



**Town of Aurora  
Committee of Adjustment  
Meeting Agenda**

**Date:** December 9, 2021  
**Time:** 7:00 p.m.  
**Location:** Video Conference

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**Pages**

**1. Procedural Notes**

This meeting will be held electronically as per Section 19. i) of the Town's Procedure By-law No. 6228-19, as amended, due to the COVID-19 situation, and will be live streamed on the [Town's YouTube Channel](#).

**2. Approval of the Agenda**

That the Agenda as circulated by the Secretary-Treasurer be approved.

**3. Declarations of Pecuniary Interest and General Nature Thereof**

**4. Receipt of the Minutes**

**4.1. Committee of Adjustment Meeting Minutes of November 11, 2021, Meeting Number 21-11**

That the Committee of Adjustment Minutes from Meeting Number 21-11 be adopted as circulated.

**5. Presentation of Applications**

<b>5.1. MV-2021-34 - Dormlind Developments Ltd. - 22 Kingswood Lane</b>	<b>1</b>
<b>5.2. MV-2021-35 - Dormlind Developments Ltd.- 62 Royal Hill Court</b>	<b>29</b>
<b>5.3. MV-2021-32 - Hollidge Properties Inc. - 150 Hollidge Blvd</b>	<b>91</b>
<b>5.4. MV-2021-33 - Mahmoudi - 243 Murray Drive</b>	<b>98</b>
<b>5.5. MV-2021-30 - Sewhdat - 130 Edward Street</b>	<b>109</b>

**6. New Business**

## 7. Adjournment



100 John West Way  
Aurora, Ontario  
L4G 6J1  
(905) 727-3123  
aurora.ca

Town of Aurora

## Committee of Adjustment Report

No. MV-2021-34

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**Subject:** **Minor Variance Application**  
Dormlind Developments Ltd.  
22 Kingswood Lane  
MV-2021-34  
Related Planning Applications: OPA-2017-02,  
ZBA-2017-01, SUB-2017-01, CDM-2017-01  
& SP-2018-01

**Prepared by:** Sean Lapenna, Planner

**Department:** Planning and Development Services

**Date:** December 9, 2021

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## Application

The applicant is requesting relief from the Town's Comprehensive Zoning By-law 6000-17, as amended, to facilitate the development of a new two-storey Single-Detached Dwelling with a Gross Floor Area of approximately 3,790.0 ft<sup>2</sup> (352.11 m<sup>2</sup>). The following relief from the requirements of the Town's Zoning By-law 6000-17, as amended, is requested:

- a) Section 7.2 of the Zoning By-law requires a minimum rear yard setback of 7.5 metres. The applicant is proposing a two-storey detached dwelling which is 6.5 metres to the rear property line.

## Background

### Subject Property and Area Context

The subject lands are municipally known as 22 Kingswood Lane and are located east of Yonge Street, north of Hunters Glen Road and on the west side of Kingswood Lane. The subject lands are currently vacant and have an approximate lot area of 383.09 m<sup>2</sup> (4,124 ft<sup>2</sup>) and a lot frontage of 14.96 m (49.0 ft).

**Proposal**

The applicant has requested one variance for a reduced rear yard setback in order to accommodate a new two-storey Single-Detached Dwelling with a Gross Floor Area of approximately 3,790.0 ft<sup>2</sup> (352.11 m<sup>2</sup>).

**Official Plan**

The subject property is designated 'Cluster Residential' by the Town of Aurora Official Plan (OPA 34). Single detached dwellings are permitted by the Official Plan.

**Zoning**

The subject property is zoned 'R4 (501) (Detached Fourth Density Residential Exception Zone)' under Zoning By-law 6000-17, as amended, which permits single detached dwellings.

**Related Planning Applications**

The subject property is located within a twenty-seven (27) single-detached lot subdivision along a private condominium road which required planning approvals in the form of an Official Plan Amendment (OPA-2017-02), Zoning By-law Amendment (ZBA-2017-01), Plan of Subdivision (SUB-2017-01), Plan of Condominium (CDM-2017-01) & Site Plan Approval (SP-2018-01). All Planning approvals listed have been issued and the Subdivision Agreement was executed in February 2021 and subdivision registered in August 2021.

**Preliminary Zoning Review**

A Preliminary Zoning Review (PZR) has been completed by the Town of Aurora's Building Division. The PZR identified the required variance and no other non-compliance was identified.

**Applicant's stated reason(s) for not complying with the Zoning By-law**

Please see attached Cover Letter (Appendix C).

**Planning Comments**

Planning Staff have evaluated Minor Variance Application MV-2021-34 pursuant to the prescribed tests as set out in Section 45(1) of the Planning Act, as follows:

a) The proposed variance meets the general intent of the Official Plan



The variance requested is not anticipated to have any negative impact on the character of the future neighbourhood (yet to be built out). The proposed dwelling will also be in keeping with the surrounding context of the neighbourhood.

It is the opinion of Planning staff that the proposed variance maintains the general intent of the Official Plan.

**b) The proposed variance meets the general intent of the Zoning By-law**

The purpose of setback requirements in the Zoning By-law is to ensure that adequate separation is provided between buildings on abutting properties. Furthermore, staff are also mindful of any potential negative impacts to neighbouring properties from a privacy standpoint in regards to abutting rear yard amenity space.

In this case, the subject property's rear yard property line (located to the east) is not abutting another residential lot but instead, a 5.0 m (16.0 ft) wide noise berm approved as part of the plan of subdivision. This noise berm is abutting Block 29 (shown on approved plan of subdivision) which is 12.0 m (39.0 ft) in width and conveyed to the Town as part of a future public trail system. In addition to this, there is also no neighbouring dwelling located to the north but instead, a Tree Protection Zone (TPZ) which is zoned 'Private Open Space (O2)' resulting in a separation distance of 9.03 m (30.0 ft) between the side yard property line located to the north and the northern boundary line for the plan of subdivision.

Although the dwelling would be constructed closer to the rear yard property line than what the by-law allows, staff are of the opinion that the requested variance of 6.5 m (21.0 ft) will not result in any conflicts as it relates to building separation nor will it impact the enjoyment of the rear yard amenity areas with any surrounding neighbouring property. In addition to this, the new location for the dwelling would not conflict with the 40.0 m (131.0 ft) setback requirement from the centreline of Yonge Street imposed through the Official Plan Amendment.

As such, staff are of the opinion that the requested variance meets the general intent of the zoning by-law.

**c) The variance is considered desirable for the appropriate development or use of the land**

The minor variance requested to accommodate a two-storey Single-Detached Dwelling has been considered in the context of the site and neighbourhood to be built out in the future. As noted in the submitted Cover Letter (Appendix 'C') the requested variance is required due to the rear lot line not being completely parallel to the proposed dwelling.

It is in the opinion of staff that even with a reduced rear yard setback that the dwelling will still be in keeping with other surrounding properties to the south and east located within the approved plan of subdivision. Staff do not anticipate that the variance as requested will result in any negative impacts and that the dwelling will remain compatible with the future surrounding built form. Furthermore, the rear yard amenity space to remain on the subject property is considered by staff to be appropriate. Finally, a 5.0 m wide noise berm is located in between the rear lot lines for all single-detached lots adjacent to Yonge Street and Block 29 (future public trail) which includes a 2.7 m (9.0 ft) high acoustic fence along the rear yard property lines. The reduced rear yard setback will have no impact on the noise attenuation measures in place which were approved as part of the plan of subdivision.

Based on the above, staff are of the opinion that permitting the subject variance is an appropriate development and use of the land.

**d) The variance is considered minor in nature**

The request for a reduced rear yard setback of 6.5 m (21.0 ft) from the required 7.5 m (25.0 ft) is not considered by staff to be a major deviation from the by-law requirement. When taking into other aspects as well, staff note that the variance applies only to a portion of the rear yard in the north-west corner of the subject property and not to the entire rear yard. This results in the reduced rear yard setback being located as far away as possible from surrounding neighbouring dwellings which again, mitigates potential for impact to surrounding properties from a spatial separation standpoint.

Staff also advise that all other applicable by-law requirements are still being met.

Staff therefore consider the variance to be minor in nature.

## **Additional Comments**

The minor variance application was circulated to Town Department/Divisions and to external agencies for review and comment. The following comments were provided:

<b>Department / Agency</b>	<b>Comments Provided</b>
Engineering Services	We have reviewed the above-noted minor variance application and have no objections (Comments dated November 25, 2021).
Building Division	Preliminary Zoning Review completed November 9, 2021. No comments provided specifically on the application at the time of writing of this report.

December 9, 2021

5 of 7

Report No. MV-2021-34

Accessibility Advisor	No comments or objections (e-mail dated November 22, 2021).
Traffic Analyst	No comments provided at the time of writing of this report.
Operational Services – Parks	We have reviewed the documentation for the property associated with the above noted application and have no formal comments regarding the application (Comments dated November 26, 2021).
Central York Fire Services	No comments provided at the time of writing of this report.
The Regional Municipality of York	The Regional Municipality of York has completed its review of the above minor variance and has no comment (Comments dated November 17, 2021).
Lake Simcoe Region Conservation Authority	The subject property is located outside of an area that is regulated by the LSRCA. Unless our review is preferred or warranted, we will not be providing comments nor collecting a review fee per our MOU with the Town (Comments dated November 25, 2021).
Alectra Utilities	<p>We have reviewed the proposed Variance application and have no objections to its approval, subject to the following comments:</p> <p>Alectra Utilities (formerly PowerStream) has received and reviewed the proposed Variance Application. This review, however, does not imply any approval of the project or plan. All proposed billboards, signs, and other structures associated with the project or plan must maintain minimum clearances to the existing overhead or underground electrical distribution system as specified by the applicable standards, codes and acts referenced.</p> <p>In the event that construction commences, and the clearance between any component of the work/structure and the adjacent existing overhead and underground electrical distribution system violates the Occupational Health and Safety Act, the customer will be responsible for 100% of the costs associated with Alectra making the work area safe. All construction work will be required to stop until the safe limits of approach can be established.</p> <p>In the event construction is completed, and the clearance between the constructed structure and the adjacent existing</p>

	overhead and underground electrical distribution system violates the any of applicable standards, acts or codes referenced, the customer will be responsible for 100% of Alectra's cost for any relocation work (Comments dated November 16, 2021).
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## Public Correspondence

Written submissions were not received at the time of writing of this report. Should written submissions be received after the writing of this report, the Secretary Treasurer will provide the submission(s) to Committee members at the meeting.

## Conclusion

Planning staff have reviewed the application with respect to the Section 45(1) of the Planning Act, R.S.O, 1990, c.P.13, as amended, and recommend approval subject to a condition of approval. Please refer to Appendix 'A' for the recommended condition of approval for the requested variance.

## Attachments

Appendix 'A' - Recommended Condition of Approval

Appendix 'B' - Site Plan & Elevations

Appendix 'C' - Submitted Cover Letter

**Appendix 'A' – Recommended Condition of Approval**

The following condition are required to be satisfied should application MV-2021-34 be approved by the Committee of Adjustment:

1. That the variance only applies to the subject property, in substantial conformity with the plan(s) attached as 'Appendix B' to this Staff Report and dated November 8, 2021, to the satisfaction of the Director of Planning and Development Services.



NOTES:

- SANITARY LATERAL INVERTS SPECIFIED ARE DESIGN INVERTS.
- AS-BUILT ELEVATIONS MAY BE DIFFERENT. BUILDER TO CONFIRM INVERTS PRIOR TO CASTING OF FOOTINGS.
- ALL UTILITIES TO BE IN ACCORDANCE WITH DESIGN PLANS FROM THE UTILITY COMPANIES (EG BELL, ALECTRA, ETC.)
- PROPOSED TREES TO BE COORDINATED WITH LANDSCAPE PLANS.

LOT. \_\_\_\_\_

REVIEWED FOR:

1. GRADING AS BEING IN CONFORMANCE WITH THE DRAINAGE CONCEPTS SHOWN ON THE APPROVED LOT GRADING PLANS PREPARED BY SCS CONSULTING GROUP LTD.
2. CONFORMANCE WITH THE TOWN OF AURORA GRADING STANDARDS.

DATE: \_\_\_\_\_

REVIEWED BY: \_\_\_\_\_

IT IS THE BUILDER'S COMPLETE RESPONSIBILITY TO ENSURE THAT ALL PLANS SUBMITTED FOR APPROVAL FULLY COMPLY WITH THE ARCHITECTURAL GUIDELINES AND ALL APPLICABLE REGULATIONS AND REQUIREMENTS INCLUDING ZONING PROVISIONS AND ANY PROVISIONS IN THE SUBDIVISION AGREEMENT. THE CONTROL ARCHITECT IS NOT RESPONSIBLE IN ANY WAY FOR EXAMINING OR APPROVING SITE (LOT) PLANS OR WORKING DRAWINGS WITH RESPECT TO ANY ZONING OR BUILDING CODE OR PERMIT MATTER OR THAT ANY HOUSE CAN BE PROPERLY BUILT OR LOCATED ON ITS LOT.

THIS IS TO CERTIFY THAT THESE PLANS COMPLY WITH THE APPLICABLE ARCHITECTURAL DESIGN GUIDELINES APPROVED BY THE TOWN OF AURORA.

Preliminary Zoning Review

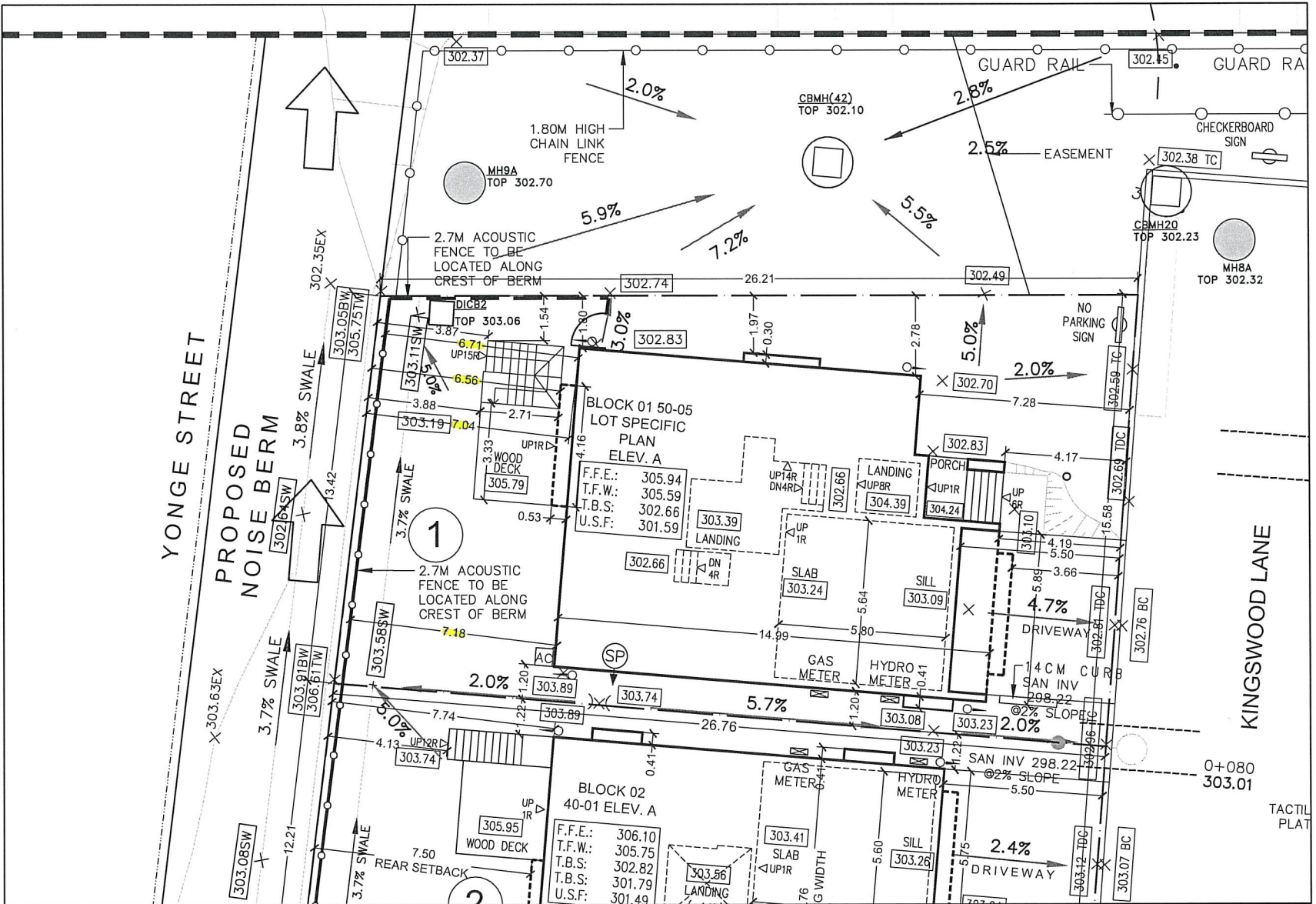
NOV 09 2021

PLANNING AND DEVELOPMENT SERVICES  
Building Division

PR20211409

LEGEND:

- F.F.E. FINISHED FLOOR ELEVATION  
T.F.W. TOP OF FOUNDATION WALL  
T.B.S. TOP OF BASEMENT SLAB  
U.S.F. UNDER SIDE OF FOOTING  
R RISER
- CENTER LINE OF ROADS  
BIOSWALE / INFILTRATION GALLERY  
100-200mmØ RIP-RAP  
GEOWEB SYSTEM  
RETAINING WALL  
UNDERGROUND STORAGE
- SANITARY SEWER AND MANHOLE  
STORM SEWER AND MANHOLE  
CATCHBASIN MANHOLE / DOUBLE CATCHBASIN MANHOLE  
CATCHBASIN  
DOUBLE CB  
OIL GRIT SEPARATOR  
SUMP PUMP DISCHARGE LOCATION
- YORK REGION BASE MOUNTED LIGHT POLE / PRIVATE CONCRETE LIGHT POLE  
ELECTRICAL 0.46m HANDHOLE  
DENOTES SEWER/WATERMAIN CROSSING  
COMMUNITY MAILBOX  
DOOR/STEPS  
DOWNSPOUT TO SPLASH PAD  
25mm COPPER WATER SERVICE CONNECTION  
SANITARY LATERAL CONNECTION
- PRIVATE FIRE HYDRANT  
VALVE AND BOX  
EXISTING DECIDUOUS TREE  
AIR CONDITIONING  
EX-GRAD-ELEV-SITE  
C-GRAD-ELEV-LOTS-SPLT  
H&V FIRE HYDRANT

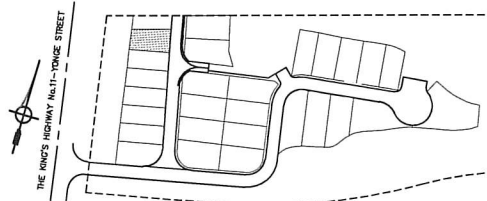


MODEL 50-05 ELEVATION A AREA CALCULATIONS	
GROUND FLOOR PLAN	1678.51 FT <sup>2</sup> [155.94 M <sup>2</sup> ]
SECOND FLOOR PLAN	1667.10 FT <sup>2</sup> [154.88 M <sup>2</sup> ]
DEDUCT OPEN AREAS	0.00 FT <sup>2</sup> [0.00 M <sup>2</sup> ]
ADD FINISHED BASEMENT	444.43 FT <sup>2</sup> [41.29 M <sup>2</sup> ]
GROSS FLOOR AREA	3790.04 FT <sup>2</sup> [352.11 M <sup>2</sup> ]

COVERAGE W/ PORCH	1739.17 FT <sup>2</sup> [161.57 M <sup>2</sup> ]
COVERAGE W/O PORCH	1678.51 FT <sup>2</sup> [155.94 M <sup>2</sup> ]

LOT	COVERAGE PERMITTED	PROPOSED	LOT	COVERAGE (Cont'd) PERMITTED	PROPOSED
LOT #1	50%	34.1%	LOT #21	50%	31.08%
LOT #2	50%	40.5%	LOT #22	50%	40.17%
LOT #3	50%	39.8%	LOT #23	50%	38.0%
LOT #4	50%	39.0%	LOT #24	50%	43.76%
LOT #5	50%	42.75%	LOT #25	50%	43.68%
LOT #6	50%	41.85%	LOT #26	50%	43.43%
LOT #7	50%	34.55%	LOT #27	50%	39.6%
LOT #8	50%	39.76%			
LOT #9	50%	42.72%			
LOT #10	50%	41.75%			
LOT #11	50%	41.44%			
LOT #12	50%	39.94%			
LOT #13	50%	33.26%			
LOT #14	50%	41.47%			
LOT #15	50%	43.9%			
LOT #16	50%	43.89%			
LOT #17	50%	33.08%			
LOT #18	50%	37.9%			
LOT #19	50%	34.29%			
LOT #20	50%	39.73%			

TOTAL BUILDING AREA: 4717m<sup>2</sup> -6.79% PER NET LOT AREA  
(LOT COVERAGE)  
GROSS FLOOR AREA: 9098.7m<sup>2</sup>  
THE IMPERVIOUS AREA: 10341m<sup>2</sup> -14.9% PER NET LOT AREA  
GROSS LOT AREA: 71433.7m<sup>2</sup>  
NET LOT AREA: 89399m<sup>2</sup>  
DISTURBED AREA: 16949m<sup>2</sup> -24.4% PER NET LOT AREA



KEY PLAN  
NTS

NO.	DATE	REVISION DESCRIPTION	NOTE
04	2021-09-07	ISSUED FOR PERMIT	CITY
05	2021-10-05	ISSUED FOR PERMIT	CITY
06	2021-10-08	ISSUED FOR REVIEW	CONSULTANTS
07	2021-11-04	ISSUED FOR REVIEW	CONSULTANTS
08	2021-11-08	ISSUED FOR COA	CITY

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STAMP

NORTH

PROJ./REV. NO.

USG 16-198

SHEET TITLE

SITING PLAN- LOT 1  
SCALE: 1:200

PROJECT

ROYAL HILL  
14029 YONGE ST. Aurora ON L4G 0P1

DWG NO.

DESIGN

URBANSCAPE  
ARCHITECTS

236 Lesmill Road Toronto, ON M3B 2T5  
phone: 416.850.0021

info@urbanscapearchitect.com | www.urbanscapearchitect.com

11"x17" SHEET SIZE



# ROYAL HILL 50-05 LOT 1

LIST OF DRAWING SHEETS

- 0
- TITLE SHEET
- 0A
- FOUNDATION PLAN
- 1A
- BASEMENT PLAN
- 2A
- FIRST FLOOR PLAN
- 3A
- SECOND FLOOR PLAN
- 4A
- ROOF PLAN
- 5A
- FRONT ELEVATION
- 6A
- REAR ELEVATION
- 7A
- RIGHT SIDE ELEVATION
- 8A
- LEFT SIDE ELEVATION
- 9A
- BUILDING SECTION
- 10A
- PARTIAL BASEMENT PLAN AND SIDE ELEVATION W/ WALKUP
- 11A
- REAR ELEVATION W/ WALKUP
- 12
- CONSTRUCTION NOTES



AREA CALCULATION		
	AREA SQ.FT.	AREA SQ.M.
FIRST FLOOR	1678.51	155.94
SECOND FLOOR	1667.10	154.88
TOTAL FLOOR AREA	3345.61	310.82
DEDUCT OPEN AREAS	0.00	0.00
ADD FINISHED BASEMENT AREA	444.43	41.29
GROSS FLOOR AREA	3790.04	352.11
FIRST FLOOR COVERAGE	1678.51	155.94
GARAGE COVERAGE AREA	0	0.00
PORCH COVERAGE AREA	60.67	811.60
COVERAGE W/ PORCH	1739.17	161.57
COVERAGE W/O PORCH	1678.51	155.94

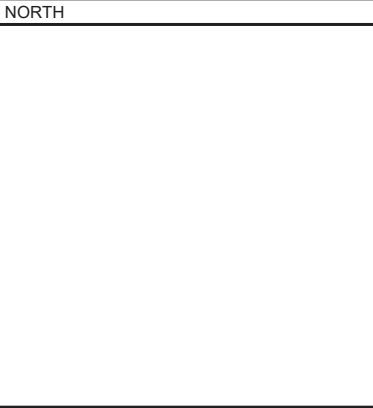
LEGEND	
	STUCCO/SIDING
	MASONARY
	BEARING WALL
	RIGID INSULATION
	BATT INSULATION
	PROPERTY LINE
	FLOOR LEVEL AT ELEV. AND SEC.
	CONSTRUCTION NOTES
	FLOOR LEVEL AT PLANS
	BEAMS DESIGNED BY MANUFACTURER
	STEEL POST(SEE STRUCTURE)
	STEEL POST ABOVE (SEE STRUCTURE)
	WOOD POST(SEE STRUCTURE)
	WOOD POST ABOVE (SEE STRUCTURE)

3.1. WOOD LINTELS AND BUILT-UP WOOD (DIVISION B PART 9. TABLES A8 TO A10 AND A12 TO A16) FORMING PART OF SENTENCE 9.23.4.2.(3), 9.23.4.2.(4), 9.23.12.3.(1),(3)					
2"x8" SPRUCE #2		2"x10" SPRUCE #2		2"x12" SPRUCE #2	
L1	2/2"x8" (2/38x184)	L3	2/2"x10" (2/38x235)	L5	2/2"x12" (2/38x286)
B1	3/2"x8" (3/38x184)	B3	3/2"x10" (3/38x235)	B5	3/2"x12" (3/38x286)
B2	4/2"x8" (4/38x184)	B4	4/2"x10" (4/38x235)	B6	4/2"x12" (4/38x286)
B7	5/2"x8" (5/38x184)	B8	5/2"x10" (5/38x235)	B9	5/2"x12" (5/38x286)
3.2. STEEL LINTELS SUPPORTING MASONRY VENEER (DIVISION B PART 9. TABLE 9.20.2.B.) FORMING PART OF SENTENCE 9.20.5.2.(3)					
CODE	SIZE	VENEER		MASONRY	
L7	3 1/2" x 3 1/2" x 1/4" (90 x 90 x 6)	8'-1" (2.47m)		3'-11" (1.20m)	
LB	4" x 3 1/2" x 1/4" (100 x 90 x 6)	8'-9" (2.66m)		NA	
L9	4 7/8" x 3 1/2" x 5/16" (125 x 90 x 8)	10'-10" (3.31m)		7'-10" (2.40m)	
L10	4 7/8" x 3 1/2" x 3/8" (125 x 90 x 10)	11'-5" (3.48m)		8'-10" (2.70m)	
L11	5 7/8" x 3 1/2" x 3/8" (150 x 90 x 10)	12'-7" (3.82m)		NA	
L12	7 1/8" x 4" x 3/8" (180 x 100 x 10)	14'-1" (4.30m)		NA	

NO.	DATE	REVISION DESCRIPTION	NOTE
1	2021-04-12	ISSUED FOR PERMIT	CITY

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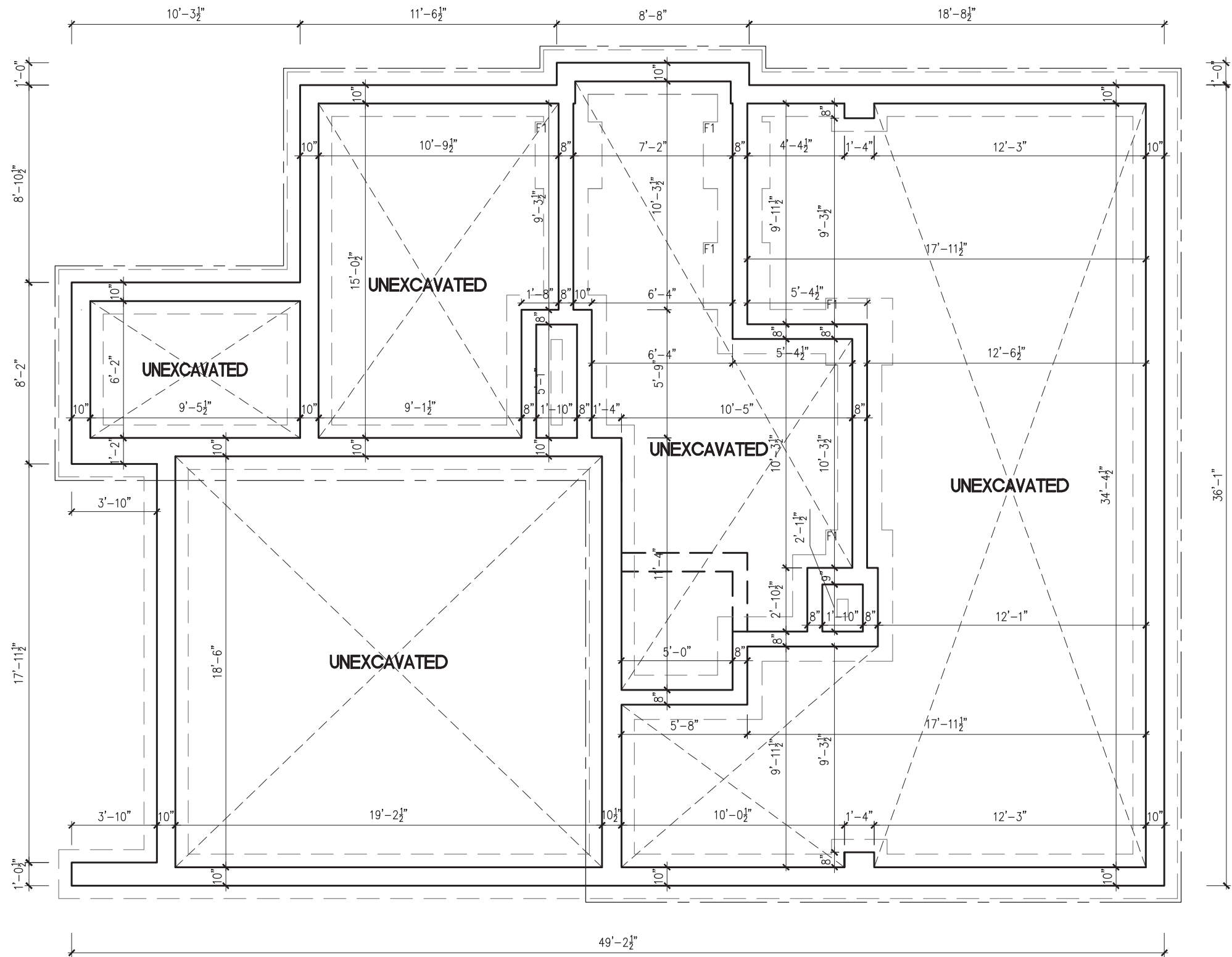


PROJ./REV. NO. USG 16-198	DWG NO. 0
SHEET TITLE TITLE SHEET	18"x24" SHEET SIZE
PROJECT DORMER HILL 50-05 CORNER 14029 YONGE ST. Aurora ON L4G OP1	

DESIGN



236 LESMILL ROAD, TORONTO ,ON,M3B 2T5  
phone: 416.850.0021  
info@urbanscaarchitect.com | www.urbanscearchitect.com



**TYPICAL BASEMENT FLOOR PLAN NOTES**  
PROVIDE FULL HEIGHT 10" CONC. FOUNDATION WALLS  
WHERE SOIL HEIGHT EXCEEDS 4'-7" TYP. UNLESS NOTED  
OTHERWISE  
ALL DECK FRAMING TO BE P.T. UNLESS NOTED OTHERWISE

**CONCRETE STRIP FOOTING FOR 10" FOUNDATION WALL:**  
MIN. 22"x8" FOR NATURAL UNDISTURBED SOIL.  
MIN. 24"x10" FOR COMPACTED ENGINEERED FILL.  
2-15M BARS CONTINUOUS AT TOP OF FOUNDATION AND  
2-15M BARS CONTINUOUS IN FOOTINGS FOR ENGINEERED FILL.

