUST CHECK & VERIFY ALL DIMENSIONS ON SITE.

THIS DRAWING IS ISSUED FOR BUILDING PERMIT ONLY. ONLY DRAWINGS ISSUED FOR CONSTRUCTION WHICH ARE SIGNED BY THE ARCHITECT OR DESIGNER AND ENGINEERS CAN BE USED FOR CONSTRUCTION.

No.	Revision	Date	By
1	PRELIMINARY DESIGN	2022/01/01	
2	FOR MINOR VARIANCE	2022/05/03	

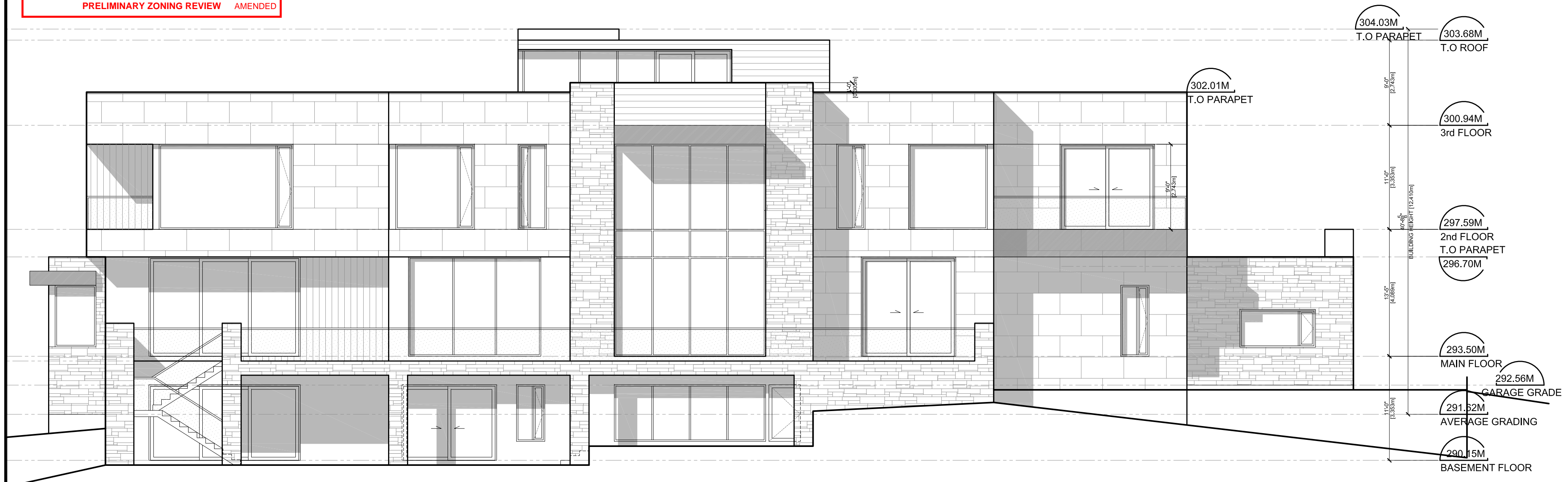


WEST ELEVATION

TOWN OF AURORA  
PLANNING & DEVELOPMENT SERVICES  
BUILDING DIVISION

PERMIT NO.: PR20220778    DATE: Jun. 24, 2022

APPROVED BY: *Ashley Vandermar*  
PRELIMINARY ZONING REVIEW    AMENDED



EAST ELEVATION

QUALIFICATION INFORMATION  
Required unless design is exempt under 2.17.5.1. of the building code

NAME: PENG CAI

SIGNATURE:

BCIN #: 106803

QUALIFICATION INFORMATION  
Required unless design is exempt under 2.17.4.1. of the building code

FIRM NAME: 9676538 CANADA INC.