**NOTE:**  
ALL FOOTINGS DESIGNED  
ASSUMING MIN. 150KPa  
SOIL BEARING CAPACITY

CONCRETE PAD FOOTING LEGEND		
	NATURAL UNDISTURBED SOIL	COMPACTED ENGINEERED FILL
F0	46"x46"x20"	52"x52"x24"
F1	36"x36"x16"	40"x40"x18"
F2	24"x24"x10"	28"x28"x12"

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of AURORA.

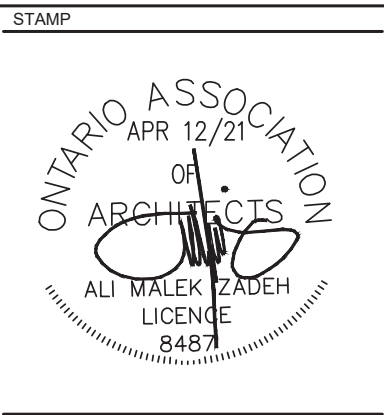
JOHN G. WILLIAMS LTD., ARCHITECT  
ARCHITECTURAL CONTROL REVIEW  
AND APPROVAL  
APPROVED BY:   
DATE: APR 14, 2021  
This stamp certifies compliance with the applicable Design Guidelines only and bears no further professional responsibility.



NO.	DATE	REVISION DESCRIPTION	NOTE
1	2021-04-12	ISSUED FOR PERMIT	CITY

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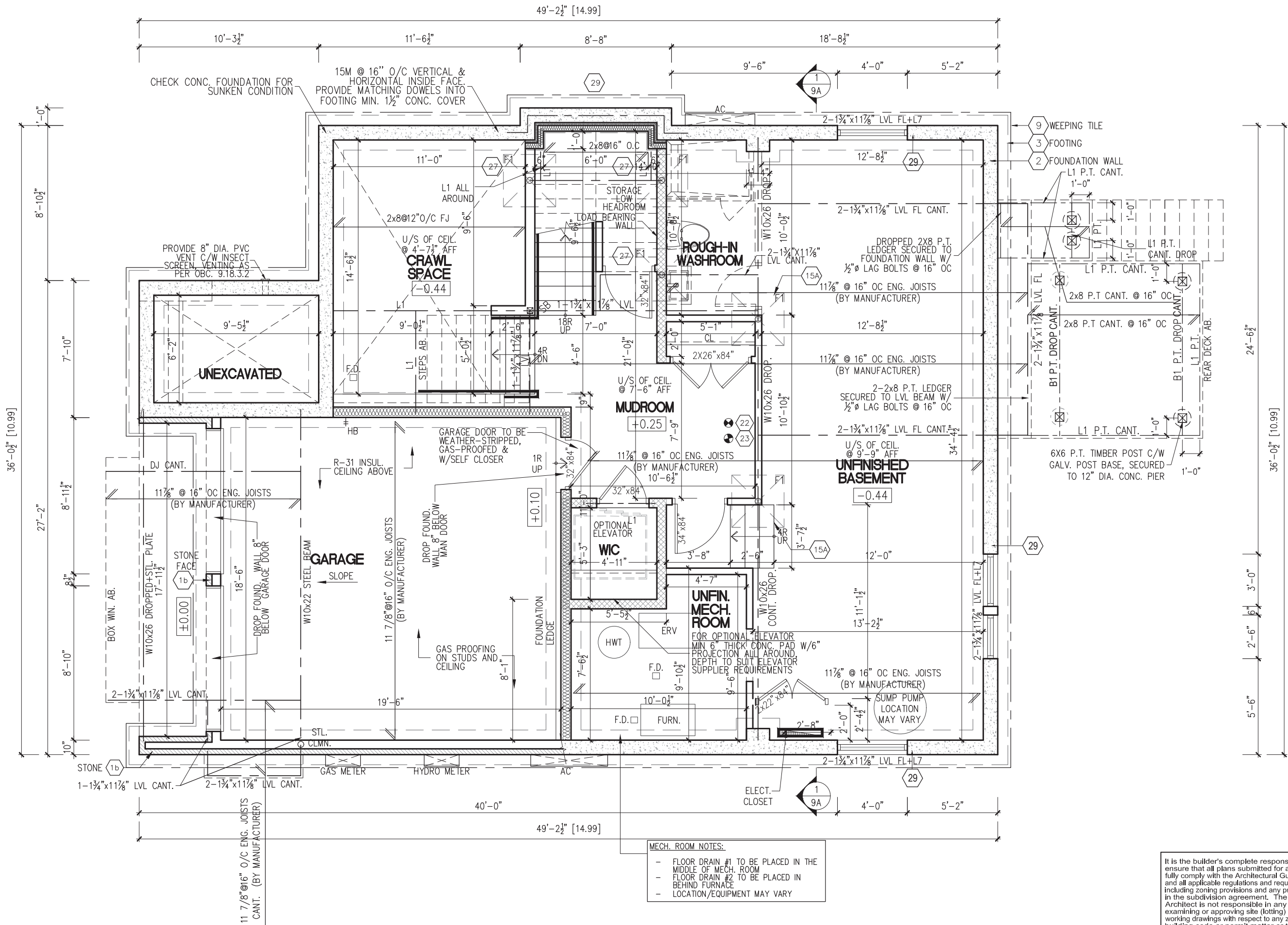
NORTH

PROJ./REV. NO.  
**USG 16-198**  
SHEET TITLE  
**FOUNDATION PLAN**  
SCALE: 3/16"=1'-0"  
PROJECT  
**DORMER HILL 50-05 CORNER**  
14029 YONGE ST. Aurora ON L4G OP1

DWG NO.  
**0A**  
18"x24" SHEET SIZE

DESIGN  
  
236 LESMILL ROAD, TORONTO, ON, M3B 2T5  
phone: 416.850.0021  
info@urbanscaarchitect.com | www.urbanscapearchitect.com






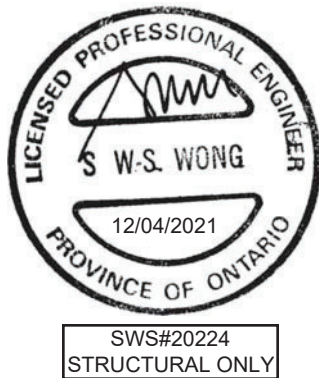
**TYPICAL BASEMENT FLOOR PLAN NOTES**  
PROVIDE FULL HEIGHT 10" CONC. FOUNDATION WALLS  
WHERE SOIL HEIGHT EXCEEDS 4'-7" TYP. UNLESS NOTED  
OTHERWISE  
ALL DECK FRAMING TO BE P.T. UNLESS NOTED OTHERWISE

- MECH. ROOM NOTES:**
- FLOOR DRAIN #1 TO BE PLACED IN THE MIDDLE OF MECH. ROOM
  - FLOOR DRAIN #2 TO BE PLACED IN BEHIND FURNACE
  - LOCATION/EQUIPMENT MAY VARY

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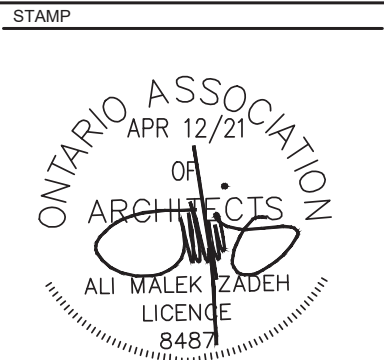
JOHN G. WILLIAMS LTD., ARCHITECT  
ARCHITECTURAL CONTROL REVIEW  
AND APPROVAL  
APPROVED BY:   
DATE: APR 14, 2021  
This stamp certifies compliance with the applicable Design Guidelines only and bears no further professional responsibility.



NO.	DATE	REVISION DESCRIPTION	NOTE
1	2021-04-12	ISSUED FOR PERMIT	CITY

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**STAMP**  
**NORTH**

PROJ./REV. NO.  
**USG 16-198**  
SHEET TITLE  
**BASEMENT PLAN**  
SCALE: 3/16"=1'-0"  
PROJECT  
**DORMER HILL 50-05 CORNER**  
**14029 YONGE ST. Aurora ON L4G 0P1**

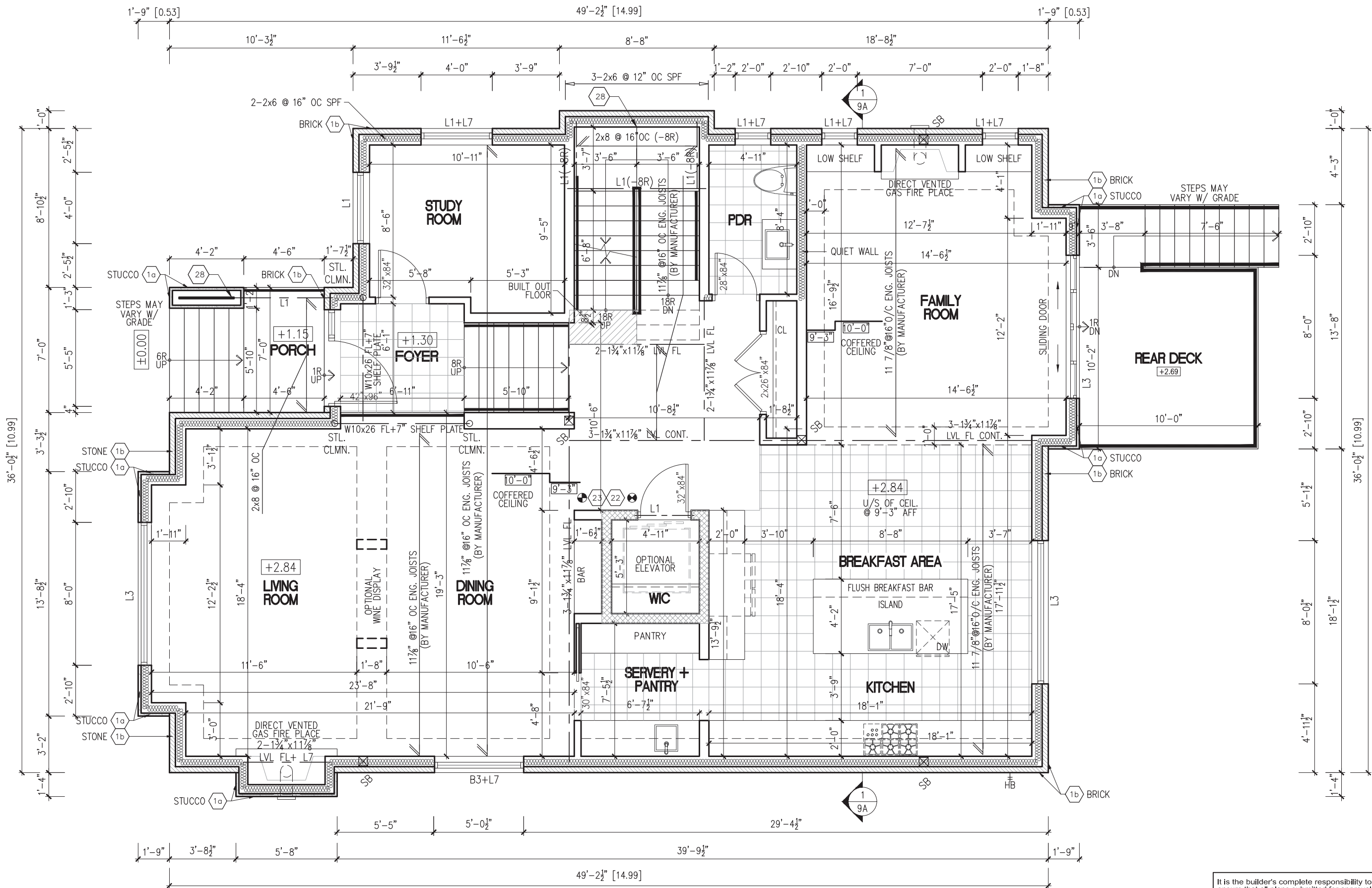
DWG NO.  
**1A**  
18"x24" SHEET SIZE

DESIGN



236 LESMILL ROAD, TORONTO, ON, M3B 2T5  
phone: 416.850.0021

info@urbanscaarchitect.com | www.urbanscearchitect.com



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ARCHITECTURAL CONTROL REVIEW  
AND APPROVAL

APPROVED BY: [Signature]  
DATE: APR 14, 2021

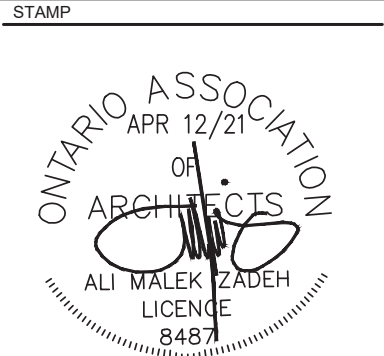
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NORTH

PROJ./REV. NO.  
USG 16-198

SHEET TITLE  
FIRST FLOOR PLAN  
SCALE: 3/16"=1'-0"

PROJECT  
DORMER HILL 50-05 CORNER  
14029 YONGE ST. Aurora ON L4G 0P1

DWG NO.  
2A  
18"x24" SHEET SIZE

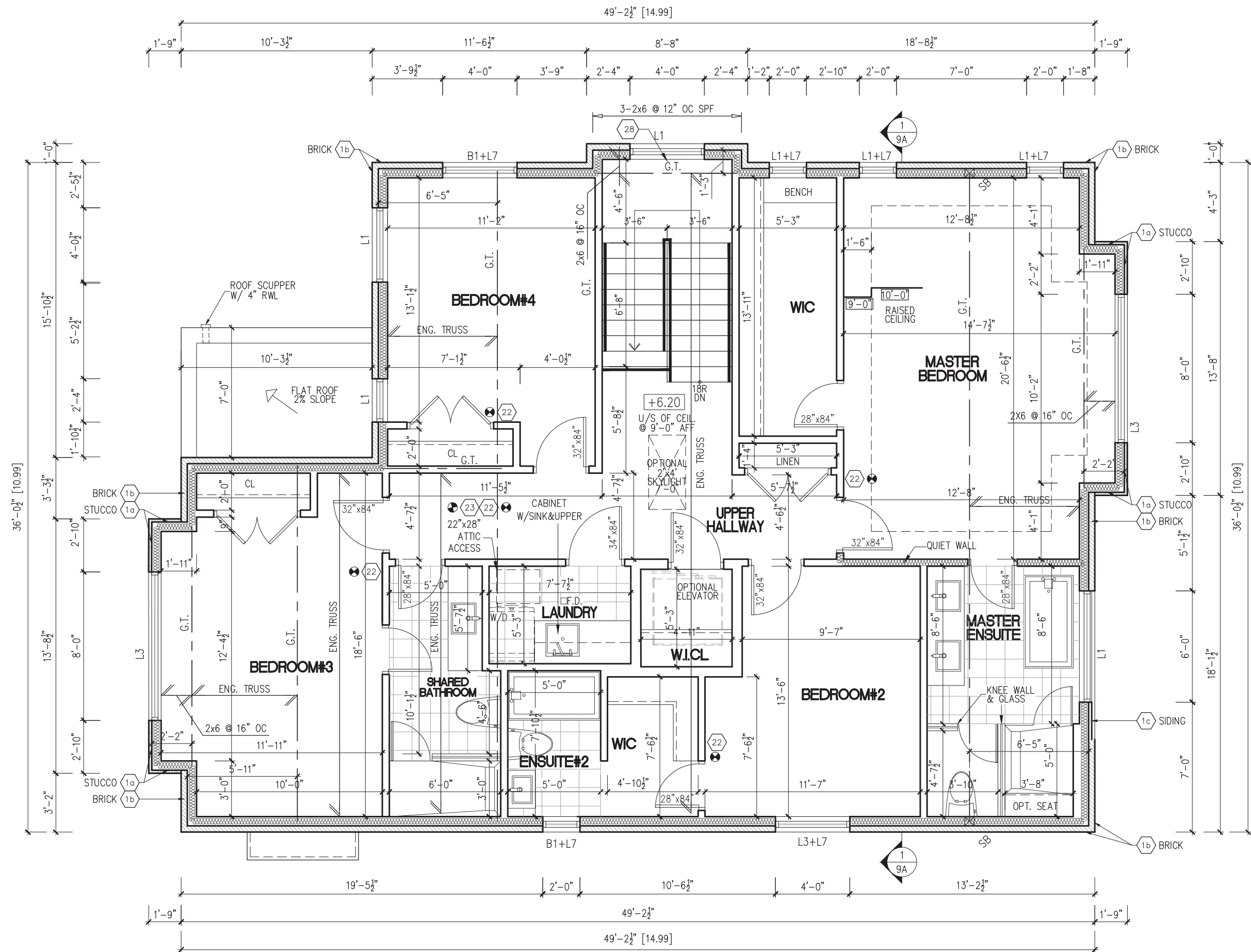
DESIGN



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phone: 416.850.0021

info@urbanscaarchitect.com | www.urbanscaarchitect.com

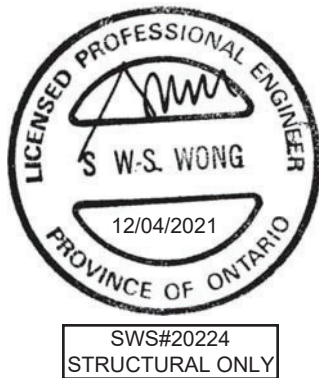




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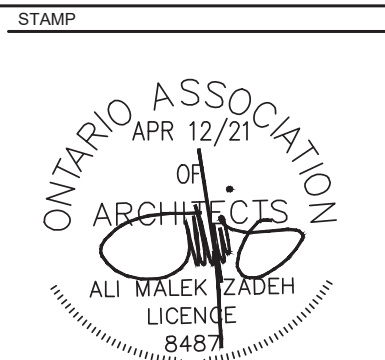
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ARCHITECTURAL CONTROL REVIEW  
AND APPROVAL  
APPROVED BY:   
DATE: APR 14, 2022  
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NORTH

PROJ./REV. NO.  
USG 16-198

SHEET TITLE  
SECOND FLOOR PLAN  
SCALE: 3/16"=1'-0"

PROJECT  
DORMER HILL 50-05 CORNER  
14029 YONGE ST. Aurora ON L4G 0P1

DWG NO.

3A

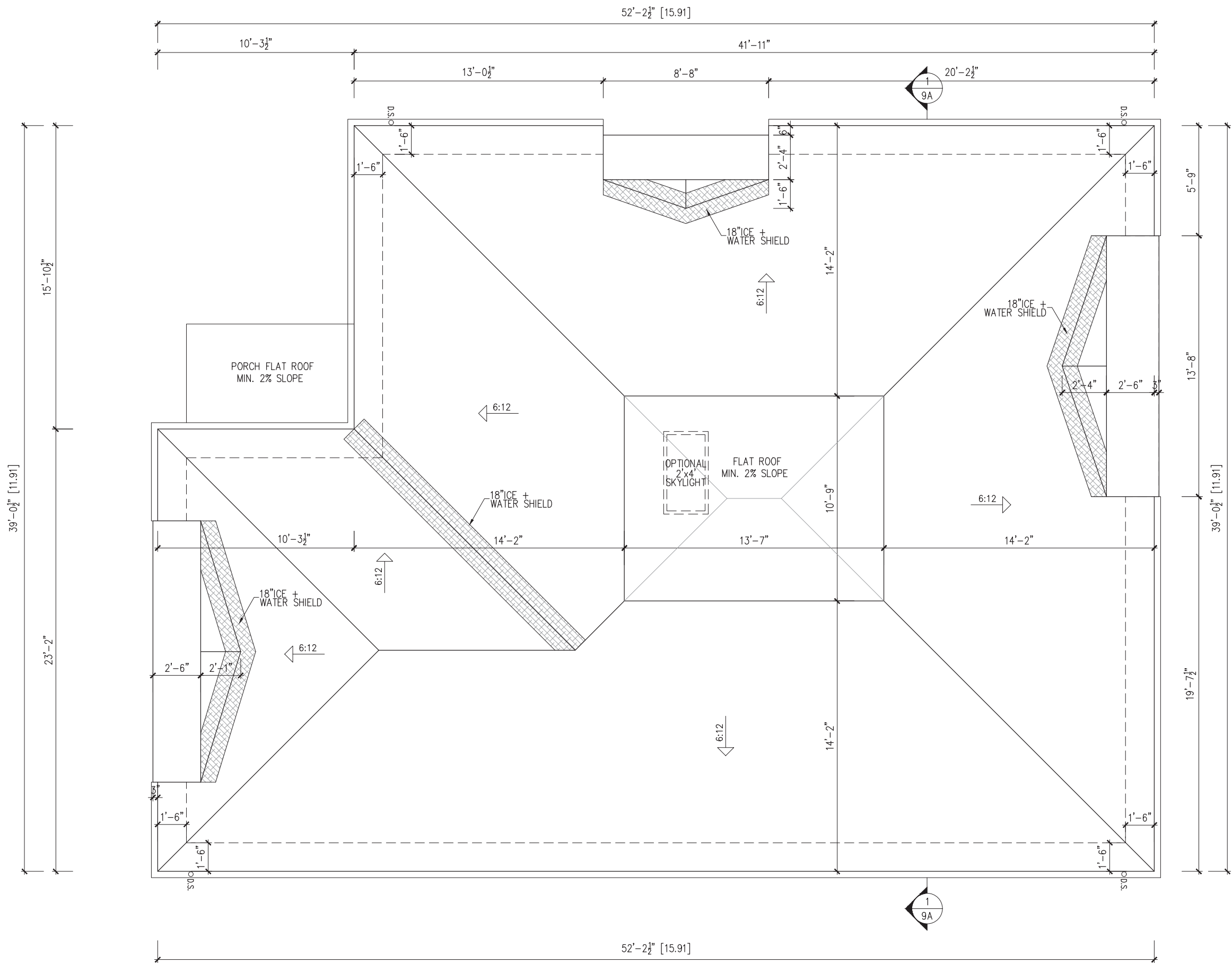
18"x24" SHEET SIZE

DESIGN



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phone: 416.850.0021

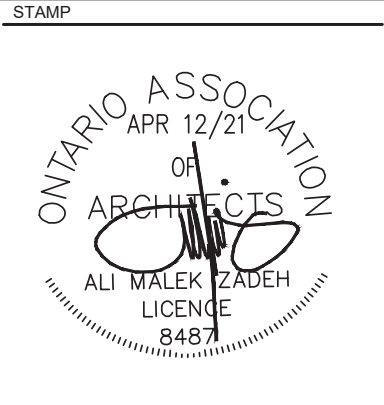
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NORTH

PROJ./REV. NO.  
USG 16-198

SHEET TITLE  
ROOF PLAN  
SCALE: 3/16"=1'-0"

PROJECT  
DORMER HILL 50-05 CORNER  
14029 YONGE ST. Aurora ON L4G OP1

DWG NO.

4A

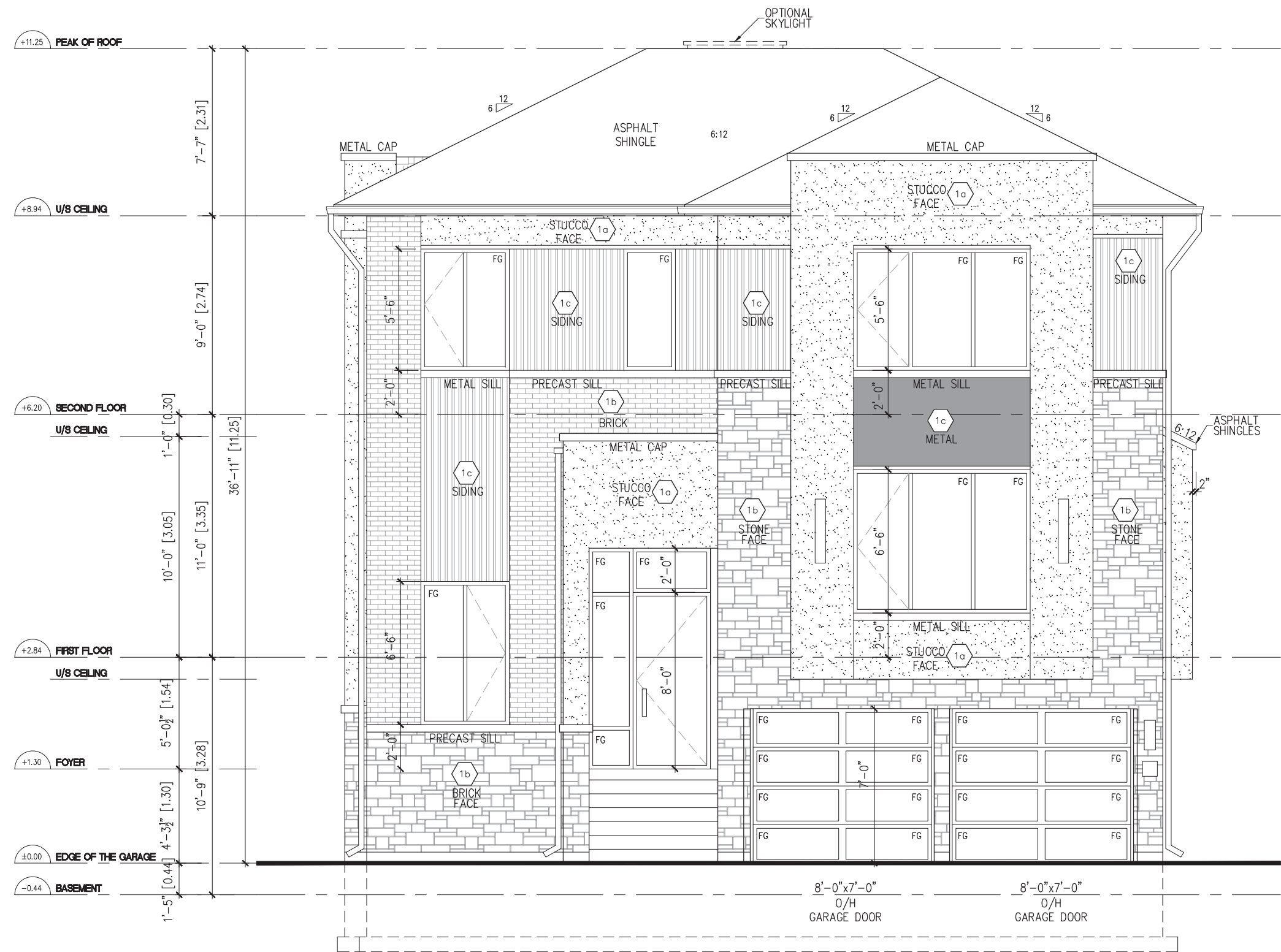
18"x24" SHEET SIZE

DESIGN



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phone: 416.850.0021


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ROYAL HILL 50-05 ENERGY EFFICIENCY-SB12			
ELEVATION	WALL SQ.FT.	OPENING SQ.FT.	PERCENTAGE
FRONT	1087.15	181.70	16.71%
REAR	1108.71	231.25	20.86%
RIGHT	1516.00	76.70	5.06%
LEFT	1503.66	190.14	12.65%
TOTAL	5215.18	679.75	13.03%

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JOHN G. WILLIAMS LTD., ARCHITECT  
ARCHITECTURAL CONTROL REVIEW  
AND APPROVAL  
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NORTH

PROJ./REV. NO.  
USG 16-198

SHEET TITLE  
FRONT ELEVATION  
SCALE: 3/16"=1'-0"

PROJECT  
DORMER HILL 50-05 CORNER  
14029 YONGE ST. Aurora ON L4G 0P1

DWG NO.

5A

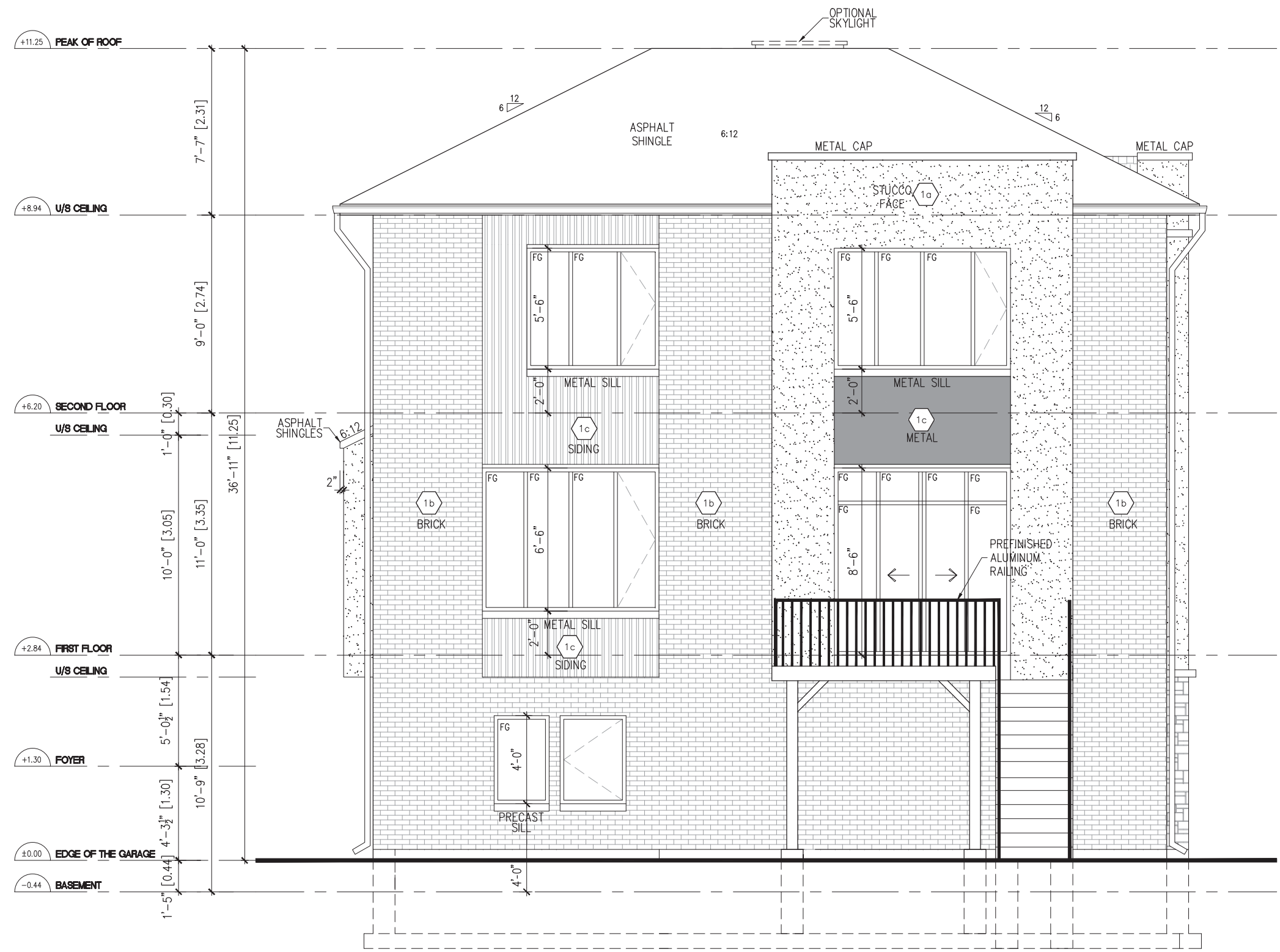
18"x24" SHEET SIZE

DESIGN



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NORTH

PROJ./REV. NO.  
USG 16-198

SHEET TITLE  
REAR ELEVATION  
SCALE: 3/16"=1'-0"

PROJECT  
DORMER HILL 50-05 CORNER  
14029 YONGE ST. Aurora ON L4G 0P1

DWG NO.

6A

18"x24" SHEET SIZE

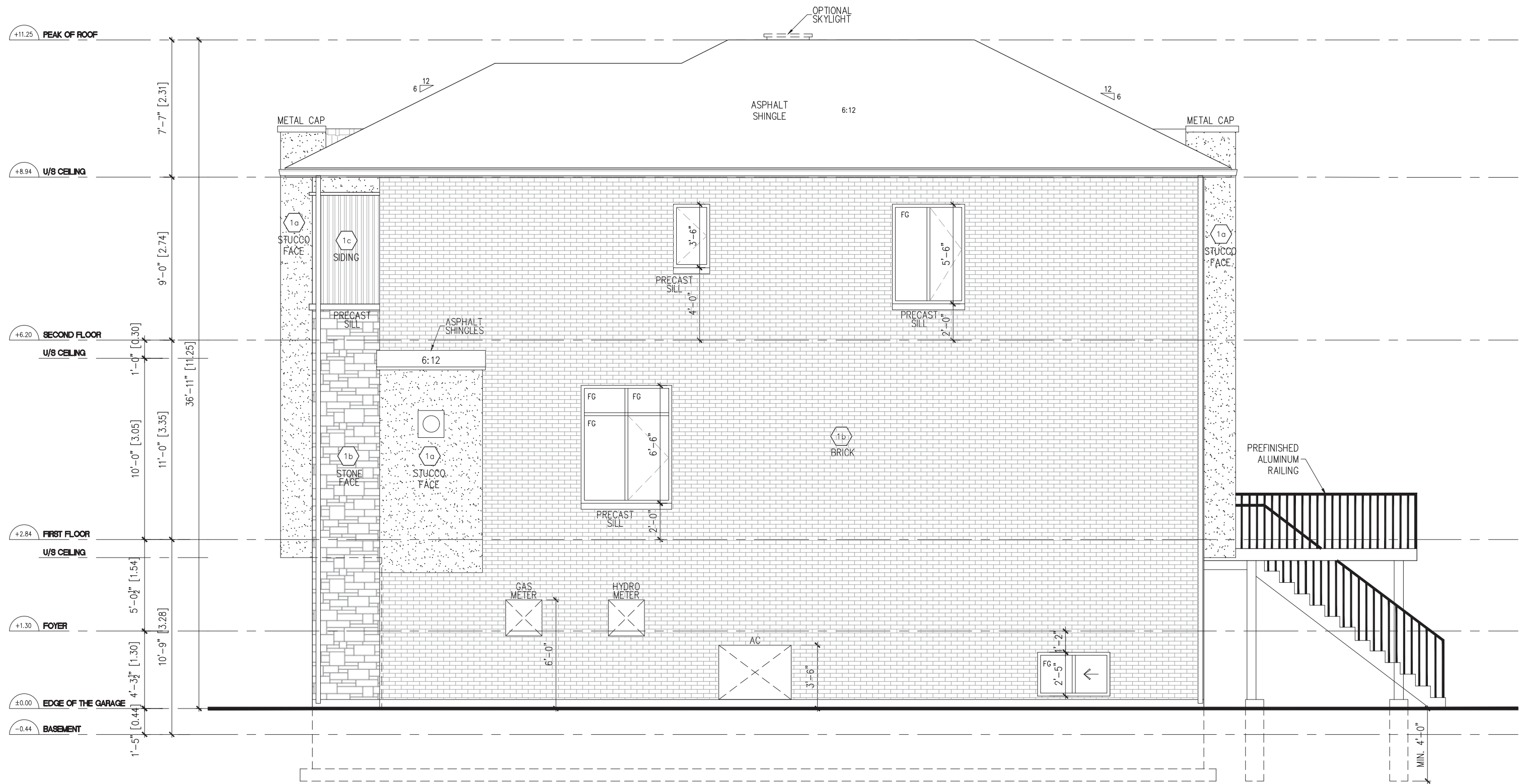
DESIGN



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UNPROTECTED OPENING	
WALL AREA	1516.00
ALLOWABLE WINDOW AREA @ 7%	106.11
ACTUAL WINDOW AREA	76.70

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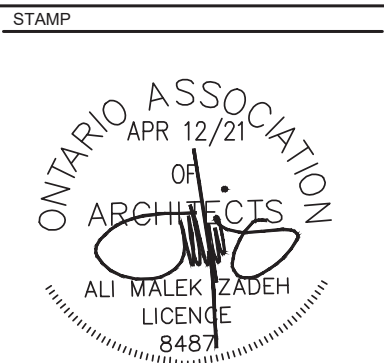
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NORTH

PROJ./REV. NO.  
USG 16-198

SHEET TITLE  
RIGHT SIDE ELEVATION  
SCALE: 3/16"=1'-0"

PROJECT  
DORMER HILL 50-05 CORNER  
14029 YONGE ST. Aurora ON L4G OP1

DWG NO.

7A

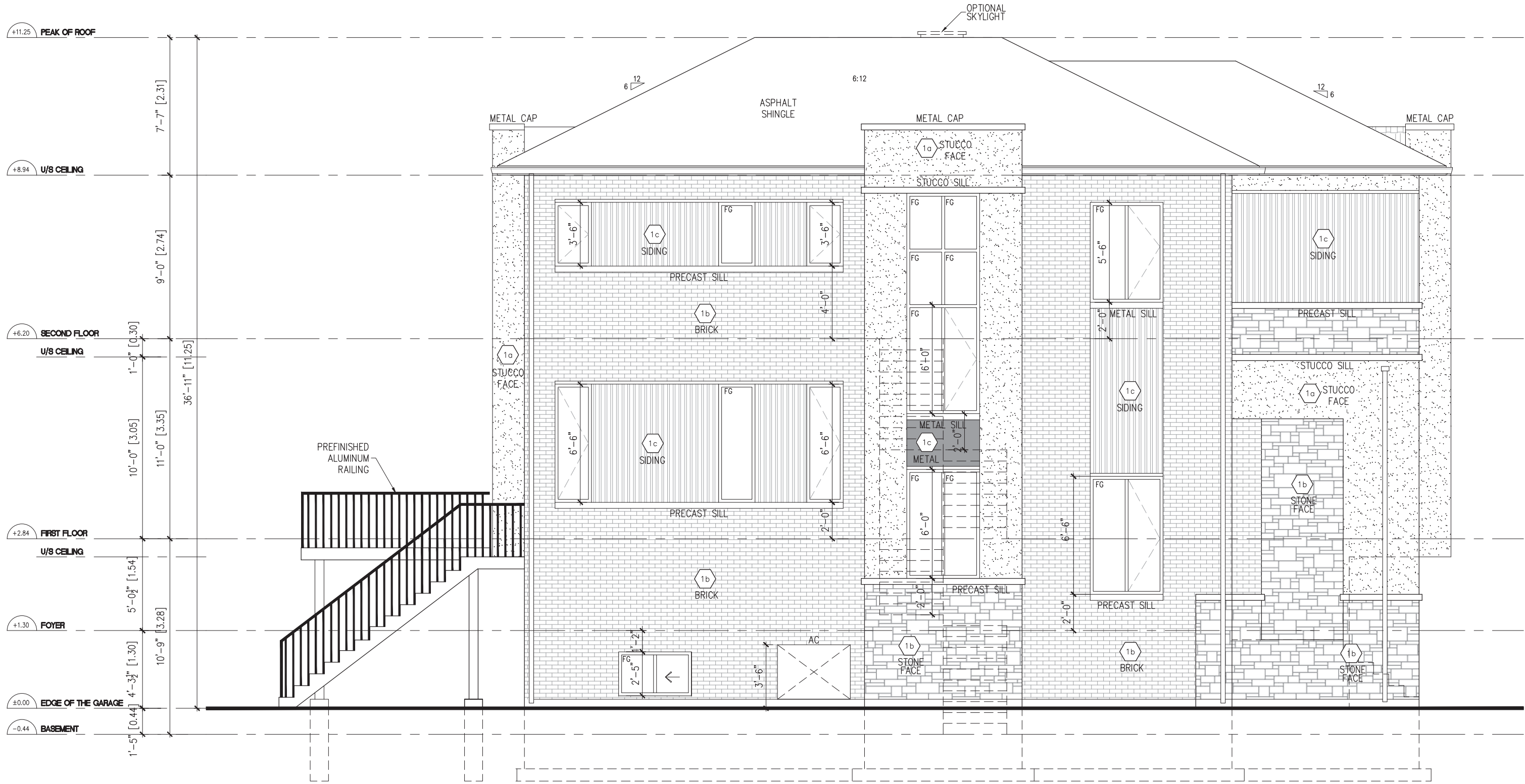
18"x24" SHEET SIZE

DESIGN



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NORTH

PROJ./REV. NO.  
USG 16-198

SHEET TITLE  
LEFT SIDE ELEVATION  
SCALE: 3/16"=1'-0"

PROJECT  
DORMER HILL 50-05 CORNER  
14029 YONGE ST. Aurora ON L4G 0P1

DWG NO.

8A

18"x24" SHEET SIZE

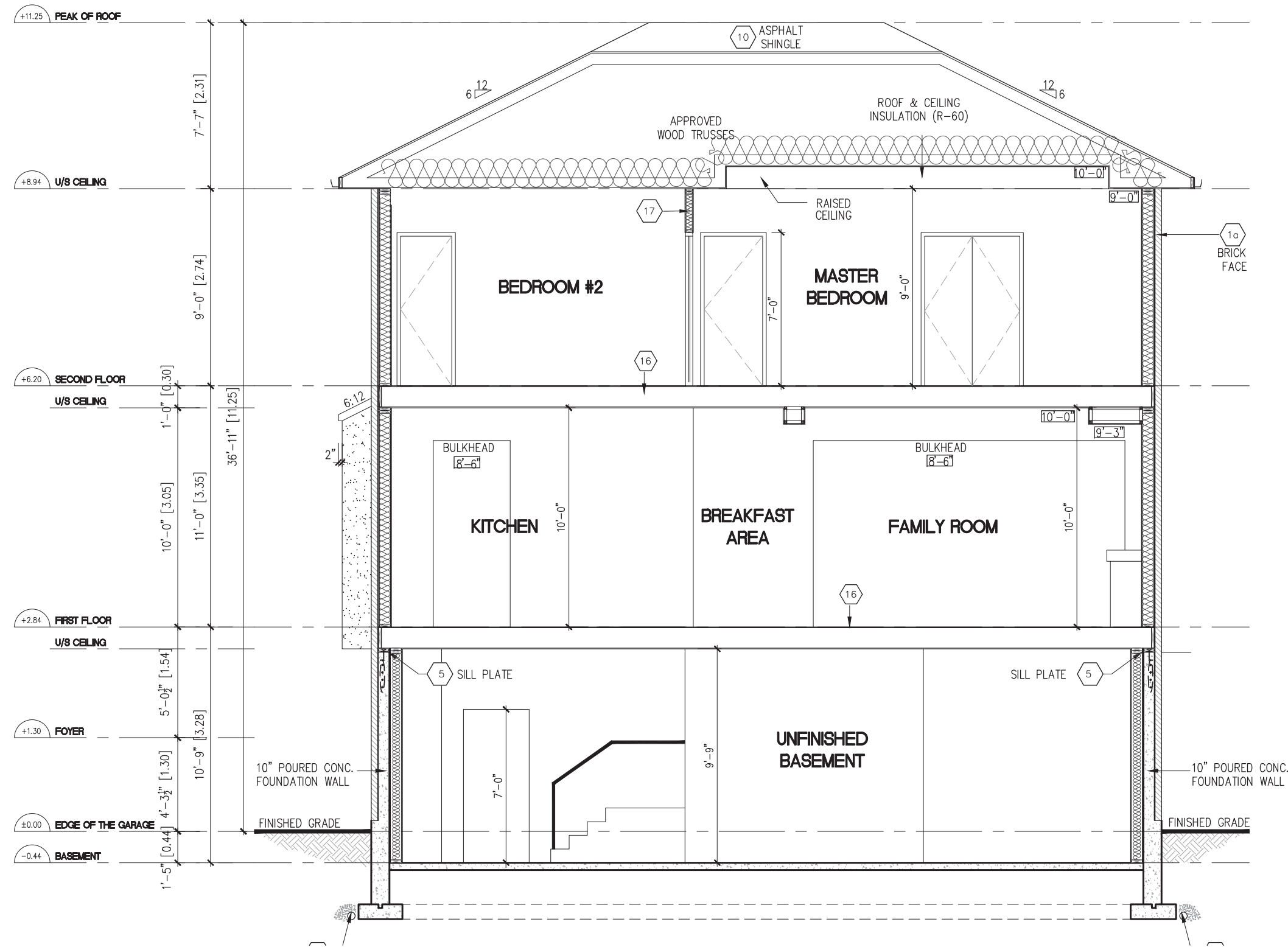
DESIGN



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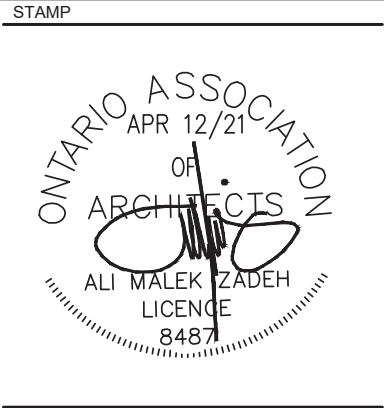




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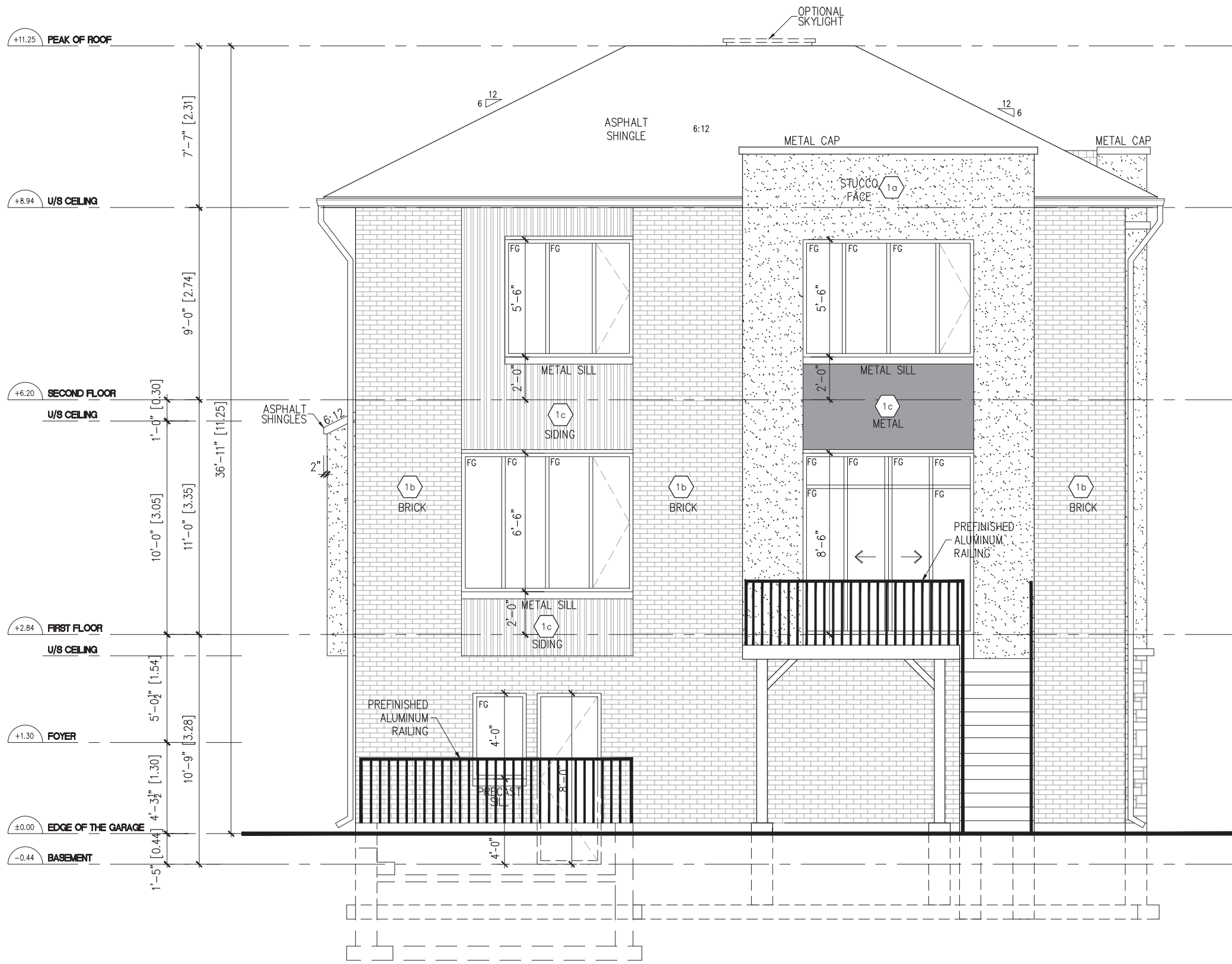
NORTH

PROJ./REV. NO. USG 16-198	DWG NO.  9A
SHEET TITLE BUILDING SECTION SCALE: 3/16"=1'-0"	18"x24" SHEET SIZE
PROJECT DORMER HILL 50-05 CORNER 14029 YONGE ST. Aurora ON L4G OP1	



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info@urbanscaarchitect.com | www.urbanscapearchitect.com





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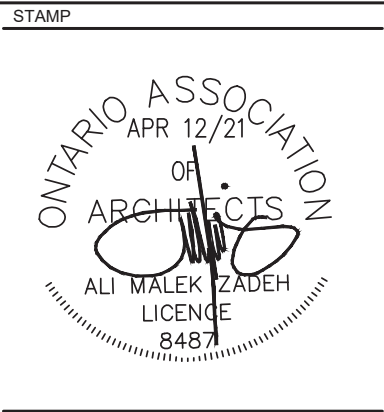
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NORTH

PROJ./REV. NO.  
USG 16-198

SHEET TITLE  
REAR ELEVATION W/ WALKUP  
SCALE: 3/16"=1'-0"

PROJECT  
DORMER HILL 50-05 CORNER  
14029 YONGE ST. Aurora ON L4G 0P1

DWG NO.

11A

18"x24" SHEET SIZE

DESIGN



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phone: 416.850.0021

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JOHN G. WILLIAMS LTD., ARCHITECT  
ARCHITECTURAL CONTROL REVIEW  
AND APPROVAL

APPROVED BY: [Signature]  
DATE: JUN 23, 2021

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TYPICAL BASEMENT FLOOR PLAN NOTES  
 PROVIDE FULL HEIGHT 10" CONC. FOUNDATION WALLS  
 WHERE SOIL HEIGHT EXCEEDS 4'-7" TYP. UNLESS NOTED  
 OTHERWISE  
 ALL DECK FRAMING TO BE P.T. UNLESS NOTED OTHERWISE



SWS#20224  
STRUCTURAL ONLY

NO.	DATE	REVISION DESCRIPTION	NOTE
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ONTARIO ASSOCIATION  
 JUN 15/21  
 OF  
 ARCHITECTS  
 ALI MALEK ZADEH  
 LICENCE  
 8487

NORTH

SHEET TITLE  
PARTIAL BASEMENT & FIRST FLOOR PLANS W/ LOOKOUT  
SCALE: 3/16"=1'-0"

PROJECT  
DORMER HILL 50-05  
14029 YONGE ST. Aurora ON L4G 0P1

12A

18"x24" SHEET SIZE

DESIGN



URBANSCAPE  
ARCHITECTS

236 LESMILL ROAD, TORONTO , ON, M3B 2T5  
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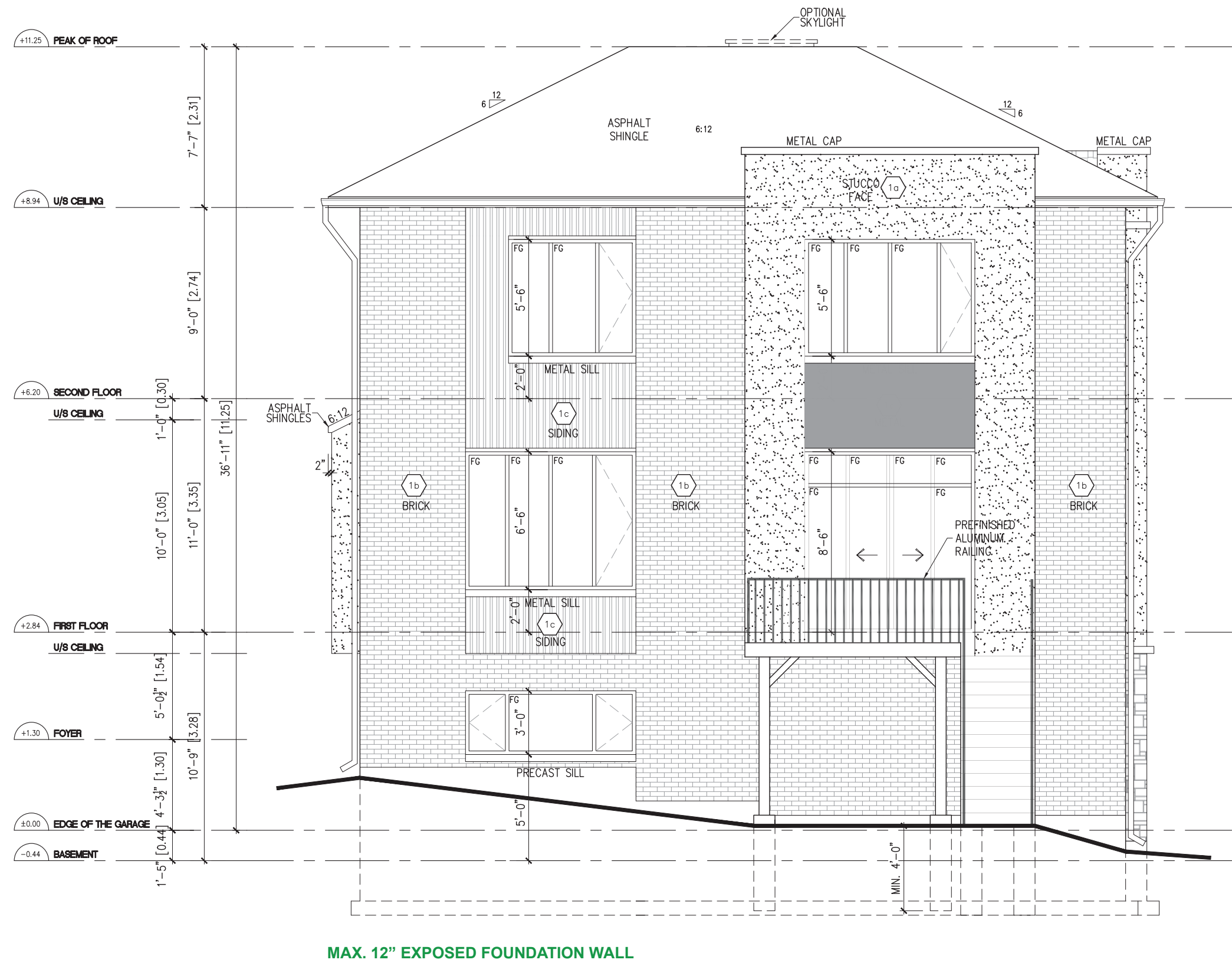
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THIS IS TO CERTIFY THAT THESE PLANS COMPLY WITH THE APPLICABLE ARCHITECTURAL DESIGN GUIDELINES APPROVED BY THE TOWN OF AURORA.

JOHN G. WILLIAMS LTD., ARCHITECT  
ARCHITECTURAL CONTROL REVIEW  
AND APPROVAL

APPROVED BY:   
DATE: JUN 23 2021

This stamp certifies compliance with the applicable Design Guidelines only and bears no further professional responsibility.



NO.	DATE	REVISION DESCRIPTION	NOTE
1	2021-06-15	ISSUED FOR PERMIT	CITY

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PROJ./REV. NO.  
**USG 16-198**

SHEET TITLE  
**REAR ELEVATION W/ LOOKOUT**  
SCALE: 3/16"=1'-0"

PROJECT  
**DORMER HILL 50-05**  
14029 YONGE ST. Aurora ON L4G OP1

DWG NO.  
**13A**

18"x24" SHEET SIZE

DESIGN



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CONSTRUCTION NOTES

To apply unless noted otherwise on the drawings

1. EXTERIOR WALLS

- (Select cladding system from below)
- 5/8" exterior type sheathing. Lumber, plywood, OSB or gypsum sheathing
- 2x6" wood studs @ 16" o.c.
  - All Lumber shall be spruce-pine-fir No. 1 & 2, and shall be identified by a grade stamp.
- Maximum moisture content 19% at time of installation
- Wood framing members which are supported on concrete in direct contact with soil shall be separated from the concrete with 6 mil polyethylene or type 'S' roll roofing.
- R-22-27 batt insulation in continuous contact w/ exterior sheathing (Refer to SB-12 2.1.1.2.A for details)
- Continuous air / vapour barrier
- 1/2" interior drywall finish
- 2" x 6" double top plate
- 2" x 6" single bottom plate

1a. STUCCO FINISH WALL

- ½" stucco finish
- 1 ½" polystyrene insulation
- Channeled insulation adhesive
- Blue shield – Air barrier system lapped 4" at joints
- Stucco lath or reinforcing shall be used to attach stucco to any substrate other than masonry
- Stucco shall be not less than 200 mm above finished ground level except when it is applied over concrete or masonry.

1b. BRICK/STONE VENEER WALL

- Minimum 2 3/4" thick if joints are not raked and 3 1/2" thick if joints are raked
- Minimum 1" air space to sheathing
- Provide weep holes @ 31 1/2" o.c. at the bottom of the cavity and over doors and windows.
- Direct drainage through weep holes with 0.5 mm poly flashing extending minimum 6" up behind the sheathing paper.
- Veneer ties minimum 0.030" thick x 7/8" wide corrosion resistant straps spaced @ 19 5/8" vertically and 23 5/8" horizontally.
- Fasten ties with corrosion resistant 0.125" diameter screws or spiral nails which penetrate at least 1-3/16" into studs.

Masonry Walls

- Where constructed of 3 1/2" brick, wall shall be bonded with header course every 23 5/8" o/c vertically and horizontally and 35 3/8" o/c for block or tile.
- Provide 2" solid masonry, concrete filled top course or continuous 1 ½" x 3 ½" wood plate under all roof and floor framing members.
- Provide 7 ½" solid masonry under beams and columns.
- Masonry fire wall to be tied to each tier of joists with 1 9/16" x 3/16" corrosion resistant steel straps, keyed minimum 4" into masonry. When joists are parallel to wall, ties are to extend across at least 3 joists @ 6'-7" o.c.
- Inside of wall to be parged and covered with No. 15 breather-type asphalt paper.
- For reduced foundation walls to allow a brick facing while maintaining lateral support, tie minimum 3 ½" brick to minimum 3 ½" back-up block with corrosion resistant ties at least 0.028 in/in cross sectional area, spaced 7 7/8" vertically and 35 3/8" horizontally, with collar joists completely filled with mortar.
- Masonry over openings shall be supported on corrosion resistant or prime painted steel lintels with a minimum of 6" end bearing.

1c. SIDING VENEER WALL

- Aluminum/Vinyl or wood siding
- Blue shield – Air barrier system lapped 4" at joints

1d. EXISTING BRICK W/ STUCCO VENEER

- ½" stucco finish
- 1 ½" polystyrene insulation
- Channeled insulation adhesive
- Blue shield – Air barrier system lapped 4" at joints
- Existing brick veneer

EXTERIOR DOORS AND WINDOWS

- Every floor level containing a bedroom and not served by an exterior door shall contain at least 1 window having an unobstructed open area of 3.8 ft<sup>2</sup> and no dimension less than 15", which is open able from the inside without tools.
- Exterior house doors and windows within 6" 7" from grade shall be constructed to resist forced entry. Doors shall have a deadbolt lock.
- The principal entry door shall have either a door viewer, transparent glazing or a sidelight
- Exterior Walls
- No windows or other unprotected openings are permitted in exterior walls less than 3' 11" from property lines.
- 5/8" fire rated drywall shall be installed on the inside face of attached garage exterior walls and gable ends of roofs which are less than 3' 11" from property lines.
- Non combustible cladding shall be installed on all exterior walls less than 23 5/8" from property lines.

2. FOUNDATION WALL / FOOTING

- 15mpa (2200 psi) poured conc. foundation wall on continuous keyed concrete footing. the outside of the foundation shall be damproofed from the top of the footing to finished grade and brush coat from the top to 2" below grade. provide a drainage layer on the outside of the foundation wall. seal the drainage layer at the top. the top of the concrete footing shall be damproofed.
- Concrete footings supporting joist spans greater than 16'-1" (4900) shall be sized in accordance with 9.15.3.4 (1),(2) of the o.b.c. (refer to chart below for respective size). Brace foundation wall prior to backfilling. all footings shall rest on natural undisturbed soil or compacted engineered fill, with min. Bearing capacity of 150kpa or greater. If soil bearing does not meet minimum capacity, engineered footings are required.
- Refer to construction drawings and details for foundation wall strength and thickness and 9.15.4.
- Foundation walls shall not exceed 8'-2" (2.5m) in unsupported height unless otherwise noted. (9.15.4.2.1)

MINIMUM FOOTING SIZES FOR EXTERIOR WALLS (9.15.3.4.)			
NUMBER FLOORS SUPPORTED	EXTERIOR CLADDING		
	SIDING ONLY	MASONRY VENEER	
1	16" WIDE x6" DEEP	16" WIDE x6" DEEP	
2	16" WIDE x6" DEEP	20" WIDE x6" DEEP	
3	16" WIDE x9" DEEP	20" WIDE x9" DEEP	

MINIMUM FOOTING SIZES FOR INTERIOR WALLS (9.15.3.4.)			
NUMBER FLOORS SUPPORTED	INTERIOR LOAD BEARING WALL		
	PARTY WALL	MASONRY	
1	16" WIDE x6" DEEP	16" WIDE x6" DEEP	
2	24" WIDE x8" DEEP	24" WIDE x8" DEEP	
3	36" WIDE x14" DEEP	36" WIDE x14" DEEP	

THICKNESS OF SOLID CONCRETE FOUNDATION WALLS (9.15.4.2.)			
TYPE OF FOUNDATION	MAX. HEIGHT FROM SLAB TO GRADE		
STRENGTH	THICKNESS	UNSUPPORTED AT TOP	SUPPORTED AT TOP
15 MPa	8"	3'-11" (1.2m)	6'-11" (2.15m)
	10"	4'-7" (1.4m)	7'-7" (2.3m)
	12"	4'-11" (1.5m)	7'-7" (2.3m)
20 MPa	8"	3'-11" (1.2m)	7'-7" (2.3m)
	10"	4'-7" (1.4m)	7'-7" (2.3m)
	12"	4'-11" (1.5m)	7'-7" (2.3m)

3. STEP FOOTINGS

Vertical Rise  
23 5/8" Max. for firm soils  
15 3/4" Max. for sand or gravel  
Horizontal Run = 23 5/8" Min.