REGISTRATION 117699



ZEN HOUSE  
1622 VANDORF SIDEROAD

Project number: 2021-06

Drawn    Scale    1/8"=1'-0"

Checked    Date

WEST ELEVATION  
EAST ELEVATION

Drawing No.    A201



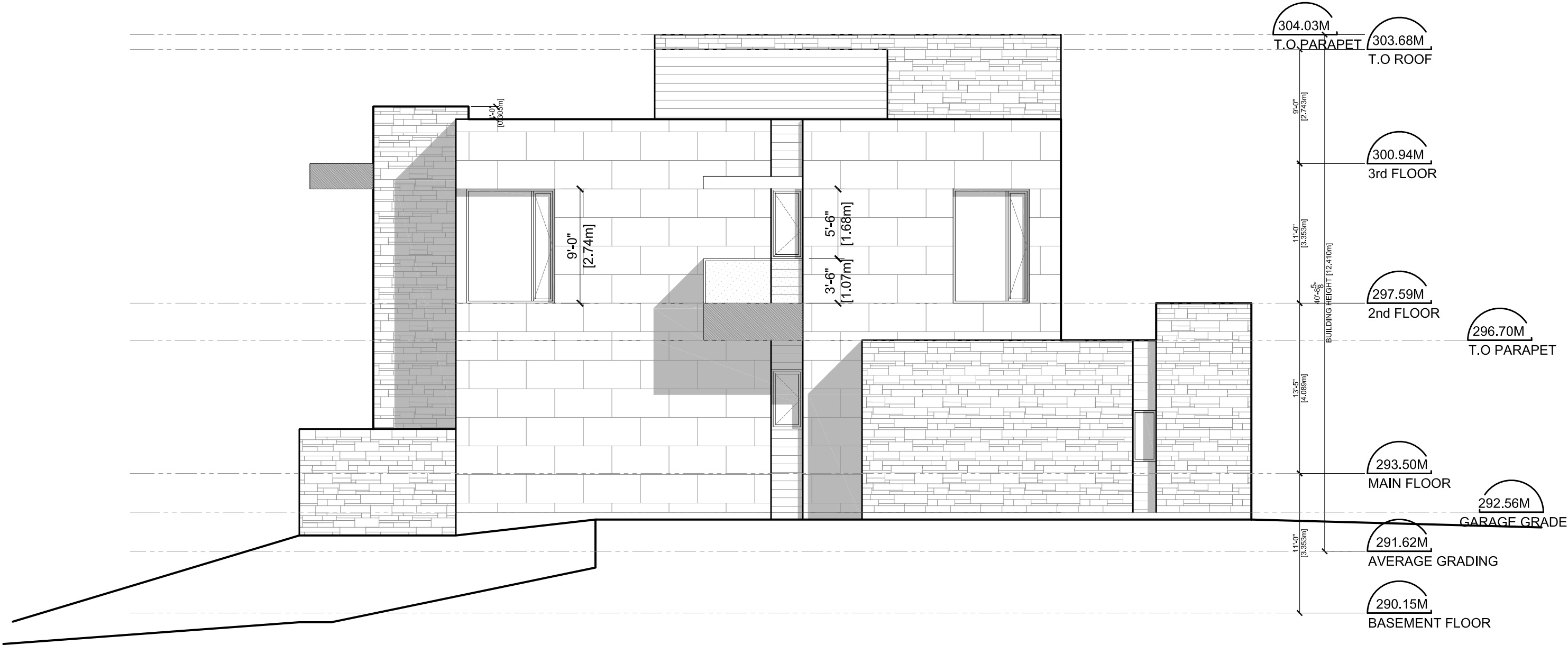
"ALL DRAWINGS, SPECIFICATIONS AND RELATED DOCUMENTS ARE THE COPYRIGHT PROPERTY OF THE ARCHITECT AND MUST BE RETURNED UPON REQUEST. REPRODUCTION OF DRAWINGS, SPECIFICATIONS AND RELATED DOCUMENTS IN PART OR IN WHOLE IS FORBIDDEN WITHOUT THE WRITTEN PERMISSION OF THE ARCHITECT."

DO NOT SCALE DRAWINGS.

CONTRACTOR MUST CHECK & VERIFY ALL DIMENSIONS ON SITE.

THIS DRAWING IS ISSUED FOR BUILDING PERMIT ONLY. ONLY DRAWINGS ISSUED FOR CONSTRUCTION WHICH ARE SIGNED BY THE ARCHITECT OR DESIGNER AND ENGINEERS CAN BE USED FOR CONSTRUCTION.