4. GRADE AT HOUSE

Slope grade away from building face. Provide semi-solid block course at or below grade.

5. SILL PLATE

2"x6" sill plate fastened to foundation wall with min. 1/2" dia. anchor bolts, embedded min. 4" in concrete @ max. 7'-10" o/c. Provide caulking or gasket between plate & foundation wall.

6. FLOOR INSULATION

Continuous header joist with R-31 batt. insulation, extend air / vapour barrier & seal to joist and subfloor.

7. MINIMUM FOUNDATION INSULATION

- 1st layer: r10ci (continuous 2" thick rigid insulation ) along concrete wall.
- 2nd layer: r12 batt insulation between 2x4 wood strapping @ 16" o/c. wood studs to be fastened to top and bottom plates.
- 6 mil polyethylene air/vapour barrier full height.

8. CONCRETE FLOOR SLAB

- Garage, carport and exterior slabs and exterior steps shall be 4650psi concrete with 5-8% air entrainment
- Other slabs 3600psi concrete
- Minimum 3" thick, placed on a minimum 4" of coarse, clean, granular material
- Minimum 2" rigid insulation with R10 thermal value beneath the concrete slab
- All fill other than coarse clean material placed beneath concrete slabs shall be compacted to provide uniform support

9. DAMP PROOFING AND DRAINAGE

- In normal soil conditions, the exterior surfaces of foundation walls enclosing basements and crawl spaces shall be damp proofed. Where hydrostatic pressure occurs, a waterproofing system is required.
- Masonry foundation walls shall be parged with 1/4" of mortar coved over the footing prior to damp proofing.
- 4" foundation drains shall be laid on level, undisturbed ground adjacent to the footings at or below the top of the basement slab or crawl space floor, and shall be covered with 6" of crushed stone. Foundation drains shall drain to a storm sewer, drainage ditch, dry well or sump.
- Window wells shall be drained to the footing
- Downspouts not directly connected to a storm sewer shall have extensions to carry water away from the building, and provisions shall be made to prevent soil erosion.
- Concrete slabs in attached garages shall be sloped to drain to the exterior.
- The building site shall be graded so that surface, sump and roof drainage will not accumulate at or near the building and will not adversely affect adjacent properties.

10. ROOF CONSTRUCTION

- Fasteners for roofing shall be corrosion resistant. Roofing nails shall penetrate through or at least 1/2" into roof sheathing.
- Every asphalt shingle shall be fastened with at least 4 nails.
- Open valleys shall be flashed with 2 layers of roll roofing, or 1 layer of sheet metal min. 3'11" wide.
- Flashing shall be provided at the intersection of shingle roofs with exterior walls and chimneys
- Sheet metal flashing shall consist of not less than 1/16" sheet lead, 0.013" galvanized steel, 0.018" copper, 0.018" zinc, or 0.019" aluminum.
- Hip and valley rafter shall be 2" deeper than common rafters.
- 2x4" collar ties @ rafter spacing with 1x4" continuous brace at mid span if collar tie exceeds 7' 10" in length.
- 20 years asphalt shingles on min. 3/8" exterior plywood sheathing, on approved roof trusses or conventional framing (see Structural).
- Notching & Drilling of Trusses, Joists, Rafters
- Holes in floor, roof and ceiling members to be maximum ¼" x actual depth of member and not less than 2" from edges.
- Notches in floor, roof and ceiling members to be located on top of the member within ½ the actual depth from the edge of bearing and not greater than 1/3 joist depth.
- Wall studs may be notched or drilled provided that no less than 2/3 the depth of the stud remains, if load bearing, and 1 9/16" if non-load bearing.
- Roof truss members shall not be notched, drilled or weakened unless accommodated in the design.

11. OVERHANG CONSTRUCTION

Prefinished aluminum fascia, eaves trough and rain water leaders to match existing finishes. Provide drip edge at fascia and vented soffit. Extend downspouts to grade level.

12. ROOF VENTILATION

- Every roof space above an insulated ceiling shall:
- be ventilated with unobstructed openings equal to not less than 1/300 of insulated area.
- Insulated roof spaces not incorporating an attic shall be ventilated with unobstructed openings equal to not less than 1/150 of insulated area.
- Roof vents shall be uniformly distributed with min. 25% at top of the space and 25% at bottom of the space designed to prevent the entry of rain, snow or insects.
- Unheated crawl spaces shall be provided with 1.1 ft<sup>2</sup> of ventilation for each 538 ft<sup>2</sup>
- Minimum natural ventilation areas, where mechanical ventilation is not provided, are:

Bathrooms: 0.97, ft<sup>2</sup>  
other rooms: 3 ft<sup>2</sup>  
Unfinished basement: 0.2% of floor area

13. EAVES PROTECTION

- Eave protection shall extend 2' 11" up the roof slope from the edge, and at least 11 3/4" from the inside face of the exterior wall, and shall consist of Type M or Type S Roll Roofing laid with minimum 4" head and end laps cemented together, or glass fiber or Polyester fiber coated base sheets, or self sealing composite membranes consisting of modified bituminous coated material or No. 15 saturated felt lapped and cemented. Eave protection is not required for unheated buildings, for roofs exceeding a slope of 1 in 5, or where a low slope asphalt shingle application is provided.

14. CEILING CONSTRUCTION

- See structural drawings for rafter, roof joist and ceiling joist size and spacing requirements.
- 1/2" interior drywall finish with continuous air / vapor barrier with min. R50 batt insulation.

15. WALL/CEILING INSULATION

- Ceiling with attic R-60
- Ceiling without attic R-31
- Exposed Floor R-31

- Exterior wall above grade R-22
- Basement wall R-20ci
- Foundation > 50% Exposed R-20
- Slabs on Grade R-10
- Supply Ducts in unheated space R-12

[Refer to SB-12 Table 3.1.1.2.A(P) for details]

- Insulation shall be protected with gypsum board or an equivalent interior finish, except for unfinished basements where 6 mil poly is sufficient for fiberglass type insulations.
- Ducts passing through unheated space shall be made airtight with tape or sealant.
- Caulking shall be provided for all exterior doors and windows between the frame and the exterior cladding.
- Weather-stripping shall be provided on all doors and access hatches to the exterior, except doors from a garage to the exterior.
- Exterior walls, ceilings and floors shall be constructed so as to provide a continuous barrier to the passage of water vapor from the interior and to the leakage of air from the exterior.

16. FLOOR CONSTRUCTION

- See structural drawings for floor joist size and spacing requirements
- Joists to have minimum 1 1/2" of end bearing (1 3/4" for wood)
- Joists shall bear on a sill plate fixed to foundation with 1/2" anchor bolts @ 7' 10" o.c.
- Header joists between 3' 11" and 10' 6" in length shall be doubled. Header joists exceeding 10' 6" shall be sized by calculations.
- Trimmer joists shall be doubled when supported header is between 2' 7" and 6' 7". Trimmer joists shall be sized by calculations when supported header exceeds 6' 7".
- 2x2" cross bridging required not more than 6' 11" from each support and from other rows of bridging
- Joists shall be supported on joist hangers at all flush beams, trimmers, and headers.
- Non-load bearing partitions shall be supported on a joist or on blocking between joists

Ceramic Tiles

- When ceramic tile applied to a mortar bed with adhesive, the bed shall be a minimum of 1/2" thick & reinforced with galvanized diamond mesh lath, applied over polyethylene on subflooring on joists at no more than 16" o.c. with at least 2 rows cross bridging.

17. INTERIOR STUD PARTITION

Interior load bearing walls shall consist of:

- 2" x 6" studs @ 16" o.c.
- 2" x 4" bottom plate and double 2" x 4" top plate, provide sound attenuation in bathroom walls and where indicated on drawings.
- 2" x 4" mid-girts if not sheathed
- ½" gypsum board sheathing
- Columns, Beams & Lintels
- Steel beams and columns shall be shop primed.
- Minimum 3 1/2" end bearing for wood and steel beams, with 7 7/8" solid masonry beneath the beam.
- Steel columns to have minimum outside diameter of 2 7/8" and minimum wall thickness of 3/16"
- Wood columns for carports and garages shall be minimum 3 1/2" x 3 1/2"; in all other cases either 5 1/2" x 5 1/2" or 7 1/4" round, unless calculations based on actual loads show lesser sizes are adequate. All columns shall be not less than the width of the supported member
- Masonry columns shall be a minimum of 11 3/8" x 11 3/8" or 9 1/2" x 15"
- Provide solid blocking the full width of the supported member under all concentrated loads.
- Plumbing
- Every dwelling requires a kitchen sink, lavatory, water closet, bathtub or shower stall and the installation or availability of laundry facilities.
- A floor drain shall be installed in the basement, and connected to the sanitary sewer where gravity drainage is possible. In other cases, it shall be connected to a storm drainage system, ditch or dry well.
- Electrical
- An exterior light controlled by an interior switch is required at every entrance
- A light controlled by a switch is required in every kitchen, bedroom, living room, utility room, laundry room, dining room, bathroom, vestibule, hallway, garage and carport. A switched receptacle may be provided instead of a light in bedrooms and living rooms
- Stairs shall be lighted, and except where serving an unfinished basement shall be controlled by a 3 way switch at the head and foot of the stairs.
- Basements require a light for each 323ft<sup>2</sup> controlled by a switch at the head of the stairs.

18. MECHANICAL VENTILATION

- A mechanical ventilation system is required with a total capacity at least equal to the sum of:  
21.2 cfm each for basement and master bedroom  
10.6 cfm for each other room
- A principal dwelling exhaust fan shall be installed and controlled by a centrally located switch identified as such
- Supplemental exhaust shall be installed so that the total capacity of all kitchens, bathroom and other exhausts, less the principal exhaust, is not less than the total required capacity.
- A Heat Recovery Ventilator may be employed in lieu of exhaust to provide ventilation. An HRV is required if any solid fuel burning appliances are installed.
- Supply air intakes shall be located so as to avoid contamination from exhaust outlets.

19. STAIRS INTERIOR/EXTERIOR

Maximum rise = 7 7/8"  
Minimum rise = 4 7/8"  
Minimum run = 8 1/4"  
Maximum run = 14"  
Minimum tread = 9 1/4"  
Maximum tread = 14"  
Maximum nosing = 1"  
Minimum width = 2'-10"  
Minimum headroom = 6'-5"

- Curved stairs shall have a min. run of 5 7/8" at any point and a minimum average run of 7 7/8"
- Winders which converge to a point in stairs must turn through an angle of no more than 90° with no less than 30° or more than 45° per tread. Sets of winders must be separated by 3' 11" along the run of the stair.
- A landing is required at the top of any stair leading to the principal entrance to a dwelling and other exterior entrances with more than 3 risers.
- Exterior concrete stairs with more than 2 risers require foundations.
- 

20. GUARDS (O.B.C. 9.8.8)

Interior landings = 2'-11"  
Exterior balcony = 3'-6"  
Interior stairs = 2'-11"  
Exterior stairs = 2'-11"  
Max. between pickets = 4"  
Guard height if deck to grade is:  
Greater than 5'-11" = 3'-6"  
5'-11" or less = 2'-11"

- No member or attachment between 4" and 2'-11" high shall facilitate climbing
- A handrail is required for interior stairs containing more than 2 risers and exterior stairs containing more than 3 risers.

- Guards are required around every accessible surface which is more than 23 5/8" above the adjacent level and where the adjacent surface has a slope more than 1:2

21. ATTIC ACCESS

- Access hatch to have a minimum area of 3.4 ft<sup>2</sup> with no dimension less than 21-1/2". Must be provided to every crawl space and every roof space which is 108 ft<sup>2</sup>, 3' 3" in length or width and more than 23 5/8" in height.

22. SMOKE ALARM

- At least one smoke alarm shall be installed on or near the ceiling on each storey and basement level and in each sleeping room.
- Smoke alarms shall be interconnected and located between sleeping room and the remainder of the storey, in accordance with OBC. 9.10.19.
- A smoke alarm required in Sentence (1) shall have a visual signaling component conforming to the requirements in 18.5.3. (Light, Color and Pulse Characteristics) of NFPA 72, National Fire Alarm and Signaling Code"

23. CARBON MONOXIDE DETECTOR

- A carbon monoxide detector shall be installed adjacent to every sleeping area for dwellings with fuel burning fireplace or stove, or an attached garage
- Provide detector conforming to CAN/CGA-6.19 or UL 2034. Install not more than 12" above finished floor close to possible source of CO.
- Garage Gas proofing
- The walls and ceiling of an attached garage shall be constructed and sealed so as to provide an effective barrier to exhaust fumes.
- All plumbing and other penetrations through the walls and ceiling shall be caulked
- Doors between the dwelling and attached garage may not open into a bedroom and shall be weather-stripped and have a self-closer.

24. ZERO-CLEARANCE FIREPLACE

Install as per manufacturer's specifications.

25. EXCAVATION AND BACKFILL

- Excavation shall be undertaken in such a manner so as to prevent damage to existing structures, adjacent property and utilities.
- The topsoil and vegetable matter in unexcavated areas under a building shall be removed. The bottom of excavations for foundations shall be free of all organic material.
- If termites are known to exist, all stumps, roots and wood debris shall be removed to a minimum depth of 11 3/4" in excavated areas under a building, and the clearance between untreated structural wood elements and the ground shall be no less than 17 3/4"
- Backfill within 23 5/8" of the foundation walls shall be free of deleterious debris and boulders over 9 7/8" in diameter.

26. ADJUSTABLE STEEL BASEMENT COLUMN

9'-10" Max span between columns. 3 ½"(90)Ø single tube adjustable steel column conforming to CAN/CSG8-7.2m, and with 6x6x¾"(150x150x9.5) steel plate top & bottom. Field weld basement column connection. Footing on undisturbed soil of 75 kpa or engineered fill capable of sustaining a pressure of 150kpa minimum and as per soils report.  
Supporting 2 storey flr. load provide 34"x34"x16" (870x870x410) conc. footing  
Supporting 3 storey flr. load provide 40"x40"x19" (1060x1060x480) conc. footing

26A. NON-ADJUSTABLE STEEL BASEMENT COLUMN

3 1/2" (90)Ø x 0.188" (4.78) non-adjustable steel column with 6"x6"x3/8" (150x150x9.5) steel plate top & bottom. field weld basement column connection. 42"x42"x18" (1070x1070x460) conc. footing on undisturbed soil of 75 kpa or engineered fill capable of sustaining a pressure of 150 kpa minimum and as per soils report.  
supporting 2 storey flr. load provide 42"x42"x18" (1070x1070x460) conc. footing  
supporting 3 storey flr. load provide 48"x48"x24" (1220x1220x610) conc. footing

26B. NON-ADJUSTABLE STEEL COLUMN AT FOUNDATION WALL

3 1/2" (90)Ø x 0.188" (4.78) non-adjustable steel column with 6"x6"x3/8" (150x150x9.5) steel top plate & 6"x4"x3/8" (150x100x9.5) bottom plate. base plate 4-1/2"x10"x1/2" (120x250x12.7) with 2- 1/2"Ø x 12" long x 2" hook anchors (2- 12.7Øx305x50). field weld column to base plate and steel beam.

27. BUILT-UP WOOD POST & FOOTING

3-2"x6" (3-38x140) built-up wood post (unless otherwise noted) on metal base shoe anchored to conc. with 1/2" (12.7) Ø bolt, 24"x24"x12" (610x610x305) conc. footing. (9.17.4.1.)

28. TWO STORY VOLUME SPACES

- For wind loads <= 0.5 kpa (q50): for a max. 18'-4" (5600) height. Provide 2-2"x6" (2-38x140) spr.#2 continuous studs @ 12" (300) o.c. for brick and 16" (400) o.c. for siding c/w 3/8" (9.5) thick exterior plywood sheathing. provide solid wood blocking between wood studs @ 4'-0" (1200) o.c. vertically. (9.23.10.1.)
- For wind loads > 0.5 kpa (q50): for a maximum 18'-4" (5600) height. Provide 2-2"x6" (2-38x140) spr.#2 continuous studs @ 8" (200) o.c. For brick and 12" (300) o.c. For siding c/w 3/8" (9.5) thick exterior plywood sheathing. Provide solid wood blocking between wood studs @ 4'-0" (1200) o.c. vertically.
- For wind loads <= 0.5 kpa (q50): for a max. 21'-0" (6400) height. provide 2-2"x8" (2-38x184) spr.#2 continuous studs @ 12" (300) o.c. for brick and 16" (400) o.c. for siding c/w 3/8" (9.5) thick exterior plywood sheathing. provide solid wood blocking between wood studs @ 4'-0" (1200) o.c. vertically. (9.23.10.1.) – for wind loads > 0.5 kpa (q50): for a maximum 21'-0" (6400) height. provide 2-2"x8" (2-38x184) spr.#2 continuous studs @ 12" (300) o.c. for brick and 16" (400) o.c. for siding c/w 3/8" (9.5) thick exterior plywood sheathing. provide solid wood blocking between wood studs @ 4'-0" (1200) o.c. vertically.
- For horizontal distances less than 9'-6" (2900) provide 2"x6" (38x140) studs @ 16" (400) o.c. with continuous 2-2"x6" (2-38x140) top plate + 1-2"x6" (1-38x140) bottom plate & minimum of 3-2"x8" (3-38x184) cont. header at ground floor ceiling level toe-nailed & glued at top, bottom plates & headers.

29. UNSUPPORTED FOUNDATION WALLS

REINFORCING AT STAIRS AND SUNKEN FLOOR AREAS

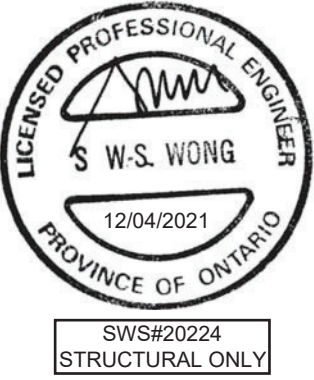
2-20m bars in top portion of wall (up to 8'-0" opening)  
3-20m bars in top portion of wall (8'-0" to 10'-0" opening)  
4-20m bars in top portion of wall (10'-0" to 15'-0" opening)  
– Bars stacked vertically at interior face of wall

REINFORCING AT BASEMENT WINDOWS

2-15m horiz. reinforcing on the inside and outside face of the foundation wall below the window sill. extend bars 24" (600) beyond the opening. 2-15m vertical reinforcing on the inside and outside face of the foundation wall on each side of the window opening.  
– bars to have min. 2" (50) conc. cover  
– bars to extend 2'-0" (600) beyond both sides of opening

30. COLD CELLAR PORCH SLAB

For max. 8'-2" (2500) porch depth, 5" (125) 32 mpa (4640psi) conc. slab with 5-8% air entrainment. rein. with 10m bars @ 7 7/8" (200) o.c. each dir. w/ 1 1/4" (30) clear cover from bottom of slab to first layer of bars, and second layer of bars laid directly on top of lower layer in opposite dir. 24"x24" (610x610) 10m dowels @ 23 5/8" (600) o.c., anchored in perimeter foundation walls. slope slab 1.0% from door. (9.40.)



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PROJ./REV. NO





November 10, 2021

Committee of Adjustment  
 Town of Aurora  
 100 John West Way, Box 1000  
 Aurora, Ontario  
 L4G 6J1

Attn: Brashanth Manoharan

Dear Ms. Manoharan.

RE: Application for Minor Variance  
 Lots 1 and 23, Plan 65M-4704  
 Dormlind Developments Limited  
 Town of Aurora

Evans Planning Inc. acts on behalf of Dormlind Developments Limited ('Dormlind'), the owner of properties legally described as 'Lot 1, Plan 65M-4074' and 'Lot 23, Plan 65M-4074' in the Town of Aurora (the 'subject land'). The subject lands are located west of Yonge Street, north of Hunter's Glen Road/Elderberry Trail. Dormlind has previously obtained approval of Official Plan and Zoning By-law Amendments, as well as a Draft Plan of Subdivision (since registered), Draft Plan of Condominium, and Site Plan Control applications establishing a land-use framework for the redevelopment their lands previously municipally known as 14029 Yonge Street. In particular Official Plan Amendment No. 18 establishing Site Specific Policy No. 49 was enacted by the Town through By-law 6110-18. Further, a Zoning framework for the lands were established through the approval of Zoning By-law Amendment 6111-18 in July 2018.

The proposed redevelopment of the lands consists of 27 single detached dwellings of common element condominium tenure, accessed by two privately owned laneways extending from Yonge Street – Royal Hill Court and Kingwood Lane. Under future conditions, it is anticipated that Kingwood Lane will extend northwards facilitating a connection in the event of the future development of the adjacent property. The Draft Plan of Subdivision to create the lot fabric for the proposed development was Registered as Plan 65M-4704 on August 20, 2021.

On behalf of our client, we herewith submit for the Committee of Adjustment's consideration applications for Minor Variance approval for Lots 1 and 23, Plan 65M-4704.

#### **Required Variances:**

Through the course of review as part of the Building Permit application process, it was determined that relief was required for Lots 1 and 23 with respect to the following provisions of the Town's Comprehensive Zoning By-law 6000-17:



### **1. Section 7.2 – Detached Fourth Density Residential (R4) Minimum Rear Yard Setback:**

The R4 Zone requires a minimum rear yard setback of 7.5 metres, whereas the proposed rear yard setbacks are 6.56 metres for Lot 1, and 6.75 metres for Lot 23. We would thus request relief from the provisions of the By-law to permit a minimum rear yard depth of 6.5 metres for both lots.

### **Four Tests of the Planning Act:**

#### Is it in keeping with the general intent and purpose of the Official Plan?

The proposed dwellings remain compliant with the site-specific provisions of the Town of Aurora Official Plan, including the required setbacks from Yonge Street.

#### Is it in keeping with the general intent and purpose of the Zoning By-law?

The proposed dwellings will maintain an appropriate rear yard, suitable for outdoor amenity, despite the proposed reduction in depth.

#### Is it desirable for the appropriate development or use of the land, building or structure?

The proposed variances will continue to provide a built form which is to be developed and used in accordance with the site-specific provisions previously established for the lands through Council approval of the implementing land use framework and Plans of Subdivision/Condominium. It is submitted that this framework is not fundamentally altered by the proposed variances and thus remains desirable for the use of the land.

#### Is the variance minor in nature?

In our opinion, the proposed variances are minor in nature. Both instances with the reduced rear yard condition reflect a 'pinch point' on the property due to a lot line that is not parallel to the proposed dwelling. The rear yard widens across the width of the lot such that the other corner of the proposed building. The rear yard for Lot 1 abuts Town owned lands, which will accommodate a future trail, along which a berm and acoustic barrier is to be erected. The rear yard for Lot 23 abuts lands protected for environmental purposes. Accordingly, the reduction in rear yard will not have an impact on an adjacent dwelling, or be readily visible from any area of the public realm. Further, the reduced setback will not impact the ability of the rear yard to function for its intended purpose – as outdoor amenity space. The form of relief requested through the proposed Variances are numerically modest, and would not require another form of relief such as through a Zoning By-law Amendment.

### **Supporting Materials**

To assist Committee Staff with their review of this application, we respectfully submit the following materials in digital format:





- 
- A completed Minor Variance Application Form for each of Lots 1 and 23
  - Application fees of \$2,475.00 for each of Lots 1 and 23
  - A copy of Plan 65M-4704
  - A Parcel Register for each of Lots 1 (PIN 03673-0280) and 23 (PIN 03673-0302)
  - A Preliminary Zoning Review Letter, and associated stamped plans, for each of Lots 1 and 23
  - A Siting Plan for Lot 1, prepared by Urbanscape Architects (revision 8), dated November 8, 2021
  - A Site Plan for Lot 23, prepared by Urbanscape Architects (revision 4), dated November 8, 2021
  - Conceptual Architectural Plans for each of Lots 1 and 23, prepared by Urbanscape Architects, including:
    - Building Statistics
    - Floor Plans
    - Building Elevations
    - Building Cross Sections
    - Construction Notes

I trust that the enclosed materials are sufficient for your review of these applications. Should you require any additional information, please do not hesitate to contact the undersigned at your earliest convenience.

Yours truly,

Adam Layton, RPP, MCIP

cc. Dormlind Developments Limited



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#### Appendix 'A' – Restriction on Title

---

Restrictive Covenant - S. 118 per the requirements of Schedule C, section 1.1.1 of the Development Agreement, which restricts the transfer of the POTLS without the consent of the Town until the registration of the Condo Plan.



100 John West Way  
Aurora, Ontario  
L4G 6J1  
(905) 727-3123  
aurora.ca

Town of Aurora

## Committee of Adjustment Report

No. MV-2021-35

---

**Subject:** **Minor Variance Application**  
Dormlind Developments Ltd.  
62 Royal Hill Court  
MV-2021-35  
Related Planning Applications: OPA-2017-02,  
ZBA-2017-01, SUB-2017-01, CDM-2017-01 &  
SP-2018-01

**Prepared by:** Sean Lapenna, Planner

**Department:** Planning and Development Services

**Date:** December 9, 2021

---

## Application

The applicant is requesting relief from the Town's Comprehensive Zoning By-law 6000-17, as amended, to facilitate the development of a new two-storey Single-Detached Dwelling with a Gross Floor Area of approximately 3,123.91 ft<sup>2</sup> (290.22 m<sup>2</sup>). The following relief from the requirements of the Town's Zoning By-law 6000-17, as amended, is requested:

- a) Section 7.2 of the Zoning By-law requires a minimum rear yard setback of 7.5 metres. The applicant is proposing a two-storey detached dwelling which is 6.7 metres to the rear property line.

## Background

### Subject Property and Area Context

The subject lands are municipally known as 62 Royal Hill Court and are located east of Yonge Street, north of Hunters Glen Road and on the north side of Royal Hill Court. The subject lands are currently vacant and have an approximate lot area of 353.12 m<sup>2</sup> (3,801 ft<sup>2</sup>) and a lot frontage of 12.80 m (42.0 ft).

**Proposal**

The applicant has requested one variance for a reduced rear yard setback in order to accommodate a new two-storey Single-Detached Dwelling with a Gross Floor Area of approximately 3,123.91 ft<sup>2</sup> (290.22 m<sup>2</sup>).

**Official Plan**

The subject property is designated 'Cluster Residential Site Specific Policy No. 49' by the Town of Aurora Official Plan (OPA 34). Single detached dwellings are permitted by the Official Plan.

**Zoning**

The subject property is zoned 'R4 (501) (Detached Fourth Density Residential Exception Zone)' under Zoning By-law 6000-17, as amended, which permits single detached dwellings.

**Related Planning Applications**

The subject property is located within a twenty-seven (27) single-detached lot subdivision along a private condominium road which required planning approvals in the form of an Official Plan Amendment (OPA-2017-02), Zoning By-law Amendment (ZBA-2017-01), Plan of Subdivision (SUB-2017-01), Plan of Condominium (CDM-2017-01) & Site Plan Approval (SP-2018-01). All Planning approvals listed have been issued and the Subdivision Agreement was executed in February 2021.

**Preliminary Zoning Review**

A Preliminary Zoning Review (PZR) has been completed by the Town's Building Division. The PZR identified the required variance and no other non-compliance was identified.

**Applicant's stated reason(s) for not complying with the Zoning By-law**

Please see attached Cover Letter (Appendix C).

**Planning Comments**

Planning staff have reviewed the requested variance as per the four tests in section 45(1) of the Planning Act.

**a) The proposed variance meets the general intent of the Official Plan**

The variance requested is not anticipated to have any negative impact on the character of the future neighbourhood (yet to be built out). The proposed dwelling will also be in keeping with the surrounding context of the neighbourhood.

It is the opinion of Planning staff that the proposed variance maintains the general intent of the Official Plan.

**b) The proposed variance meets the general intent of the Zoning By-law**

The purpose of setback requirements in the Zoning By-law is to ensure that adequate separation is provided between buildings on abutting properties. In addition to this, staff are also mindful of any potential negative impacts to neighbouring properties from a privacy standpoint as it pertains to abutting rear yard amenity space.

In this case, the subject property's rear yard property line (located to the north) is not abutting any other residential lot but instead, an open space buffer that is zoned 'Oak Ridges Moraine Environmental Protection (EP-ORM)' which provides a minimum separation distance of 18.0 m (59.0 ft) between the rear lot line of the subject property and the northern boundary line of the approved plan of subdivision.

Although the dwelling would be constructed closer to the rear yard property line than what the by-law allows, staff are of the opinion that the requested variance of 6.7 m (22.0 ft) will not result in any conflicts as it relates to building separation nor will it impact the enjoyment of the rear yard amenity areas with any surrounding property.

As such, staff are of the opinion that the requested variance meets the general intent of the zoning by-law.

**c) The variance is considered desirable for the appropriate development or use of the land**

The minor variance requested to accommodate a two-storey Single-Detached Dwelling has been considered in the context of the site and neighbourhood to be built out in the future. As noted in the submitted Cover Letter (Appendix 'C') the requested variance is required due to the rear lot line not being completely parallel to the proposed dwelling.

It is in the opinion of staff that even with a reduced rear yard setback that the dwelling will still be in keeping with other surrounding properties to east, south and west located within the approved plan of subdivision. Staff do not anticipate that the variance as requested will result in any negative impacts and that the dwelling will remain compatible with the future surrounding built form. Finally, the rear yard amenity space to remain on the subject property is considered by staff to be adequate.

Based on the above, staff are of the opinion that permitting the subject variance is an appropriate development and use of the land.

**d) The variance is considered minor in nature**

Staff notes that the variance applies only to a portion of the rear yard in the north-east corner of the subject property and not to the entire rear yard. Because there will be no neighbouring dwelling located to the east and taking into consideration the aforementioned open space buffer block, staff are of the opinion that any potential for impact has been mitigated as much as possible.

Staff also advise that all other applicable by-law requirements are still being met.

Overall, staff consider the request for a reduced rear yard setback of 6.7 m (22.0 ft) from the required 7.5 m (25.0 ft) to be a minor deviation from the by-law requirement.

Staff therefore consider the variance to be minor in nature.

## **Additional Comments**

The minor variance application was circulated internally and to external agencies for review and comment. The following comments were provided:

<b>Department / Agency</b>	<b>Comments Provided</b>
Engineering Services	We have reviewed the above-noted minor variance application and have no objections (Comments dated November 25, 2021).
Building Division	Preliminary Zoning Review conducted. No comments provided specifically on the application at the time of writing of this report.
Accessibility Advisor	No comments or objections (Comments dated November 22, 2021).
Traffic Analyst	No comments provided at the time of writing of this report.
Operational Services – Parks	We have reviewed the documentation for the property associated with the above noted application and have no formal comments regarding the application (Comments dated November 26, 2021).
Central York Fire Services	No comments provided at the time of writing of this report.
The Regional Municipality of York	The Regional Municipality of York has completed its review of the above minor variance and has no comment (Comments dated November 17, 2021).

December 9, 2021

5 of 7

Report No. MV-2021-35

Lake Simcoe Region Conservation Authority	The subject property is located outside of an area that is regulated by the LSRCA. Unless our review is preferred or warranted, we will not be providing comments nor collecting a review fee per our MOU with the Town (Comments dated November 25, 2021).
Alectra Utilities	<p>We have reviewed the proposed Variance application and have no objections to its approval, subject to the following comments:</p> <p>Alectra Utilities (formerly PowerStream) has received and reviewed the proposed Variance Application. This review, however, does not imply any approval of the project or plan. All proposed billboards, signs, and other structures associated with the project or plan must maintain minimum clearances to the existing overhead or underground electrical distribution system as specified by the applicable standards, codes and acts referenced.</p> <p>In the event that construction commences, and the clearance between any component of the work/structure and the adjacent existing overhead and underground electrical distribution system violates the Occupational Health and Safety Act, the customer will be responsible for 100% of the costs associated with Alectra making the work area safe. All construction work will be required to stop until the safe limits of approach can be established.</p> <p>In the event construction is completed, and the clearance between the constructed structure and the adjacent existing overhead and underground electrical distribution system violates the any of applicable standards, acts or codes referenced, the customer will be responsible for 100% of Alectra's cost for any relocation work (Comments dated November 16, 2021).</p>

## Public Correspondence

Written submissions were not received at the time of writing of this report. Should written submissions be received after the writing of this report, the Secretary Treasurer will provide the submission(s) to Committee members at the meeting.

## **Conclusion**

Planning staff have reviewed the application with respect to the Section 45(1) of the Planning Act, R.S.O, 1990, c.P.13, as amended, and recommend approval subject to a condition of approval. Please refer to Appendix 'A' for the recommended condition of approval for the requested variance.

## **Attachments**

Appendix 'A' - Recommended Condition of Approval

Appendix 'B' - Site Plan & Elevations

Appendix 'C' - Submitted Cover Letter

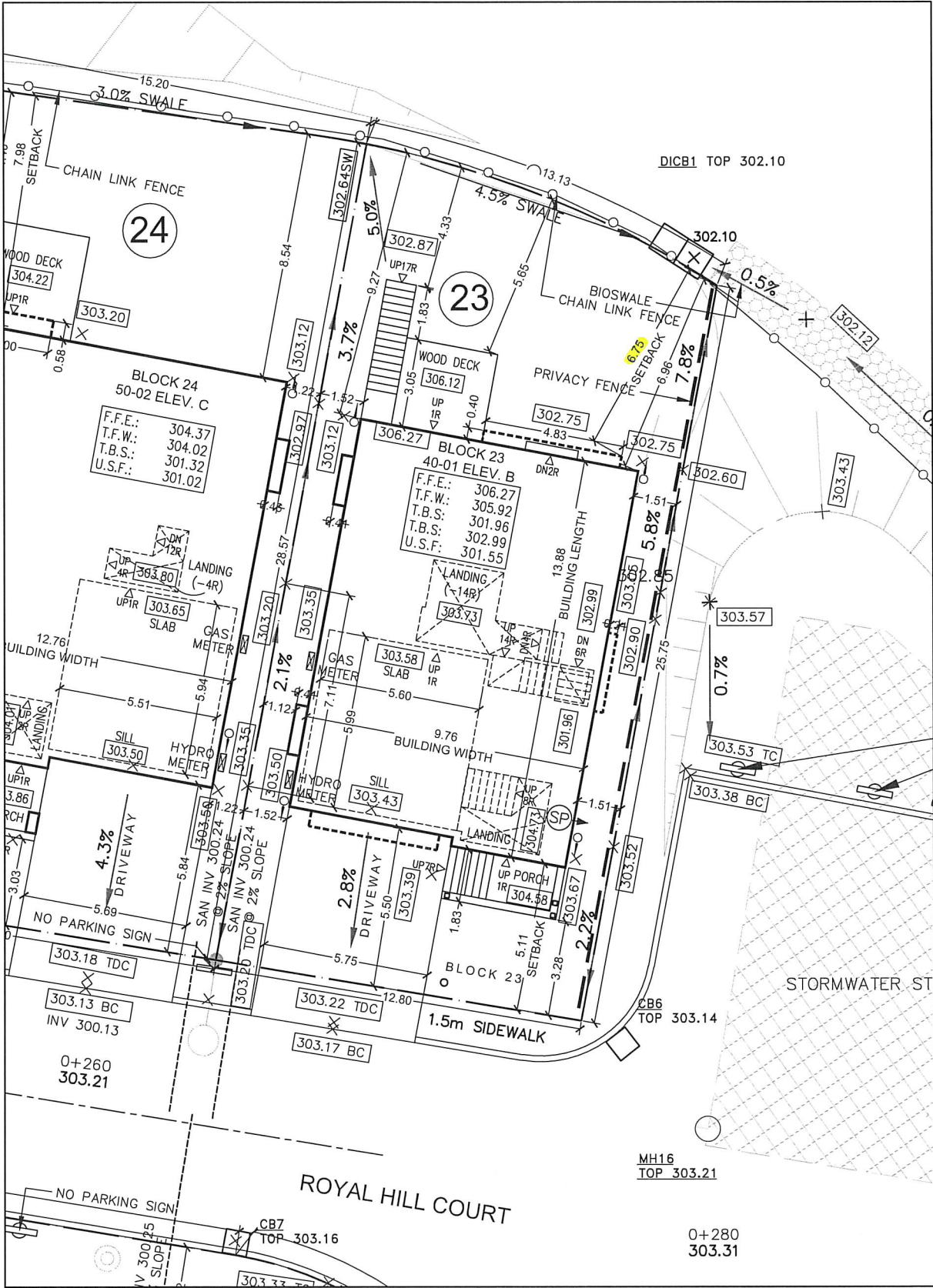


The following condition is required to be satisfied should application MV-2021-35 be approved by the Committee of Adjustment:

1. That the variance only applies to the subject property, in substantial conformity with the plan(s) attached as 'Appendix B' to this Staff Report and dated November 8, 2021, to the satisfaction of the Director of Planning and Development Services.

LEGEND:

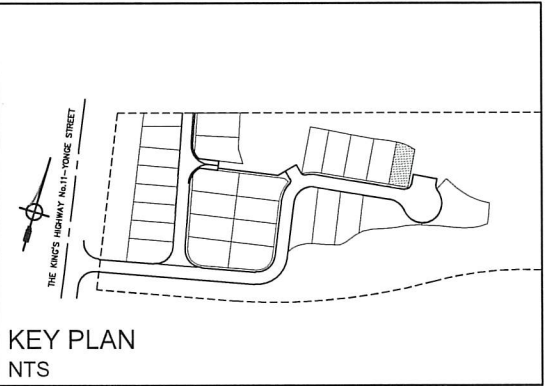
F.F.E.	FINISHED FLOOR ELEVATION
T.F.W.	TOP OF FOUNDATION WALL
T.B.S.	TOP OF BASEMENT SLAB
U.S.F.	UNDER SIDE OF FOOTING
R	RISER
---	CENTER LINE OF ROADS
	BIOSWALE / INFILTRATION GALLERY
	100-200mmØ RIP-RAP
	GEOWEB SYSTEM
	RETAINING WALL
	UNDERGROUND STORAGE
	SANITARY SEWER AND MANHOLE
	STORM SEWER AND MANHOLE
	CATCHBASIN MANHOLE / DOUBLE CATCHBASIN MANHOLE
	CATCHBASIN
	DOUBLE CB
	OIL GRIT SEPARATOR
	SUMP PUMP DISCHARGE LOCATION
	YORK REGION BASE MOUNTED LIGHT POLE / PRIVATE CONCRETE LIGHT POLE
	ELECTRICAL 0.46m HANDHOLE
	DENOTES SEWER/WATERMAIN CROSSING
	COMMUNITY MAILBOX
	DOOR/STEPS
	DOWNSPOUT TO SPLASH PAD
	25mm COPPER WATER SERVICE CONNECTION
---	SANITARY LATERAL CONNECTION
	PRIVATE FIRE HYDRANT
	VALVE AND BOX
	EXISTING DECIDUOUS TREE
	AIR CONDITIONING
EX	EX-GRAD-ELEV-SITE
) (	C-GRAD-ELEV-LOTS-SPLT
	H&V FIRE HYDRANT



MODEL 40-01 ELEVATION B  
AREA CALCULATIONS

GROUND FLOOR PLAN	1492.95 FT² [138.70 M²]
SECOND FLOOR PLAN	1462.42 FT² [135.88 M²]
DEDUCT OPEN AREAS	2.19 FT² [0.2 M²]
ADD FINISHED BASEMENT	170.73 FT² [15.88 M²]
GROSS FLOOR AREA	3123.91 FT² [290.22 M²]

COVERAGE W/ PORCH	1591.95 FT² [147.89 M²]
COVERAGE W/O PORCH	1492.95 FT² [138.70 M²]



LOT	COVERAGE PERMITTED	PROPOSED
LOT #1	50%	34.1%
LOT #2	50%	40.5%
LOT #3	50%	39.8%
LOT #4	50%	39.0%
LOT #5	50%	42.75%
LOT #6	50%	41.85%
LOT #7	50%	34.55%
LOT #8	50%	39.76%
LOT #9	50%	42.72%
LOT #10	50%	41.75%
LOT #11	50%	41.44%
LOT #12	50%	39.94%
LOT #13	50%	33.26%
LOT #14	50%	41.47%
LOT #15	50%	43.9%
LOT #16	50%	43.89%
LOT #17	50%	33.08%
LOT #18	50%	37.9%
LOT #19	50%	34.29%
LOT #20	50%	39.73%

LOT	COVERAGE (Cont'd)	PERMITTED	PROPOSED
LOT #21	50%	31.08%	
LOT #22	50%	40.17%	
LOT #23	50%	38.0%	
LOT #24	50%	43.76%	
LOT #25	50%	43.88%	
LOT #26	50%	43.43%	
LOT #27	50%	39.6%	

TOTAL BUILDING AREA: 4717m² -6.79% PER NET LOT AREA (LOT COVERAGE)  
GROSS FLOOR AREA: 9098.7m²  
THE IMPERVIOUS AREA: 10341m² -14.9% PER NET LOT AREA  
GROSS LOT AREA: 71453.7m²  
NET LOT AREA: 69399m²  
DISTURBED AREA: 16949m² -24.4% PER NET LOT AREA

NOTES:

- SANITARY LATERAL INVERTS SPECIFIED ARE DESIGN INVERTS.
- AS-BUILT ELEVATIONS MAY BE DIFFERENT. BUILDER TO CONFIRM INVERTS PRIOR TO CASTING OF FOOTINGS.
- ALL UTILITIES TO BE IN ACCORDANCE WITH DESIGN PLANS FROM THE UTILITY COMPANIES (EG BELL, ALECTRA, ETC.)
- PROPOSED TREES TO BE COORDINATED WITH LANDSCAPE PLANS.

LOT. \_\_\_\_\_

REVIEWED FOR:

1. GRADING AS BEING IN CONFORMANCE WITH THE DRAINAGE CONCEPTS SHOWN ON THE APPROVED LOT GRADING PLANS PREPARED BY SCS CONSULTING GROUP LTD.
2. CONFORMANCE WITH THE TOWN OF AURORA GRADING STANDARDS.

DATE: \_\_\_\_\_

REVIEWED BY: \_\_\_\_\_

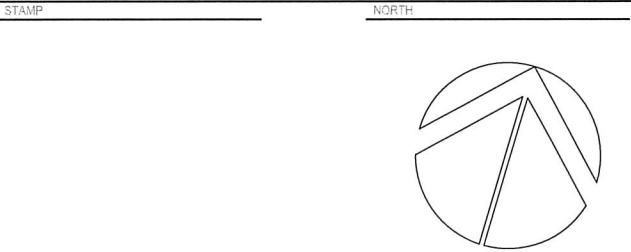
IT IS THE BUILDER'S COMPLETE RESPONSIBILITY TO ENSURE THAT ALL PLANS SUBMITTED FOR APPROVAL FULLY COMPLY WITH THE ARCHITECTURAL GUIDELINES AND ALL APPLICABLE REGULATIONS AND REQUIREMENTS INCLUDING ZONING PROVISIONS AND ANY PROVISIONS IN THE SUBDIVISION AGREEMENT. THE CONTROL ARCHITECT IS NOT RESPONSIBLE IN ANY WAY FOR EXAMINING OR APPROVING SITE (LOTING) PLANS OR WORKING DRAWINGS WITH RESPECT TO ANY ZONING OR BUILDING CODE OR PERMIT MATTER OR THAT ANY HOUSE CAN BE PROPERLY BUILT OR LOCATED ON ITS LOT.

THIS IS TO CERTIFY THAT THESE PLANS COMPLY WITH THE APPLICABLE ARCHITECTURAL DESIGN GUIDELINES APPROVED BY THE TOWN OF AURORA.

PR2021/1428  
Preliminary Zoning Review  
M. Boj  
107 89 7.1  
PLANNING AND DEVELOPMENT SERVICES  
Building Division

NO.	DATE	REVISION DESCRIPTION	NOTE
01	2021-05-15	ISSUED FOR REVIEW	CONSULTANTS
02	2021-07-28	ISSUED FOR PERMIT	CITY
03	2021-08-19	ISSUED FOR REVIEW	CONSULTANTS
04	2021-11-08	ISSUED FOR COA	CITY

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PROJ/REV. NO.  
USG 16-198

SHEET TITLE  
SITING PLAN- LOT 23  
SCALE: 1:200

PROJECT  
ROYAL HILL  
14029 YONGE ST. Aurora ON L4G 0P1

DWG. NO.

DESIGN

URBANSCAPE  
ARCHITECTS

236 Lesmill Road Toronto, ON M3B 2T5  
phone: 416.850.0021

info@urbanscapearchitect.com | www.urbanscapearchitect.com

11"x17" SHEET SIZE







CONCRETE PAD FOOTING LEGEND		
	NATURAL UNDISTURBED SOIL	COMPACTED ENGINEERED FILL
F0	46" x 46" x 20"	52" x 52" x 24"
F1	36" x 36" x 16"	40" x 40" x 18"
F2	24" x 24" x 10"	28" x 28" x 12"

**TYPICAL BASEMENT FLOOR PLAN NOTES**  
 PROVIDE FULL HEIGHT 10" CONC. FOUNDATION WALLS  
 WHERE SOIL HEIGHT EXCEEDS 4'-7" TYP. UNLESS NOTED  
 OTHERWISE  
 ALL DECK FRAMING TO BE P.T. UNLESS NOTED OTHERWISE

NO.	DATE	REVISION DESCRIPTION	NOTE
1	2023-06-15	ISSUED FOR ZFC	QTY

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REVISION FILED STATES ISSUED FOR CONSTRUCTION  
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TO THE CONSULTANT(S).  
DO NOT PROCEED WITH WORK WITHOUT APPROVED REVISION TO THE DRAWING.

PROJECT NO. USG 16-198	DRAWING NO. 0A
SHEET TITLE FOUNDATION PLAN EL. 'A' SCALE: 3/16"=1'-0"	
PROJECT 16-004 SHEET 002	DESIGN

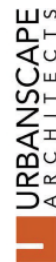
DANG NO.

0A

18"x24" SHEET SIZE

DORMER HILL 40-01  
14029 YONGE ST. Aurora ON L4G 0P1

DORMER HILL 40-01



236 LESMILL ROAD, TORONTO, ON M8B 2T5  
phone: 416.850.0021  
info@urbanscapearchitect.com | www.urbanscapearchitect.com



DESIGN

DWG NO.

1A

PROJ/REV. NO.  
USG 18-198

SHEET TITLE

BASEMENT FLOOR PLAN EL. 'A'  
SCALE 3/16"=1'-0"

PROJECT  
DORMER HILL 40-01  
1429 YONGE ST., AURORA ON L4G 0P1

NORTH

STAMP

NOTE

DATE

REVISION DESCRIPTION

1

2020-06-15

ISSUED FOR EDC

CITY

NOTE

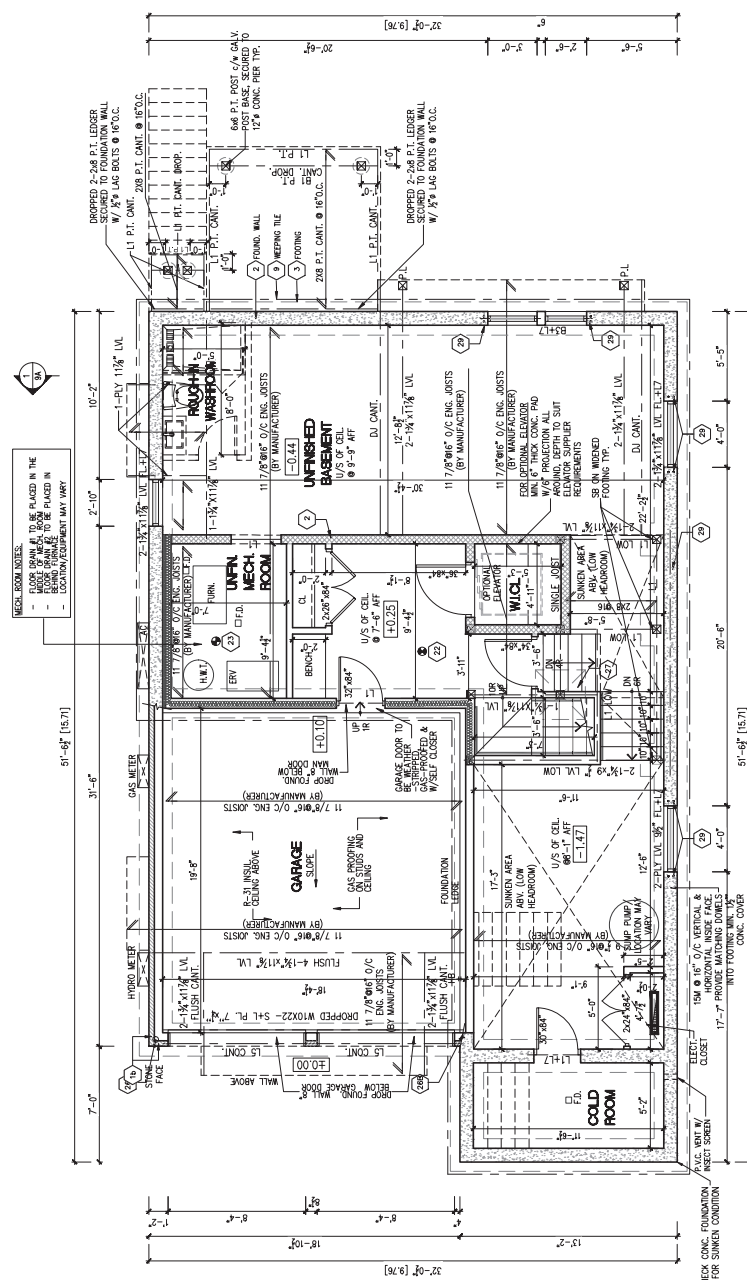
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WHERE SOL. HEIGHT EXCEEDS 4'-7" TYP. UNLESS NOTED OTHERWISE.

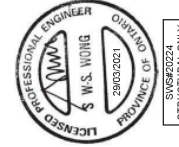
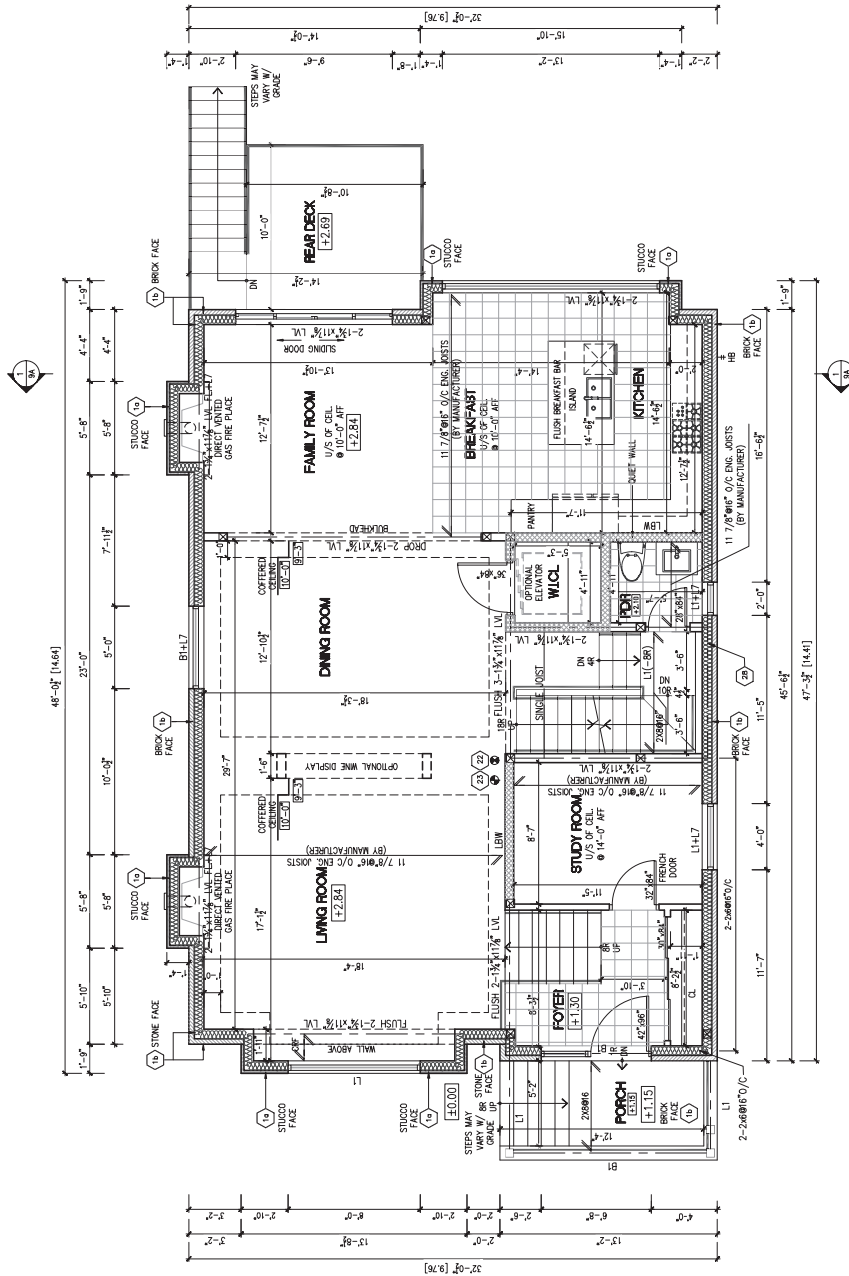
ALL EDC TRAINING TO BE P.T. UNLESS NOTED OTHERWISE.

DO NOT PROCEED WITH WORK WITHOUT APPROVED REVISION TO THE DRAWING.



TYPICAL BASEMENT FLOOR PLAN NOTES  
1. ALL FOUNDATION WALLS SHALL BE CONCRETE OR CMU WITH A MINIMUM HEIGHT OF 4'-7" UNLESS NOTED OTHERWISE.  
2. ALL FOUNDATION WALLS SHALL BE REINFORCED WITH #4 BARS @ 16" O.C. VERTICALLY AND #4 BARS @ 16" O.C. HORIZONTALLY.  
3. ALL FOUNDATION WALLS SHALL BE FINISHED WITH 1/2" GYPSUM BOARD.  
4. ALL FOUNDATION WALLS SHALL BE PAINTED WITH A MINIMUM OF TWO COATS OF EXTERIOR GRADE PAINT.  
5. ALL FOUNDATION WALLS SHALL BE DRAINAGE DITCHED AT THE BASE.  
6. ALL FOUNDATION WALLS SHALL BE PROTECTED FROM FREEZING BY INSULATION AND HEATING.  
7. ALL FOUNDATION WALLS SHALL BE PROTECTED FROM COLLAPSE BY BRACING.  
8. ALL FOUNDATION WALLS SHALL BE PROTECTED FROM FIRE BY FIRE RESISTANT MATERIALS.  
9. ALL FOUNDATION WALLS SHALL BE PROTECTED FROM PESTS BY TREATMENT.  
10. ALL FOUNDATION WALLS SHALL BE PROTECTED FROM VIBRATION BY ISOLATION.  
11. ALL FOUNDATION WALLS SHALL BE PROTECTED FROM NOISE BY SOUND BARRIER.  
12. ALL FOUNDATION WALLS SHALL BE PROTECTED FROM AIR POLLUTION BY AIR FILTRATION.  
13. ALL FOUNDATION WALLS SHALL BE PROTECTED FROM WATER POLLUTION BY WATER TREATMENT.  
14. ALL FOUNDATION WALLS SHALL BE PROTECTED FROM SOIL POLLUTION BY SOIL TREATMENT.  
15. ALL FOUNDATION WALLS SHALL BE PROTECTED FROM CLIMATE POLLUTION BY CLIMATE CONTROL.  
16. ALL FOUNDATION WALLS SHALL BE PROTECTED FROM RADIOACTIVE POLLUTION BY RADIOACTIVE SHIELDING.  
17. ALL FOUNDATION WALLS SHALL BE PROTECTED FROM BIOLOGICAL POLLUTION BY BIOLOGICAL TREATMENT.  
18. ALL FOUNDATION WALLS SHALL BE PROTECTED FROM CHEMICAL POLLUTION BY CHEMICAL TREATMENT.  
19. ALL FOUNDATION WALLS SHALL BE PROTECTED FROM PHYSICAL POLLUTION BY PHYSICAL TREATMENT.  
20. ALL FOUNDATION WALLS SHALL BE PROTECTED FROM ELECTROMAGNETIC POLLUTION BY ELECTROMAGNETIC SHIELDING.

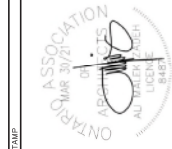
JOHN C. WILLIAMS LTD. ARCHITECT  
REGISTERED PROFESSIONAL ARCHITECT  
DATE: 2020-06-15  
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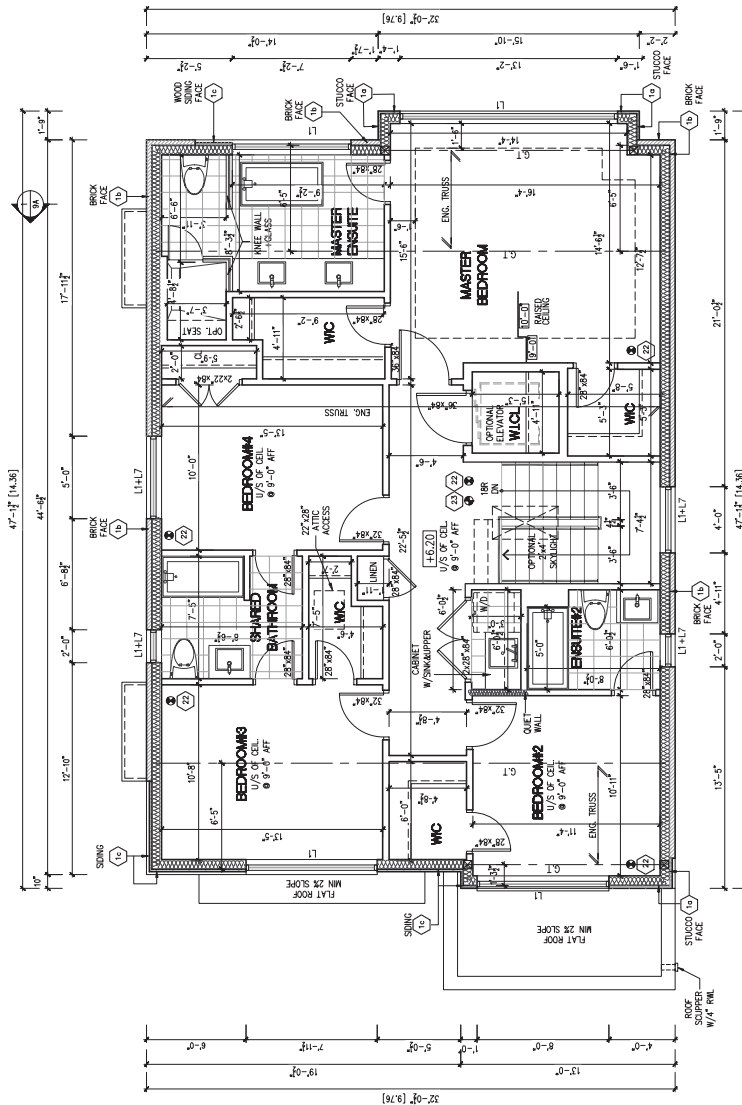
REVISION		DATE	DESCRIPTION	NOTE
1	ISSUED FOR IFC	2020-06-15		
PROJECT		DORMER HILL 40-01		
PROJECT		14029 YONGE ST, Aurora ON L4G 0P1		
PROJECT		FIRST FLOOR PLAN EL. 'A'		
PROJECT		SCALE: 3/16"=1'-0"		
PROJECT		USG 18-198		
PROJECT		SHEET TITLE		
PROJECT		2A		
PROJECT		18"x24" SHEET SIZE		
PROJECT		DWG NO.		
PROJECT		DESIGN		

URBANS  
ARCHITECTS

236 LESMILL ROAD, TORONTO, ON M8B 2T5  
phone: 416.850.0021  
info@urbanscaparchitect.com | www.urbanscaparchitect.com



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NO.	DATE	REVISION DESCRIPTION	NOTE
1	2023-06-15	ISSUED FOR ZFC	QTY

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MAGNUM

NO. USG 16-198

TITLE

SECOND FLOOR PLAN EL. 'A'

SCALE: 3/16"=1'-0"

PROJECT  
DORMER HILL 40-01  
14029 YONGE ST., Aurora ON L4G 0P

DANG NO.

3A

16"x24" SHEET SIZE

DESIGN |



236 LESMILL ROAD, TORONTO, ON, M3B 2T5  
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info@urbanscaarchitect.com | www.urbanscapearchitect.com



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phone: 416.850.0021  
info@urbanscapearchitect.com | www.urbanscapearchitect.com

DESIGN

DWG NO.