No.	Revision	Date	By
1	PRELIMINARY DESIGN	2022/01/01	
2	FOR MINOR VARIANCE	2022/05/03	

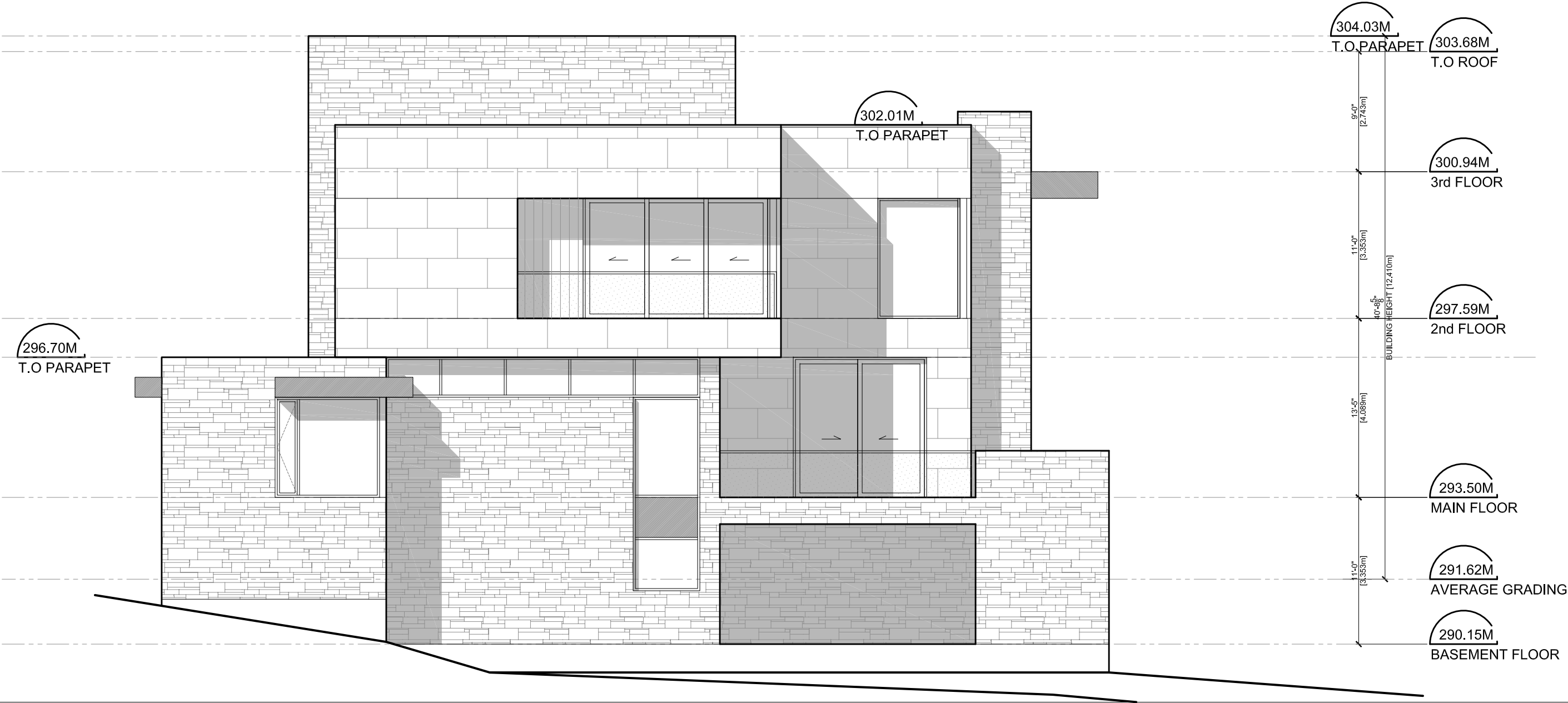


NORTH ELEVATION

TOWN OF AURORA  
PLANNING & DEVELOPMENT SERVICES  
BUILDING DIVISION

PERMIT NO.: PR20220778    DATE: Jun. 24, 2022

APPROVED BY: Ashley Vanderwal  
PRELIMINARY ZONING REVIEW    AMENDED



SOUTH ELEVATION

QUALIFICATION INFORMATION  
Required unless design is exempt under 2.17.5.1. of the building code

NAME: PENG CAI

SIGNATURE:

BCIN #: 106803

QUALIFICATION INFORMATION  
Required unless design is exempt under 2.17.4.1. of the building code

FIRM NAME: 9676538 CANADA INC.

REGISTRATION 117699



ZEN HOUSE

1622 VANDORF SIDEROAD

Project number: 2021-06

Drawn Scale 1/8"=1'-0"

Checked Date

SOUTH ELEVATION  
NORTH ELEVATION

Drawing No. A202