4A

18"X24" SHEET SIZE

PROJECT NO. USG 16-198

SHEET TITLE  
ROOF PLAN EL. 'A'  
SCALE: 3/16"=1'-0"

PROJECT  
DORMER HILL 40-01  
14029 YONGE ST., Aurora ON L4G 0P1

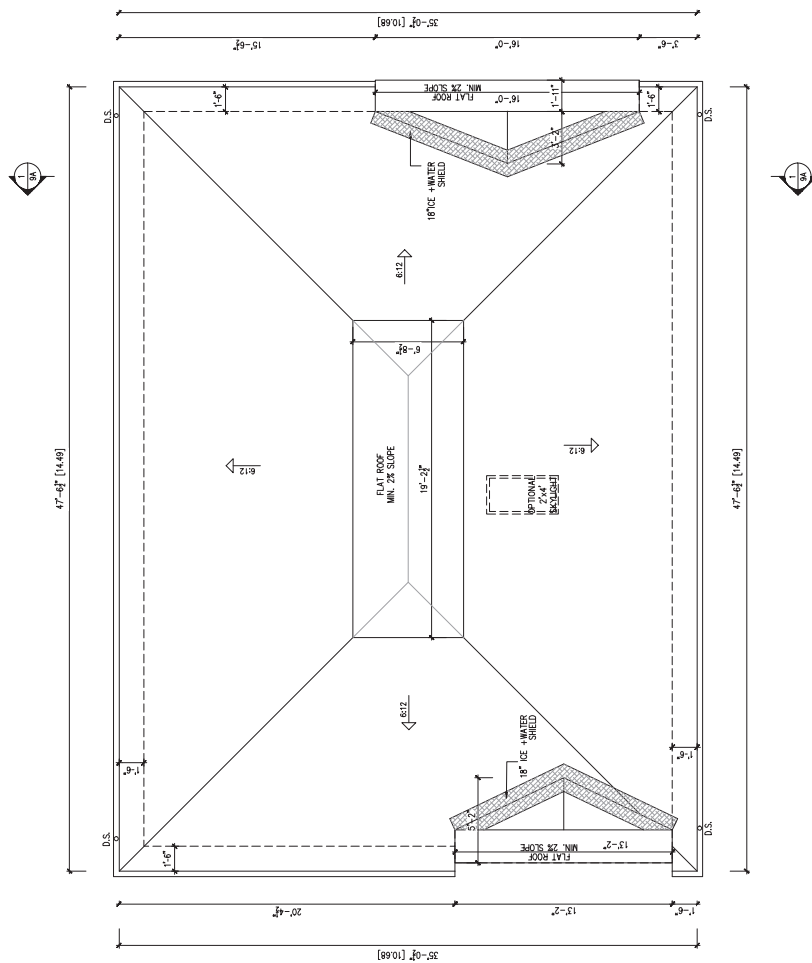
NORTH

STAMP

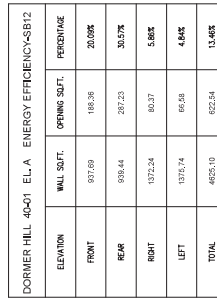


NO.	DATE	REVISION DESCRIPTION	NOTE
1	2016-06-15	ISSUED FOR ZCC	CITY

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NO.	DATE	REVISION DESCRIPTION	NOTE
1	2023-06-15	ISSUED FOR ZFC	QTY

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NORTH

PROJ. REV. NO.

USG 16-198

TITLE

FRONT ELEVATION EL. 'A'

SCALE: 3/16"=1'-0"

DORMER HILL 40-01  
14029 YONGE ST. Aurora ON L4G 0P1

5A

18"x24" SHEET SIZE

DANG NO

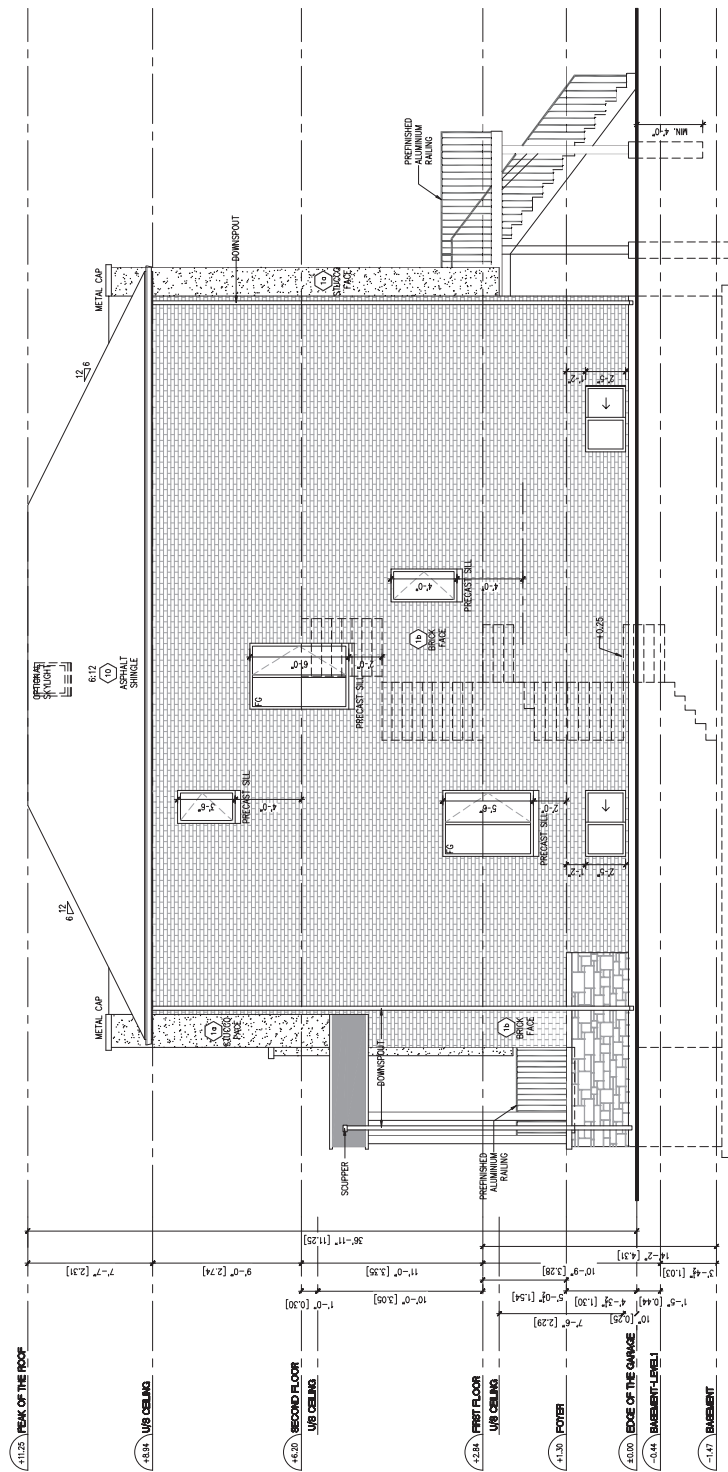


16"X24" SHEET SIZE

TITLE  
REAR ELEVATION EL. 'A'  
SCALE: 3/16"=1'-0"

**DORMER HILL 40-01**  
14029 YONGE ST, Aurora ON L4G 0P1

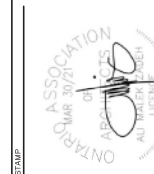
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UNPROTECTED OPENING	
WALL AREA	1772.24
ALLOWABLE WINDOW AREA 07%	96.06
ACTUAL WINDOW AREA	80.37

NO.	DATE	REVISION / DESCRIPTION	NOTE
1	2020-06-15	ISSUED FOR IZC	CITY

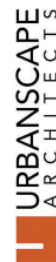
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TO THE CLIENT. THE CLIENT'S NAME PRECEDENCE OVER SCALED DIMENSIONS ANY DISCREPANCIES AND ERRORS TO BE REPORTED  
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PROJECT: USG 18-198  
SHEET TITLE: RIGHT SIDE ELEVATION EL. 'A'  
SCALE: 3/16"=1'-0"

7A  
18"X24" SHEET SIZE

DESIGN: DWS INC.



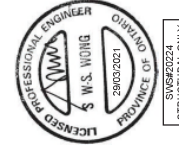
236 LESMILL ROAD, TORONTO, ON M8B 2T5  
phone: 416.850.0021  
info@urbanscapearchitect.com | www.urbanscapearchitect.com

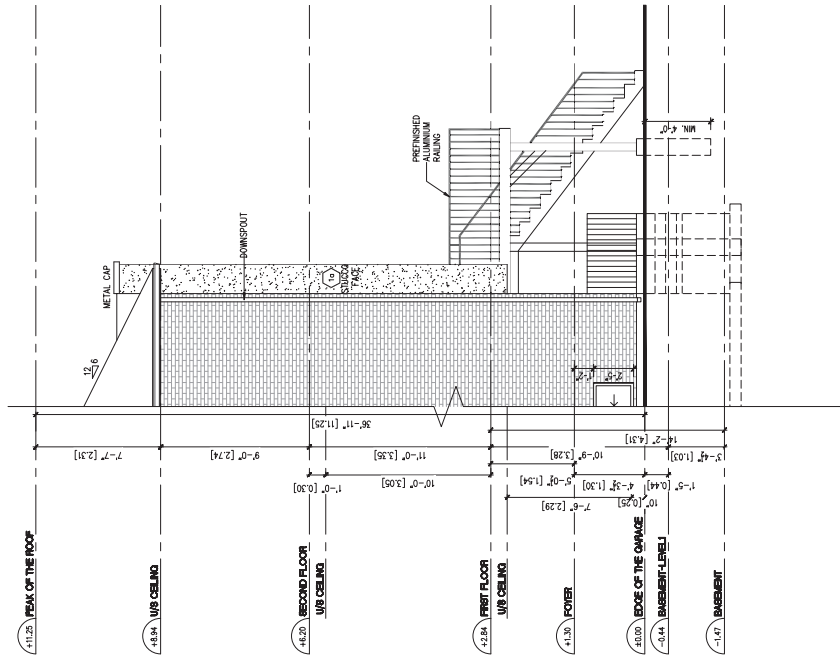


NO.	DATE	RECEIPT DESCRIPTION	NOTE
1	2006-06-16	PAID FOR ZTC	QTY

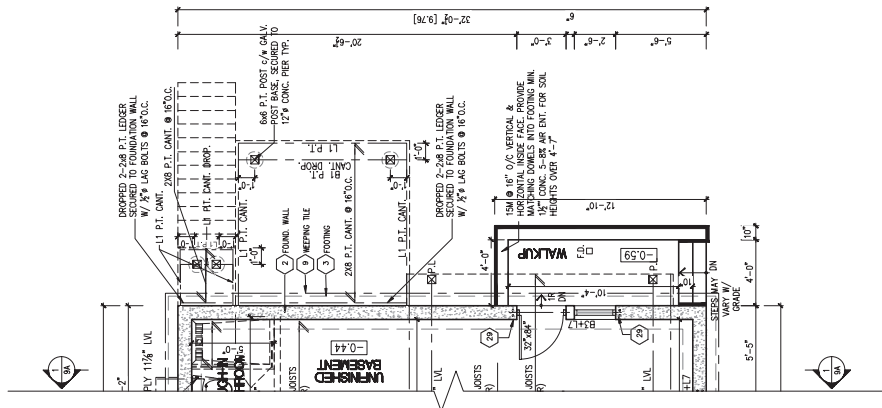
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PARTIAL SIDE ELEVATION WWALKUP



PARTIAL BASEMENT PLAN WWALKUP

**TYPICAL BASEMENT FLOOR PLAN NOTES**  
PROVIDE FULL HEIGHT 10" CONC. FOUNDATION WALLS  
BASEMENT EXTERIOR FINISHES TO BE 1/2" THICK  
OTHERWISE  
ALL DECK FRAMING TO BE P.T. UNLESS NOTED OTHERWISE

NO.	DATE	REVISION / DESCRIPTION	NOTE
1	2023-04-15	ISSUED FOR IZC	CITY

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NORTH

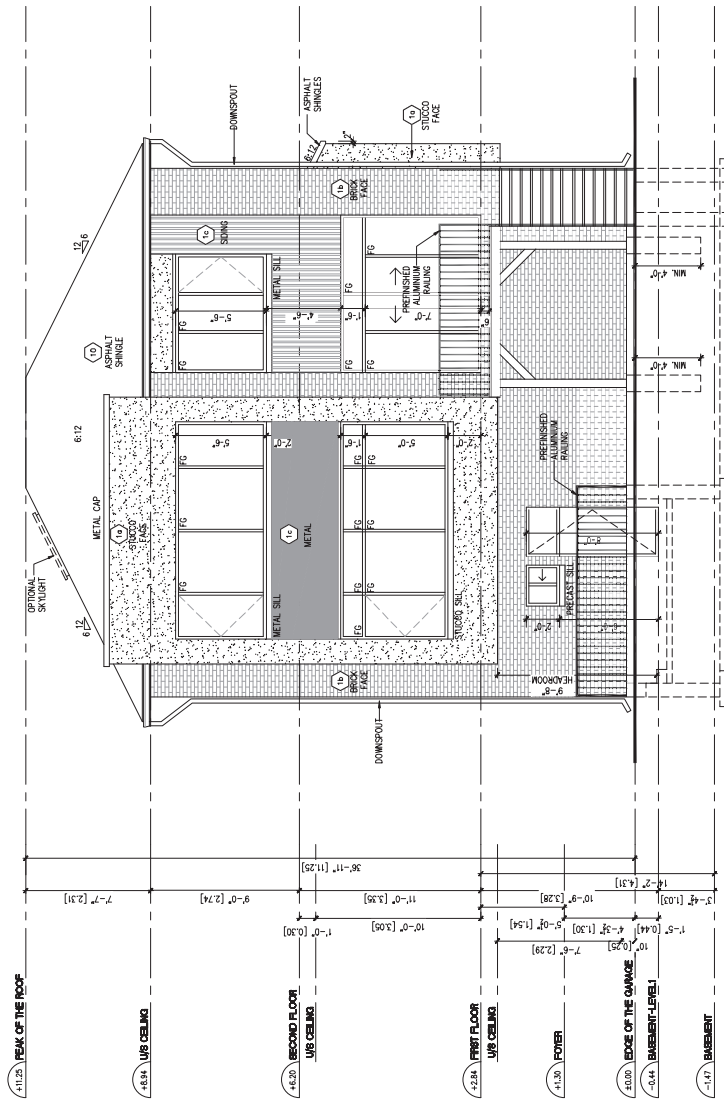
PROJECT: DORMER HILL 40-01  
14029 YONGE ST. Aurora ON L4G 0P1

SHEET TITLE: PARTIAL BASEMENT FLOOR PLAN & SIDE ELEVATION EL. A WWALKUP  
SCALE: 3/16" = 1'-0"

PROJ./REV. NO.: USG 18-198  
SHEET NO.: 10A  
18" x 24" SHEET SIZE

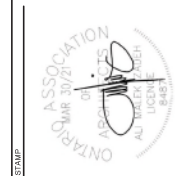
DESIGN: DWS INC.

URBANSCLAPE ARCHITECTS  
236 LESMILL ROAD TORONTO, ON M8B 2T5  
phone: 416.850.0021  
info@urbansclapearchitect.com | www.urbansclapearchitect.com



NO.	DATE	REVISION DESCRIPTION	NOTE
1	2020-06-15	ISSUED FOR ZCC	CITY

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STAMP NORTH

PROJECT: USG 18-198  
SHEET TITLE: REAR ELEVATION EL. 'A' WWALKUP  
SCALE: 3/16"=1'-0"

11A  
18'x24" SHEET SIZE

DESIGN

URBANSAPPE ARCHITECTS  
236 LESMILL ROAD, TORONTO, ON M8B 2T5  
phone: 416.850.0021  
info@urbanscapearchitect.com | www.urbanscapearchitect.com







1 SECOND FLOOR PLAN EL. 'A' - SIDE UPGRADE  
1A-U SCALE: 3/16" = 1'-0"

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PROJ. REV. NO.

USG 16-198

E  
SECOND FLOOR PLAN EL. 'A' - SIDE UPGRADE  
SCALE: AS MENTIONED

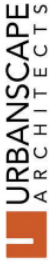
1A-U

DESIGN

URBANSCAPE  
ARCHITECTS

DORMER HILL 40-01  
4029 YONGE ST. Aurora ON

236 LESMILL ROAD, TORONTO, ON, M3B 2T5  
phone: 416.850.0021  
info@urbanscaarchitect.com | www.urbanscaarchitect.com



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phone: 416.850.0021  
info@urbanscaparchitect.com | www.urbanscaparchitect.com

DESIGN

DWG NO.

2A-U

18'x24" SHEET SIZE

PROJECT NO. USG 18-198

SHEET TITLE  
ROOF PLAN EL. 'A' - SIDE UPGRADE  
SCALE: 3/16"=1'-0"

PROJECT  
DORMER HILL 40-01  
14029 YONGE ST., Aurora ON L4G 0P1

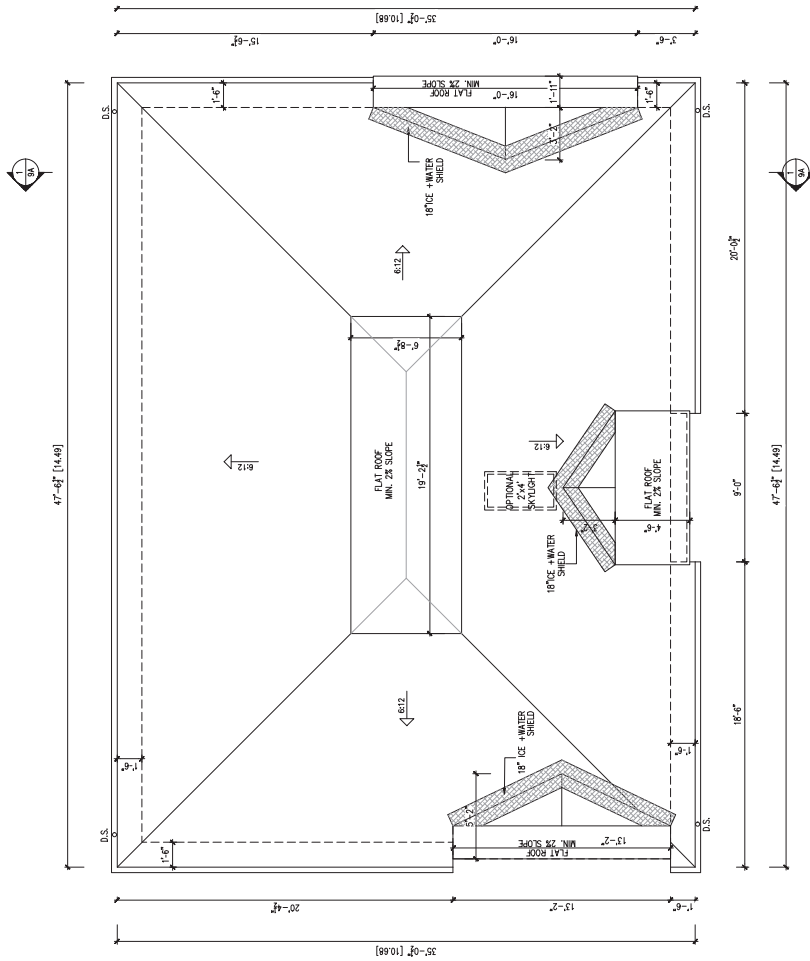
NORTH

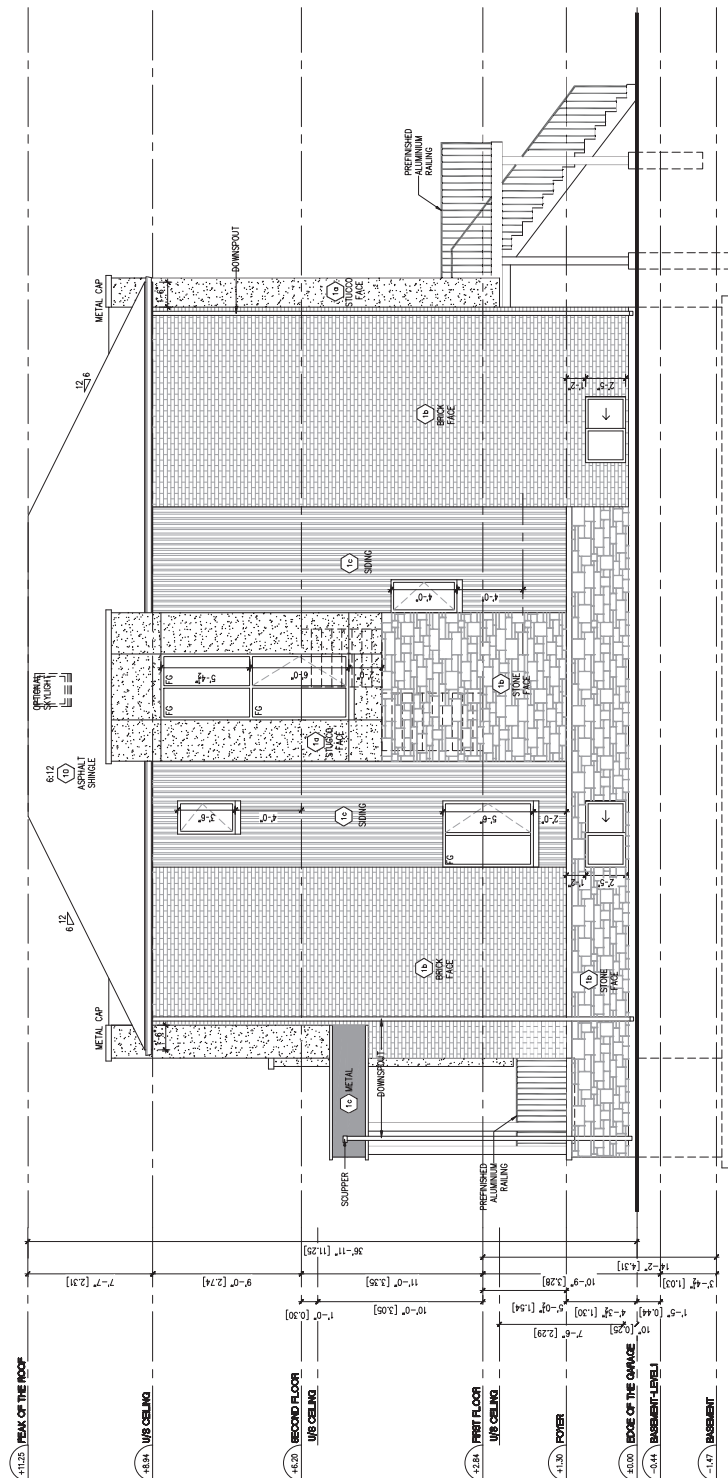
STAMP



NO.	DATE	REVISION DESCRIPTION	NOTE
1	2020-06-15	ISSUED FOR ZCC	CITY

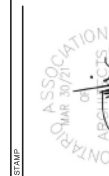
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NO.	DATE	REVISION / DESCRIPTION	NOTE
1	2020-06-15	ISSUED FOR ZCC	CITY

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STAMP  
NORTH

PROJECT NO. 18-198  
SHEET TITLE  
RIGHT SIDE ELEVATION EL. 'A' - SIDE UPGRADE  
SCALE: 3/16"=1'-0"

3A-U  
18"X24" SHEET SIZE

DESIGN



236 LESMILL ROAD, TORONTO, ON M8B 2T5  
phone: 416.850.0021  
info@urbanscapearchitect.com | www.urbanscapearchitect.com





TOWN OF AURORA  
PLANNING & DEVELOPMENT SERVICES - BUILDING DIVISION  
DATE: Jun. 17, 2021  
PR20210695  
INSTRUCTION SHALL COMPLY WITH THE ONTARIO BUILDING CODE  
AND/OR OTHER APPLICABLE LEGISLATION.  
REVIEWED DOCUMENTS MUST BE KEPT ON SITE AT ALL TIMES.  
SECTION REQUEST EMAIL: BUILDING.INSPECTIONS@AURORA.CA

SWS#20224  
STRUCTURAL ONLY

DESIGN

1B

DRAWING NO.

USG 16-198

TITLE  
BASEMENT FLOOR PLAN EL. 'B'  
SCALE: 3/16"=1'-0"

18"x24" SHEET SIZE

**DORMER HILL 40-01**  
14029 YONGE ST. Aurora ON L4G 0P1

**TYPICAL BASEMENT FLOOR PLAN NOTES**  
 PROVIDE FULL HEIGHT 10" CONC. FOUNDATION WALLS  
 WHERE SOIL HEIGHT EXCEEDS 4'-7" TYP. UNLESS NOTED  
 OTHERWISE

NO.	DATE	REVISION DESCRIPTION	NOTE
1	2023-06-15	ISSUED FOR ZFC	QTY

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TOWN OF AURORA  
PLANNING & DEVELOPMENT SERVICES - BUILDING DIVISION  
PERMIT NO. **PR20210685** DATE **Jun. 17, 2021**  
ALL CONSTRUCTION SHALL COMPLY WITH THE ONTARIO BUILDING CODE  
AND/OR OTHER APPLICABLE LEGISLATION.  
THE REVIEWED DOCUMENTS MUST BE KEPT ON SITE AT ALL TIMES.  
INSPECTION REQUEST EMAIL: [BUILDINGINSPECTIONS@AURORA-CA.IG](mailto:BUILDINGINSPECTIONS@AURORA-CA.IG)  
INSPECTION REQUEST TELEPHONE: (905) 726-4778

DESIGN

ING NO.

2B

18"X24" SHEET SIZE

USG 16-198

TITLE  
FIRST FLOOR PLAN EL. 'B'  
SCALE: 3/16"=1'-0"

PROJECT  
DORMER HILL 40-01  
14029 YONGE ST., Aurora ON L4G 0P1

NORTH

STAMP

NOTE

--	--

1

1

1

## SCRIPT

REVIS

1

ATE

NO.

1

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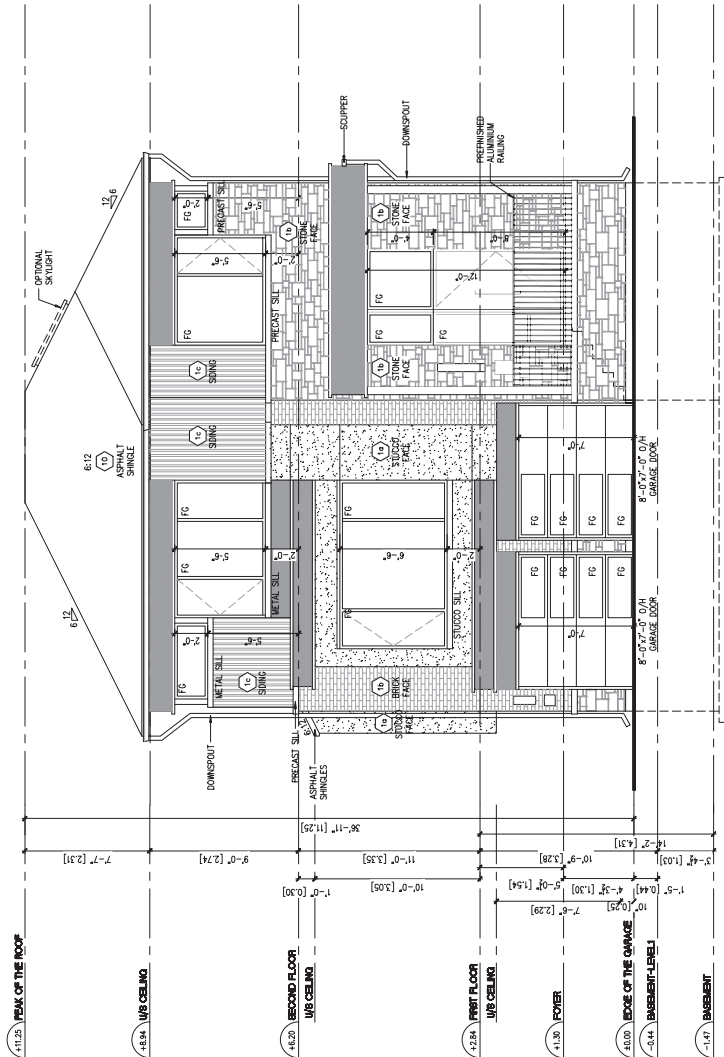


Building Division  
OBC Review  
Terence Wang  
05/28/2021  
Town of Aurora  
Planning and Development Services

Zoning Review  
Ashley Vandewal  
May 20, 2021



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phone: 416.850.0021  
info@urbanscapearchitect.com | www.urbanscapearchitect.com



DORMER HILL 40-01 EL. B ENERGY EFFICIENCY-4B12			
ELEVATION	WALL SQ. FT.	OPENING SQ. FT.	PERCENTAGE
FRONT	936.85	200.28	22.23%
REAR	938.44	251.26	26.86%
RIGHT	1070.23	84.54	8.17%
LEFT	1072.17	86.36	8.20%
TOTAL	4018.69	622.45	15.49%

PLANNING & DEVELOPMENT SERVICES - BUILDING DIVISION  
PRINT NO. PR20210685 DATE: JUN. 17, 2021  
ALL CONSTRUCTION SHALL COMPLY WITH THE ONTARIO BUILDING CODE  
AND THE NATIONAL BUILDING CODE OF CANADA (NBC) AND ALL APPLICABLE  
BYLAW ORDINANCES AND REGULATIONS.  
THE REVIEW DOCUMENT MUST BE KEPT IN FILE AT ALL TIMES.  
INSPECTION REQUEST EMAIL: BUILDING@CITY.AURORA.ON.CA  
INSPECTION REQUEST TELEPHONE: (905) 724-4779

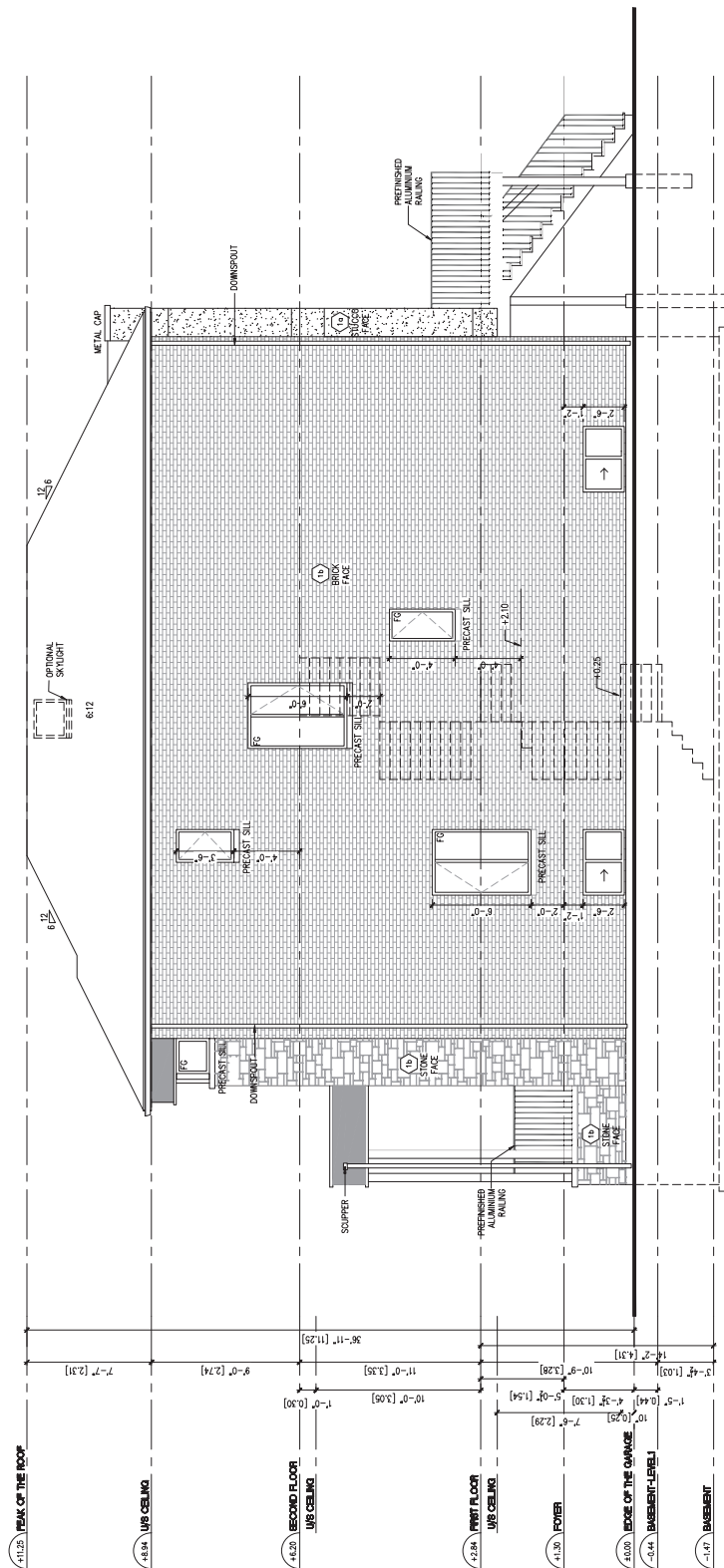
DESIGN	DWG. NO.	PROJ. REV. NO.	NORTH	STAMP	DATE	REVISION DESCRIPTION	NOTE
5B	USG 18-198				2020-06-15	ISSUED FOR ZPC	
SHEET TITLE		FRONT ELEVATION EL. B'		SCALE: 3/16"=1'-0"		PROJECT	
PROJECT		DORMER HILL 40-01		14029 YONGE ST. Aurora ON L4G 0P1			



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REGISTERED PROFESSIONAL ARCHITECT  
APPROVED BY: [Signature]  
DATE: 05/28/2021  
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Change orders and addendums to be made on separate sheets.  
For information only.



UNPROTECTED OPENING	
WALL AREA	1372.17
ALLOWABLE WINDOW AREA 87%	96.08
ACTUAL WINDOW AREA	86.38

Building Division  
OBC Review  
05/28/2021  
Jesse Wong  
City of Aurora  
Planning and Development Services

PLANNING & DEVELOPMENT SERVICES - BUILDING DIVISION  
PERMIT NO. PR20210885 DATE: Jun. 17, 2021  
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INSPECTION REQUEST EMAIL: BUILDING@CITY.AURORA.ON.CA  
INSPECTION REQUEST TELEPHONE: (905) 704-7779

Zoning Review  
Ashley Vandenberg  
May 20, 2021

NO.	DATE	REVISION DESCRIPTION	NOTE
1	2020-04-15	ISSUED FOR ZEC	CITY

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STAMP	NORTH	PROJ/REV. NO.	DWG. NO.
		USG 18-198	
		SHEET TITLE	7B
		RIGHT SIDE ELEVATION EL. 'B' SCALE: 3/16"=1'-0"	18"X24" SHEET SIZE
		PROJECT DORMER HILL 40-01 14029 YONGE ST. Aurora ON L4G 0P1	

URBANS  
ARCHITECTS

236 LESMILL ROAD, TORONTO, ON M8B 2T5  
phone: 416.850.0021  
info@urbanscaarchitect.com | www.urbanscaarchitect.com



UDC REVIEW  
Terence Wong  
05/28/2021

**Town of Aurora  
Planning and Development Services**

TOWN OF AURORA  
PLANNING & DEVELOPMENT SERVICES – BUILDING DIVISION  
PERMIT NO. **PR20210685** DATE **Jun. 17, 2021**  
ALL CONSTRUCTION SHALL COMPLY WITH THE ONTARIO BUILDING CODE  
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UNPROTECTED OPENING		1370.20
WALL AREA		
ALLOWABLE WINDOW AREA 40%		55.92
ACTUAL WINDOW AREA		84.54

NO.	DATE	REMARK DESCRIPTION	NOTE
1	2020-06-15	ISSUED FOR ZCC	QTY

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PROJ.REV. NO.  
USG 16-198

TITLE  
LEFT SIDE ELEVATION EL. 'B'  
SCALE: 3/16"=1'-0"

PROJECT  
DORMER HILL 40-01  
14029 YONGE ST., Aurora ON L4G 0P1

DESIGN |

88

16"x24" SHEET SIZE



URBANSCAPE  
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Building Division  
OBC Review  
Terence Wong  
05/28/2021  
Town of Aurora  
Planning and Development Services

Zoning Review  
Ashley Vandewal  
May 20, 2021

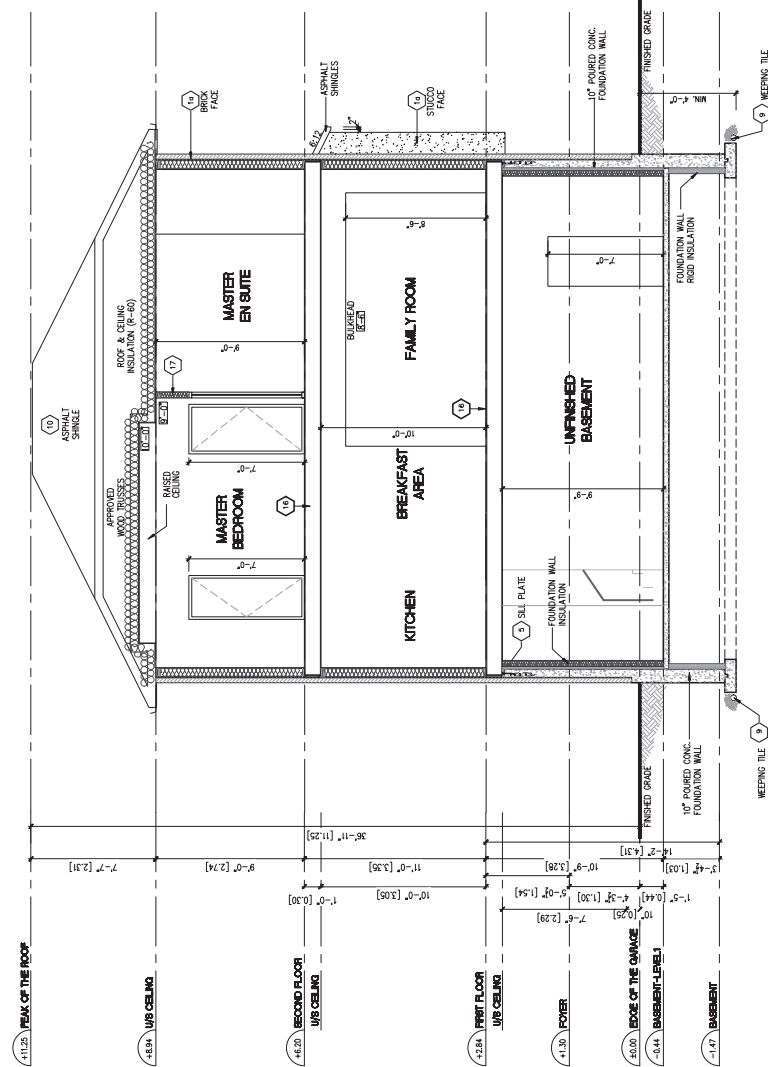


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NO.	DATE	REVISION DESCRIPTION	NOTE
1	2020-06-15	ISSUED FOR EDC	

STAMP

PROJECT: USG 18-198

PROJECT NO. USG 18-198

PROJECT TITLE: BUILDING SECTION EL 'B'

SCALE: 3/16"=1'-0"

PROJECT: DORMER HILL 40-01

14029 YONGE ST, Aurora ON L4G 0P1

PROJECT: 18'x24" SHEET SIZE

DESIGN

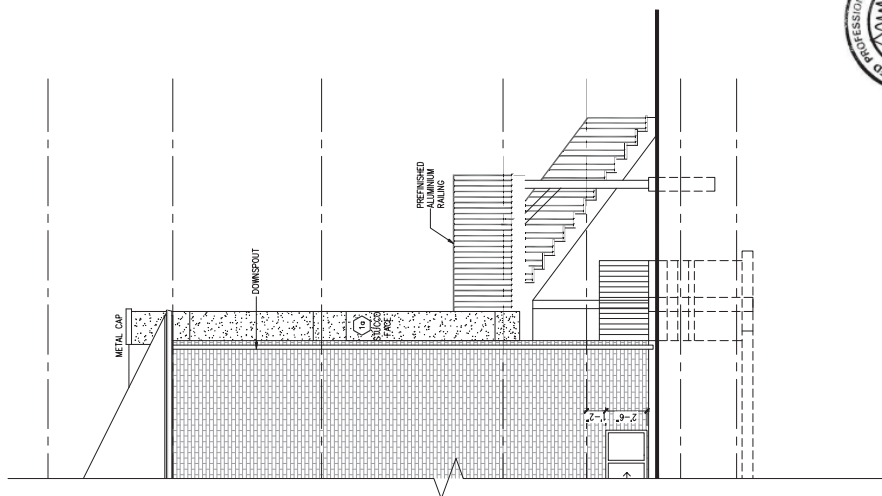
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9B

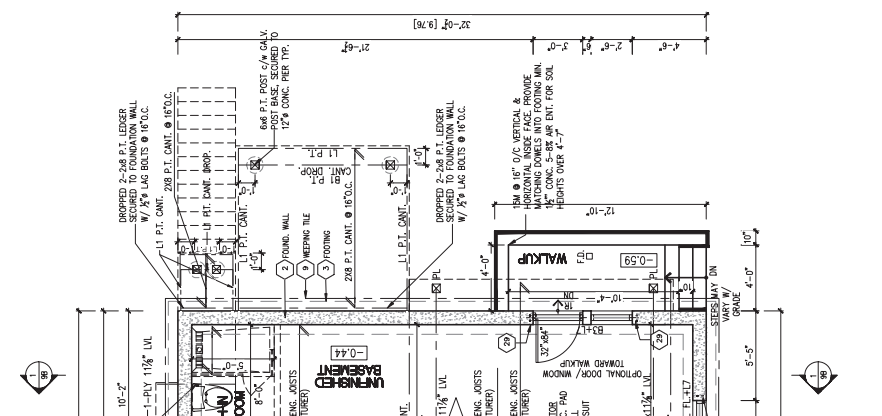
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Partial Side Elevation W/MAW/KIPB



Partial Basement Plan 11/11/11

**TYPICAL BASEMENT FLOOR PLAN NOTES**  
 PROVIDE FULL HEIGHT 10" CONC. FOUNDATION WALLS  
 WHERE SOIL HEIGHT EXCEEDS 4'-7" TYP. UNLESS NOTED  
 OTHERWISE  
 ALL DECK FRAMING TO BE P.T. UNLESS NOTED OTHERWISE

NO.	DATE	REVISION DESCRIPTION	NOTE
1	2020-06-15	ISSUED FOR ZIC	QTY

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PROJECT/REV. NO.	USG 16-198	DATE	10/01/2010
SHEET TITLE	PARTIAL BASEMENT FLOOR PLAN & SIDE ELEVATION EL. 'B' WALL/CUP SCALE: 3/16" = 1'-0"	10B	10/01/2010
DESIGN		10/01/2010	

1000

10B

18"X24" SHEET SIZE

JUSG 16-198

LE  
PARTIAL BASEMENT FLOOR PLAN & SIDE  
ELEVATION EL. 'B' WNWAL KUP

SCALE: 3/16"=1'-0"

DORMER HILL 40-01  
14029 YONGE ST. Aurora ON L4G 0P1

DORMER HILL 40-01

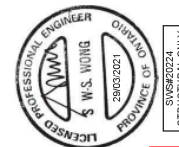




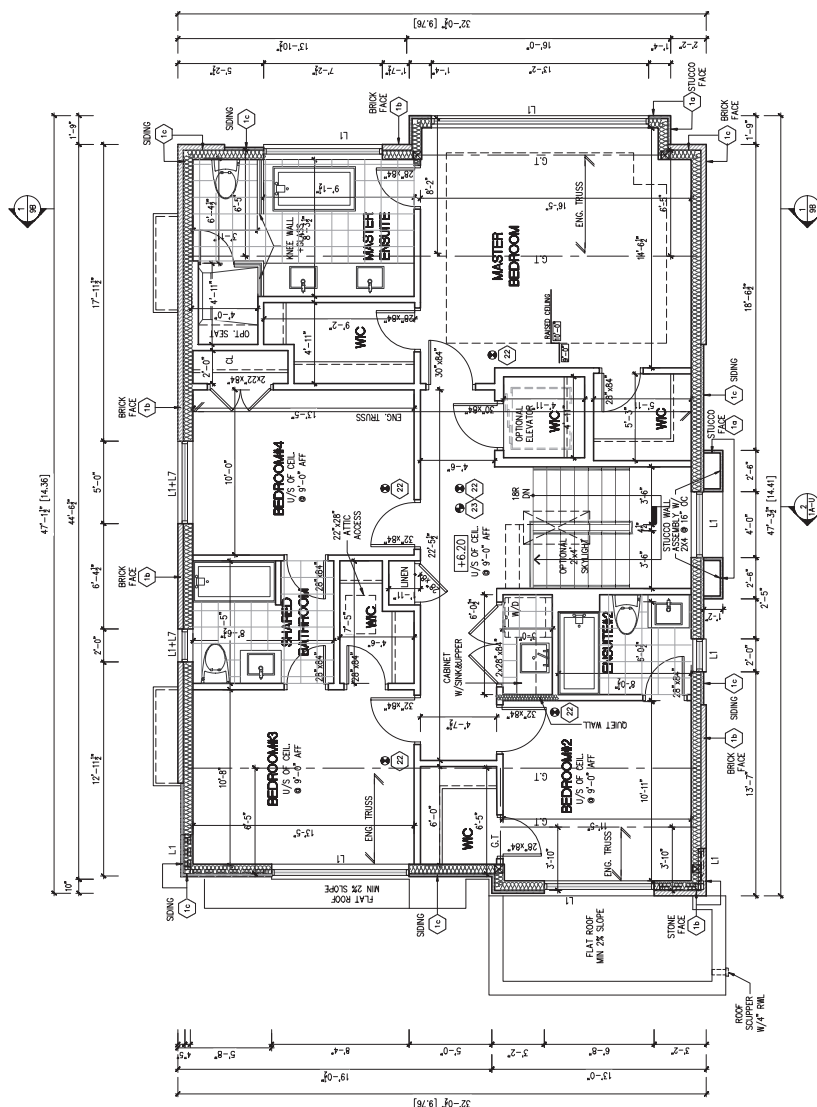
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REGISTERED PROFESSIONAL ARCHITECT  
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Building Division  
OBC Review  
Terence Wong  
05/28/2021  
Town of Aurora  
Planning and Development Services

Zoning Review  
Ashley Vandewal  
May 20, 2021

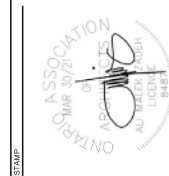


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PROJECT NO. PR20210685 DATE: JUN. 17, 2021  
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NO.	DATE	REVISION DESCRIPTION	NOTE
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PROJECT NO. USG 18-198  
SHEET TITLE  
SECOND FLOOR PLAN EL. 'B' - SIDE UPGRADE  
SCALE: 3/16"=1'-0"

URBANSCAPE  
ARCHITECTS

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NO.	DATE	RECEIPT DESCRIPTION	NOTE
1	2006-06-16	PAID FOR ZTC	QTY

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STAMP	NORTH	PROJURY NO.	DWG NO.	DESIGN
		USG 16-198		
		<p>SHEET TITLE</p> <p>RIGHT SIDE ELEVATION EL. 'B' - SIDE UPGRADE</p> <p>SCALE: 3/16"=1'-0"</p>		3B-U
		PROJECT		16'x24' SHEET SIZE

USG 16-198

RIGHT SIDE ELEVATION EL. 'B' - SIDE UPGRADE  
SCALE: 3/16"=1'-0"

DORMER HILL 40-01  
14029 YONGE ST. Aurora ON L4G 0P1

DESIGN

DING NO.

3B-U

18"x24" SHEET SIZE





CONCRETE PAD FOOTING LEGEND		
	NATURAL UNDISTURBED SOIL	COMPACTED ENGINEERED FILL
F0	46" x 46" x 20"	52" x 52" x 24"
F1	36" x 36" x 16"	40" x 40" x 18"
F2	24" x 24" x 10"	28" x 28" x 12"

**TYPICAL BASEMENT FLOOR PLAN NOTES**  
 PROVIDE FULL HEIGHT 10" CONC. FOUNDATION WALLS  
 WHERE SOIL HEIGHT EXCEEDS 4'-7" TYP. UNLESS NOTED  
 OTHERWISE  
 ALL DECK FRAMING TO BE P.T. UNLESS NOTED OTHERWISE

NO.	DATE	REVISION DESCRIPTION	NOTE
1	2023-06-15	ISSUED FOR ZFC	QTY

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PROJECT NO.	USG 16-198	DWG NO.	0C	DESIGN
SHEET NO.	FOUNDATION PLAN E.L. 'C' SCALE: 3/16"=1'-0"			
PROJECT	16'-0" x 24' SHEET SIZE			

NORTH

STAMP

VOTE

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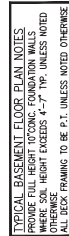
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1



NO.	DATE	RECEIPT DESCRIPTION	NOTE
1	2006-06-16	PAID FOR ZTC	QTY

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PROJ.REV. NO.  
USG 16-198

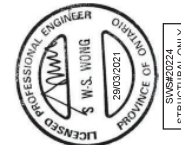
SHEET TITLE

DORMER HILL 40-01  
14029 YONGE ST. Aurora ON L4G 0P1

1C

18"x24" SHEET SIZE





DESIGN

DWG NO.

PROJECT NO.

NORTH

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REVISION DESCRIPTION

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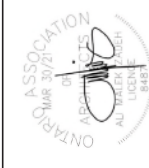
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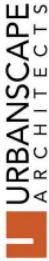
3C

SECOND FLOOR PLAN EL. 'C'  
SCALE: 3/16"=1'-0"

DORMER HILL 40-01  
14029 YONGE ST., Aurora ON L4G 0P1



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DESIGN

DWG NO.

4C

18"X24" SHEET SIZE

PROJECT NO. USG 18-198

SHEET TITLE  
ROOF PLAN EL. 'C'  
SCALE: 3/16"=1'-0"

PROJECT  
DORMER HILL 40-01  
1429 YONGE ST. Aurora ON L4G 0P1

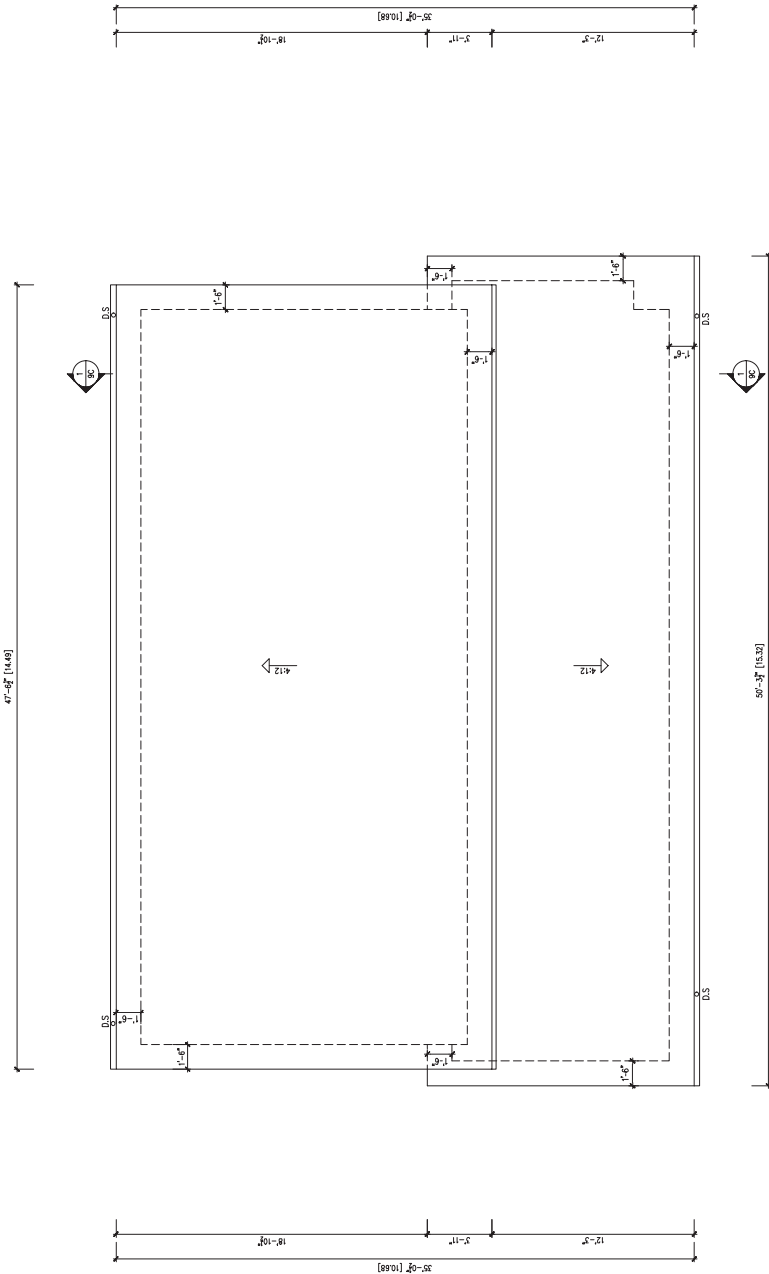
NORTH

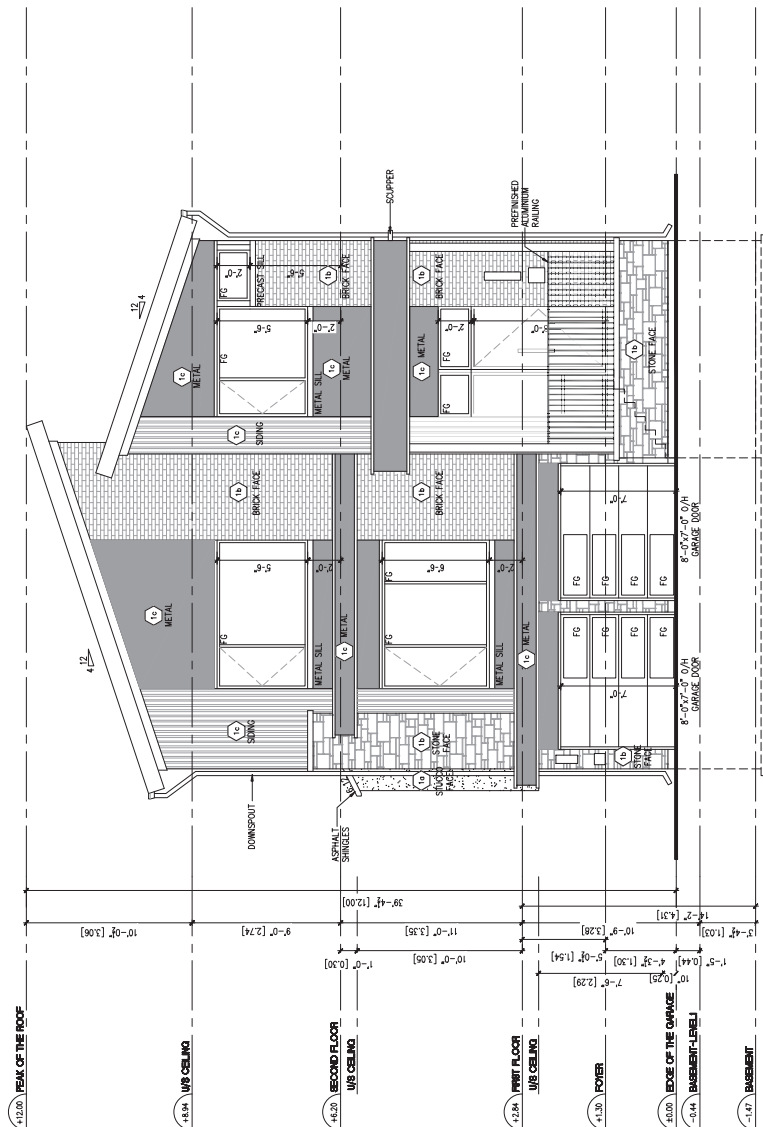
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NO.	DATE	REVISION / DESCRIPTION	NOTE
1	2018-04-15	ISSUED FOR ZCC	CITY

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DORMER HILL 40-01 EL. C ENERGY EFFICIENCY SE12			
ELEVATION	WALL SUFF.	OPENING SQ. FT.	PERCENTAGE
FRONT	538.44	198.66	19.85%
REAR	538.44	253.36	26.36%
RIGHT	1372.11	196.97	7.80%
LEFT	1371.38	62.00	4.32%
TOTAL	4022.36	690.99	13.18%

PROJECT: DORMER HILL 40-01  
14029 YONGE ST., Aurora ON L4G 0P1

PROJECT TITLE: FRONT ELEVATION EL. 'C'  
SCALE: 3/16"=1'-0"

PROJECT: DORMER HILL 40-01  
14029 YONGE ST., Aurora ON L4G 0P1

PROJ./REV. NO.: USG 18-198

DESIGN: 5C

18'x24" SHEET SIZE

DATE: 2020-06-15  
REVISION DESCRIPTION: ISSUED FOR IFC

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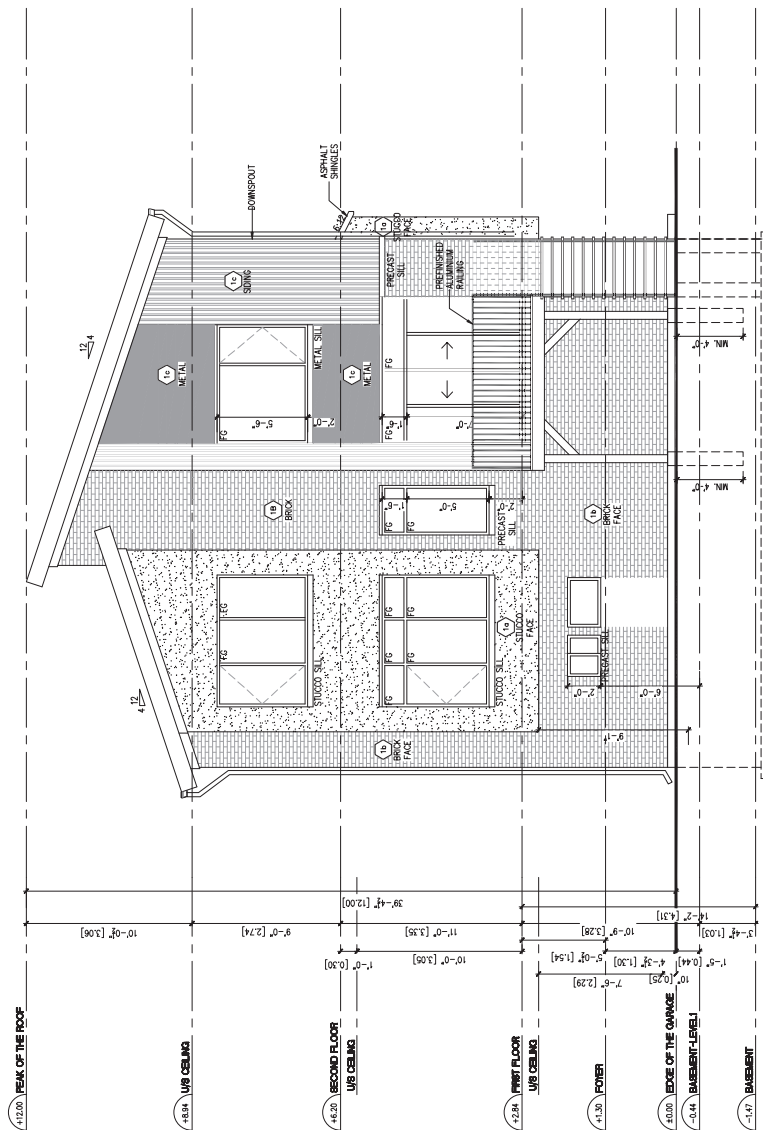
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STAMP: URBANSAPPEARCHITECTS



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DESIGN

6C

18"X24" SHEET SIZE

PROJ/REV. NO. USG 18-198

PROJ. TITLE REAR ELEVATION EL. 'C'  
SCALE 3/16"=1'-0"

PROJECT DORMER HILL 40-01  
1429 YONGE ST. Aurora ON L4G 0P1

STAMP

DATE 2020-06-15

REVISION DESCRIPTION ISSUED FOR ZCC

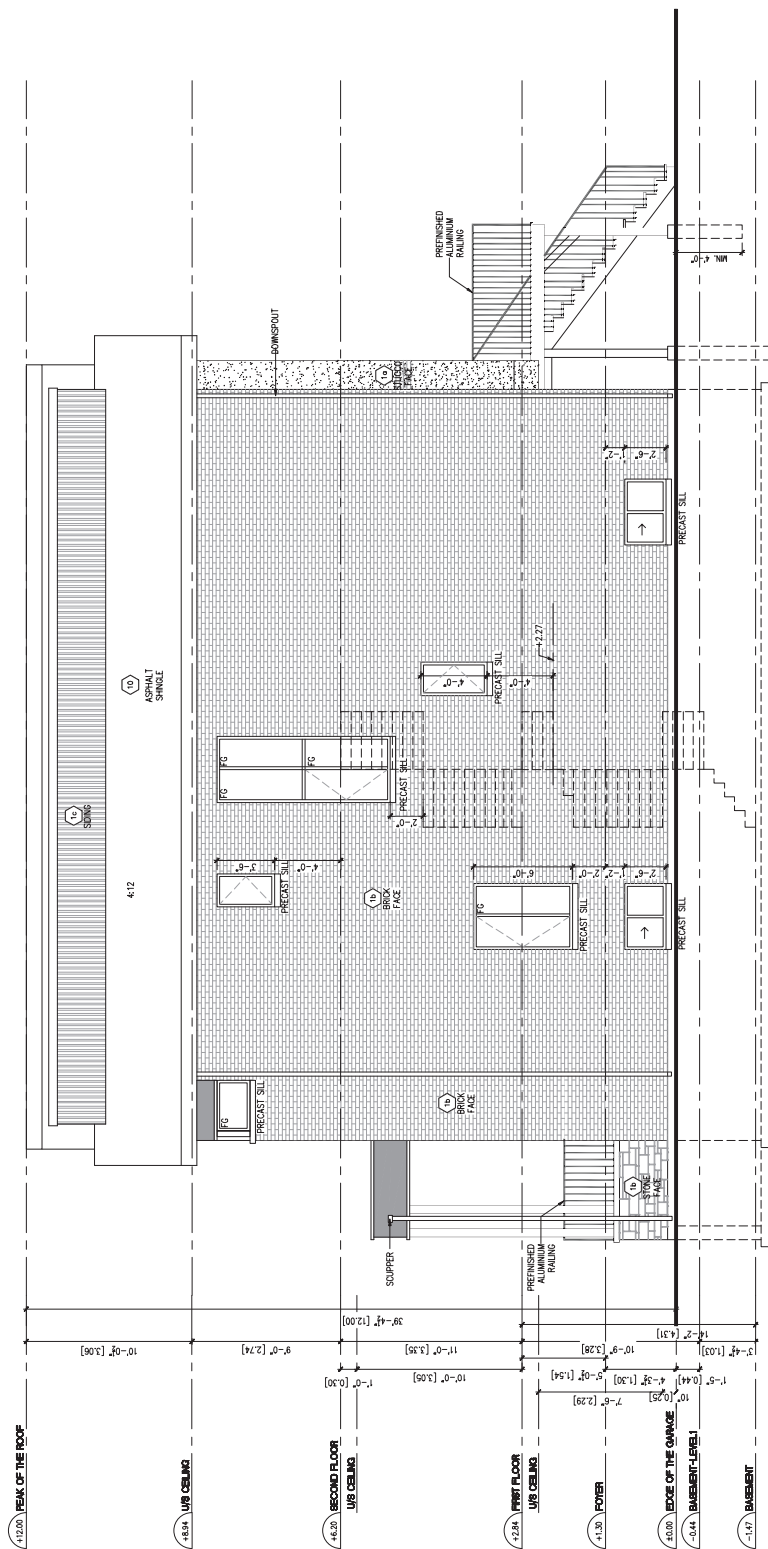
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ASSOCIATION OF ARCHITECTS OF ONTARIO

ARCHITECT

1429 YONGE ST. EAST

1429 YONGE ST. EAST



UNPROTECTED OPENING	
WALL AREA	1322.11
ALLOWABLE WINDOW AREA 87%	96.05
ACTUAL WINDOW AREA	106.57

NO.	DATE	REVISION / DESCRIPTION	NOTE
1	2020-04-15	ISSUED FOR RFP	

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SHEET TITLE: RIGHT SIDE ELEVATION EL. 'C'  
SCALE: 3/16"=1'-0"

PROJECT: DORMER HILL 40-01  
14029 YONGE ST., Aurora ON L4G 0P1

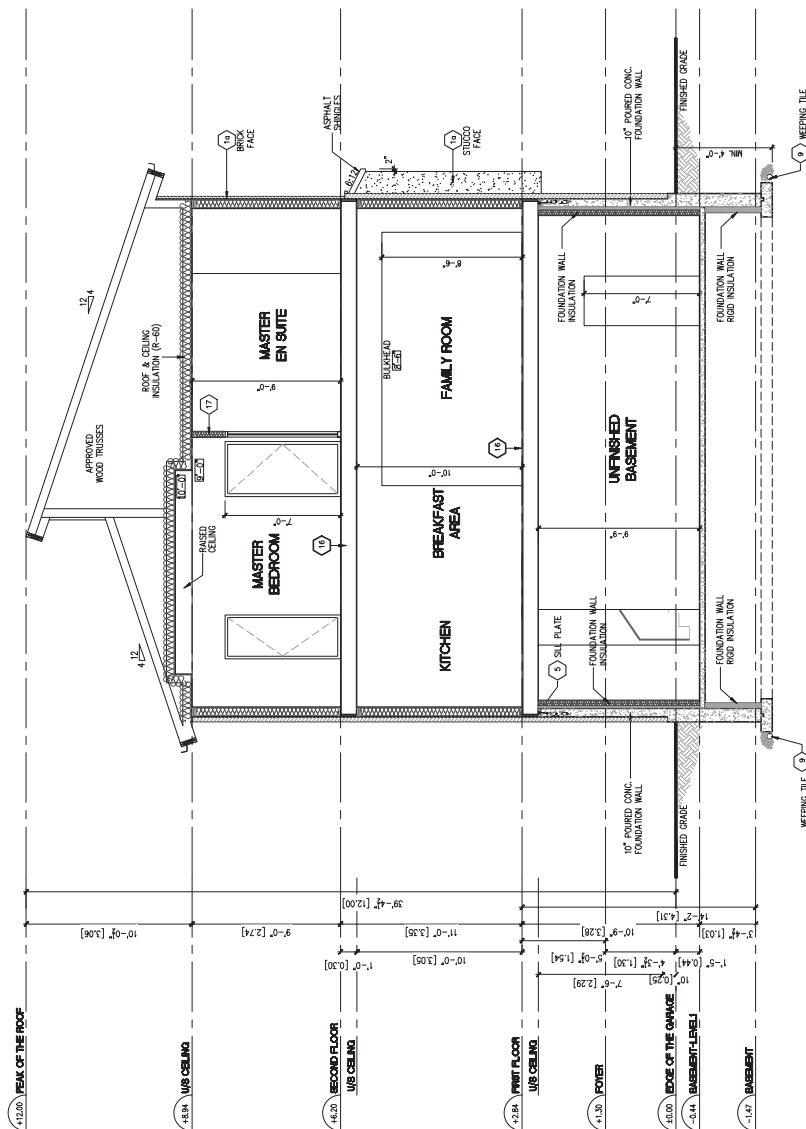
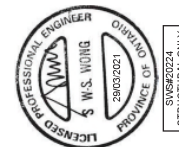
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URBANSAPPE  
ARCHITECTS  
236 LESMILL ROAD, TORONTO, ON M8B 2T5  
phone: 416.850.0021  
info@urbanscapearchitect.com | www.urbanscapearchitect.com





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PROJECT NO. USG 18-198

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DATE: 2020-06-15

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info@urbanscapearchitect.com | www.urbanscapearchitect.com



STRUCTURAL ONLY

DESIGN

DWG NO.

10-U

18'x24" SHEET SIZE

USG 18-188

PROJECT NO.

SECOND FLOOR PLAN EL. 'C' - SIDE UPGRADE  
SCALE: 3/16"=1'-0"

SHEET TITLE

DORMER HILL 40-01  
14029 YONGE ST., Aurora ON L4G 0P1

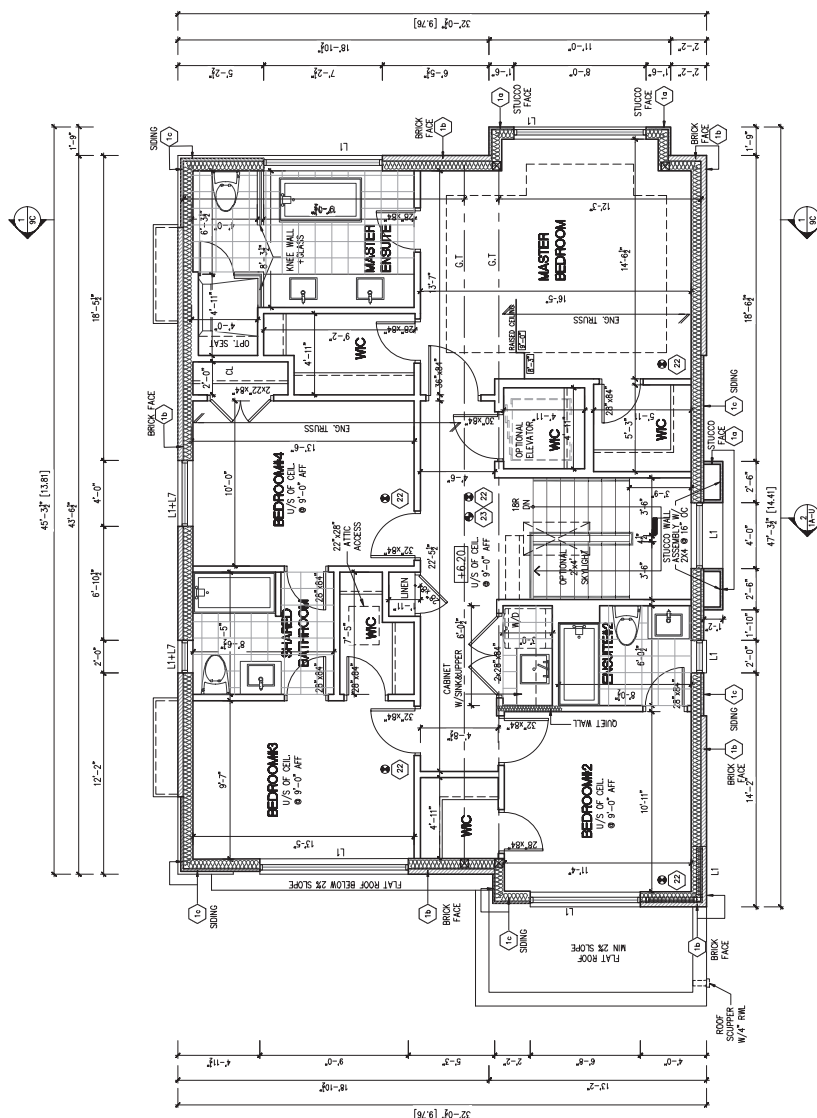
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NO.	DATE	REVISION DESCRIPTION	NOTE
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info@urbanlandscapearchitect.com | www.urbanlandscapearchitect.com

DWG NO.

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USG 16-198

ROOF PLAN EL. 'C' - SIDE UPGRADE  
SCALE: 3/16"=1'-0"

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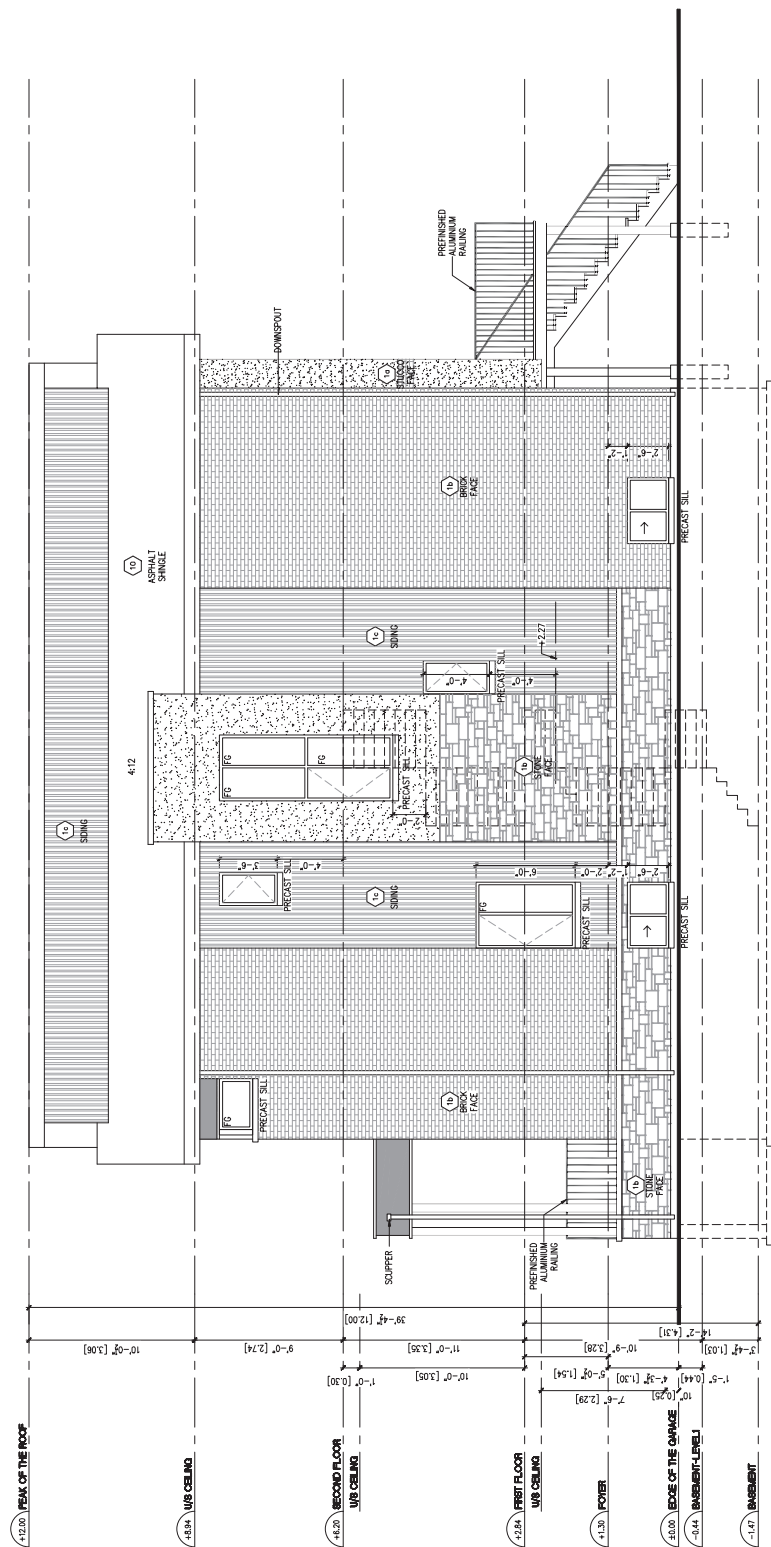
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14029 YONGE ST. Aurora ON L4G 0P1

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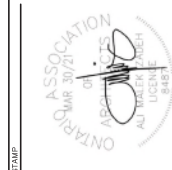
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1	2006-06-16	PAID FOR ZTC	QTY

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NO.	DATE	REVISION / DESCRIPTION	NOTE
1	2020-06-15	ISSUED FOR IFC	CITY

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PROJECT: DORMER HILL 40-01  
1429 YONGE ST. Aurora ON L4G 0P1

PROJ. REV. NO. USG 18-198  
SHEET TITLE: RIGHT SIDE ELEVATION EL. C - SIDE UPGRADE  
SCALE: 3/16"=1'-0"

DWG. NO. 3C-U  
18'x24" SHEET SIZE

DESIGN  
URBANSAPCE ARCHITECTS  
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November 10, 2021

Committee of Adjustment  
 Town of Aurora  
 100 John West Way, Box 1000  
 Aurora, Ontario  
 L4G 6J1

Attn: Brashanth Manoharan

Dear Ms. Manoharan.

RE: Application for Minor Variance  
 Lots 1 and 23, Plan 65M-4704  
 Dormlind Developments Limited  
 Town of Aurora

Evans Planning Inc. acts on behalf of Dormlind Developments Limited ('Dormlind'), the owner of properties legally described as 'Lot 1, Plan 65M-4074' and 'Lot 23, Plan 65M-4074' in the Town of Aurora (the 'subject land'). The subject lands are located west of Yonge Street, north of Hunter's Glen Road/Elderberry Trail. Dormlind has previously obtained approval of Official Plan and Zoning By-law Amendments, as well as a Draft Plan of Subdivision (since registered), Draft Plan of Condominium, and Site Plan Control applications establishing a land-use framework for the redevelopment their lands previously municipally known as 14029 Yonge Street. In particular Official Plan Amendment No. 18 establishing Site Specific Policy No. 49 was enacted by the Town through By-law 6110-18. Further, a Zoning framework for the lands were established through the approval of Zoning By-law Amendment 6111-18 in July 2018.

The proposed redevelopment of the lands consists of 27 single detached dwellings of common element condominium tenure, accessed by two privately owned laneways extending from Yonge Street – Royal Hill Court and Kingwood Lane. Under future conditions, it is anticipated that Kingwood Lane will extend northwards facilitating a connection in the event of the future development of the adjacent property. The Draft Plan of Subdivision to create the lot fabric for the proposed development was Registered as Plan 65M-4704 on August 20, 2021.

On behalf of our client, we herewith submit for the Committee of Adjustment's consideration applications for Minor Variance approval for Lots 1 and 23, Plan 65M-4704.

#### **Required Variances:**

Through the course of review as part of the Building Permit application process, it was determined that relief was required for Lots 1 and 23 with respect to the following provisions of the Town's Comprehensive Zoning By-law 6000-17:



### **1. Section 7.2 – Detached Fourth Density Residential (R4) Minimum Rear Yard Setback:**

The R4 Zone requires a minimum rear yard setback of 7.5 metres, whereas the proposed rear yard setbacks are 6.56 metres for Lot 1, and 6.75 metres for Lot 23. We would thus request relief from the provisions of the By-law to permit a minimum rear yard depth of 6.5 metres for both lots.

### **Four Tests of the Planning Act:**

#### Is it in keeping with the general intent and purpose of the Official Plan?

The proposed dwellings remain compliant with the site-specific provisions of the Town of Aurora Official Plan, including the required setbacks from Yonge Street.

#### Is it in keeping with the general intent and purpose of the Zoning By-law?

The proposed dwellings will maintain an appropriate rear yard, suitable for outdoor amenity, despite the proposed reduction in depth.

#### Is it desirable for the appropriate development or use of the land, building or structure?

The proposed variances will continue to provide a built form which is to be developed and used in accordance with the site-specific provisions previously established for the lands through Council approval of the implementing land use framework and Plans of Subdivision/Condominium. It is submitted that this framework is not fundamentally altered by the proposed variances and thus remains desirable for the use of the land.

#### Is the variance minor in nature?

In our opinion, the proposed variances are minor in nature. Both instances with the reduced rear yard condition reflect a 'pinch point' on the property due to a lot line that is not parallel to the proposed dwelling. The rear yard widens across the width of the lot such that the other corner of the proposed building. The rear yard for Lot 1 abuts Town owned lands, which will accommodate a future trail, along which a berm and acoustic barrier is to be erected. The rear yard for Lot 23 abuts lands protected for environmental purposes. Accordingly, the reduction in rear yard will not have an impact on an adjacent dwelling, or be readily visible from any area of the public realm. Further, the reduced setback will not impact the ability of the rear yard to function for its intended purpose – as outdoor amenity space. The form of relief requested through the proposed Variances are numerically modest, and would not require another form of relief such as through a Zoning By-law Amendment.

### **Supporting Materials**

To assist Committee Staff with their review of this application, we respectfully submit the following materials in digital format:



- 
- A completed Minor Variance Application Form for each of Lots 1 and 23
  - Application fees of \$2,475.00 for each of Lots 1 and 23
  - A copy of Plan 65M-4704
  - A Parcel Register for each of Lots 1 (PIN 03673-0280) and 23 (PIN 03673-0302)
  - A Preliminary Zoning Review Letter, and associated stamped plans, for each of Lots 1 and 23
  - A Siting Plan for Lot 1, prepared by Urbanscape Architects (revision 8), dated November 8, 2021
  - A Site Plan for Lot 23, prepared by Urbanscape Architects (revision 4), dated November 8, 2021
  - Conceptual Architectural Plans for each of Lots 1 and 23, prepared by Urbanscape Architects, including:
    - Building Statistics
    - Floor Plans
    - Building Elevations
    - Building Cross Sections
    - Construction Notes

I trust that the enclosed materials are sufficient for your review of these applications. Should you require any additional information, please do not hesitate to contact the undersigned at your earliest convenience.

Yours truly,

Adam Layton, RPP, MCIP

cc. Dormlind Developments Limited



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#### Appendix 'A' – Restriction on Title

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Restrictive Covenant - S. 118 per the requirements of Schedule C, section 1.1.1 of the Development Agreement, which restricts the transfer of the POTLS without the consent of the Town until the registration of the Condo Plan.



100 John West Way  
Aurora, Ontario  
L4G 6J1  
(905) 727-3123  
aurora.ca

Town of Aurora

## Committee of Adjustment Report

No. MV-2021-32

**Subject:** **Minor Variance Application**  
Hollidge Properties Inc.  
150 Hollidge Boulevard  
Part of Block 1, Plan 65M3074  
File: MV-2021-32  
Related Planning Application(s): N/A

**Prepared by:** Matthew Peverini, Planner

**Department:** Planning and Development Services

**Date:** December 9, 2021

## Application

The applicant is requesting relief from the requirements of the Town's Comprehensive Zoning By-law 6000-17, as amended, to permit a "Fitness Centre" use on the subject property. The following relief is being requested:

- a) Section 24.187.1 of the Zoning By-law does not list "Fitness Centre" as a permitted use. The applicant is proposing a "Fitness Centre" as a permitted use.

## Background

### Subject Property and Area Context

The subject property is municipally known as 108-170 Hollidge Boulevard, and is located west of Bayview Avenue, on the north side of Hollidge Boulevard. The subject property is a local shopping centre (The Bayview Centre), which contains a total of four (4) buildings. The subject property has approximate lot area of 1.36 hectares (3.36 acres), and lot frontage of 231 metres (757.9 feet).

The westerly building (108 Hollidge Boulevard) is occupied by a daycare; the easterly building (170 Hollidge Boulevard) is occupied by a Tim Horton's restaurant and associated drive-thru facility; and the central two buildings (130 and 150 Hollidge Boulevard) are multi-tenant buildings, occupied by commercial and retail uses.



Surrounding land uses include: residential, open space, and institutional to the north; McMaster Avenue, hydro corridor, and residential to the west; commercial to the south; and, Bayview Avenue, vacant institutional lands, commercial, and residential to the east.

## Proposal

The applicant is requesting to add a “Fitness Centre” as a permitted use on the subject property. The nature of the “Fitness Centre” use will be for a Kick Boxing/Martial Arts studio. The use is proposed within Unit C-7 of 150 Hollidge Boulevard, which has a gross leasable floor area of 104.8 m<sup>2</sup> (1,128 ft<sup>2</sup>).

## Official Plan

The Town’s Official Plan designates the subject property as “Existing Commercial” on Schedule ‘A’ Structure Plan, and more specifically “Community Commercial Centre” on Schedule ‘C’ Commercial Centres. The intent of the Community Commercial Centre designation is to provide for a full range of retail and service commercial uses to serve the wider residential community. “Recreational and Health Establishments” are permitted uses under this designation.

General policies for commercial areas encourage revitalization of existing commercial areas, and provide that where any commercial use is permitted adjacent to residential uses, consideration shall be given to the nature of the commercial use to ensure minimal impacts.

## Zoning

The subject lands are zoned “Community Commercial C4(187) Exception Zone” by the Town of Aurora Zoning By-law 6000-17, as amended. The following uses are permitted:

- Clinics;
- Convenience Retail Stores;
- Dry Cleaner’s Distribution Depot;
- Financial institutions (no drive-thru);
- Offices;
- Places of entertainment;
- Retail stores;
- Service shops, personal;
- Maximum of one restaurant, drive-thru special;
- Health Centre (by way of minor variance in 2011);
- Commercial School (by way of minor variance in 2013); and,
- Daycare Centre (by way of minor variance in 2017).

The Zoning By-law does not permit the proposed “Fitness Centre”, which is defined as “means a premises in which facilities are provided for recreational or athletic activities such as body-building, exercise classes, martial arts classes, gymnastics, and may include associated facilities such as a sauna, pool, a solarium or like facilities.”

## **Preliminary Zoning Review**

A Preliminary Zoning Review (PZR) has been completed by the Town of Aurora's Building Division. The PZR identified the required variance and no other non-compliance was identified.

### **Applicant's stated reason(s) for not complying with the Zoning By-law**

As stated on the application form, "Proposed use of a Fitness Centre on the lands is not permitted by the site-specific exception 187 (zone)".

## **Planning Comments**

Planning Staff have evaluated Minor Variance Application MV-2021-32 pursuant to the prescribed tests as set out in Section 45 (1) of the Planning Act, as follows:

### **a) The proposed variance meets the general intent of the Official Plan**

A "Fitness Centre" falls within the scope of "Recreational and Health Establishments", which is permitted by the Official Plan. Further, a "Fitness Centre" is a service commercial use that will serve the wider residential community, and also contribute to the ongoing vitality of this commercial centre. The proposed use is not anticipated to negatively impact abutting residents as its operations are small in scale, and will not emit any odours or noise.

As such, Staff are of the opinion that the requested variance meets the general intent of the Official Plan.

### **b) The proposed variance meets the general intent of the Zoning By-law**

The existing C4(187) Zone permits a range of commercial and retail uses. While not specifically listed as a permitted use, Staff consider a "Fitness Centre" use to fall within the broader range of permitted commercial uses of a local shopping centre, without impacting existing permitted uses under the C4(187) Zone. Additionally, a "Fitness Centre" use is generally consistent with the uses permitted in the C4 (187) zone and staff also note that a "Fitness Centre" is permitted under the parent Community Commercial (C4) Zone.

A preliminary zoning review has identified that the addition of a "Fitness Centre" use will not result in a parking shortfall on the subject lands, as the parking rate for a Shopping Centre (GFA less than 28,000 m<sup>2</sup>) is 4.5 spaces per 100 m<sup>2</sup> of GFA, and there is no additional GFA being proposed to facilitate the proposed use on the property.

Staff are of the opinion that the requested variance meets the general intent of the Zoning By-law.

**c) The proposed variance is considered desirable for the appropriate development of the land**

The proposed "Fitness Centre" will contribute to the ongoing vitality of the existing commercial centre. It is compatible with the surrounding land uses, and is permitted in similarly zoned plazas throughout the Town. Additionally, a "Fitness Centre" use would complement both the existing uses on the property and the host community.

As such, the proposed variance is considered to be desirable for the appropriate use of the subject lands.

**d) The proposed variance is considered minor in nature**

No changes to the building footprint are proposed, no adverse impacts on the subject property or adjacent properties and uses are foreseen, and the use complements the host community. The proposed "Fitness Centre" use is small in scale, and will be wholly enclosed within a unit on the subject property.

As such, Staff consider the proposed variance to be minor in nature.

## **Additional Comments**

The minor variance application was circulated to Town Department/Divisions and to external agencies for review and comment. The following comments were provided:

<b>Department or Agency</b>	<b>Comments</b>
Building Division	Preliminary Zoning Review was completed on October 29, 2021.
Engineering Division	Comments provided stating no comments/concerns with the proposed application (dated November 15, 2021).
Operational Services (Parks)	Comments provided stating no comments/concerns with the proposed application (dated November 26, 2021).
Operational Services (Public Works)	No comments received at the time of writing this report.
Accessibility Advisor	Comments provided stating no comments/concerns with the proposed application (dated November 22, 2021).

Department or Agency	Comments
Central York Fire Services	No comments received at the time of writing this report.
York Region	Comments provided stating no comments/concerns with the proposed application (dated November 17, 2021).
LSRCA	The subject property is located outside of an LSRCA Regulated Area.
Alectra	We have reviewed the proposed Variance application and have no objections to its approval.
Ministry of Transportation	The subject property is not within an MTO permit control area and does not require MTO review or permits (dated November 15, 2021).

## Public Correspondence

One (1) written submission was received at the time of writing this report from the President of the Baywell Community Ratepayers Association (BCRA). This submission provided that feedback from a majority of the members of the ratepayers group was received, and the consensus is that a fitness/martial arts centre will be a great addition to the plaza. Further, the BCRA has no issues, and supports the approval of this application.

Should additional written submissions be received after the writing of this report, the Secretary Treasurer will provide the submission(s) to Committee members at the meeting.

## Conclusion

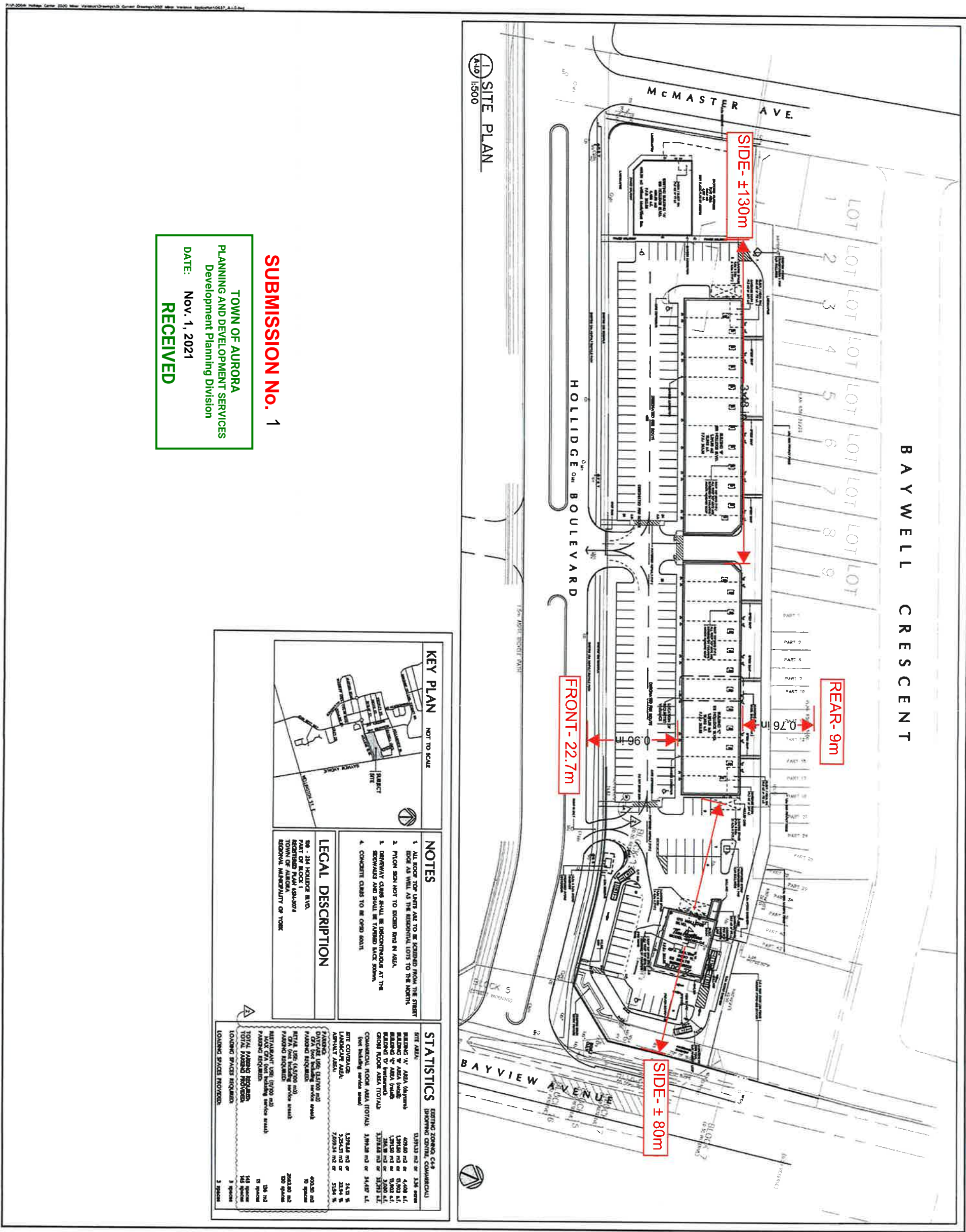
Planning staff have reviewed the application with respect to Section 45(1) of the Planning Act, R.S.O., 1990, c.P.13, as amended, and are of the opinion that the requested variance does meet the four tests of the Planning Act for granting of minor variances.

## Attachments

Appendix 'A' – Site Plan and Floor Plan

Appendix 'A' - Site Plan and Floor Plan

P:\P-20041 Hollidge Center 2020 Minor Variance\Drawings\01 Current Drawings\2021 Minor Variance Application\0637\_A-1-1.dwg, 2021-10-21 10:11:59 AM, MatthewB, DWG To PDF.pc3



No.	ISSUED	DATE
1	RE-SELECTED FOR SPA	APR. 10 2019
2	ISSUED FOR COA	OCT. 21, 2021

No.	REVISION	DATE
1	REVISED AS PER PRINCIPAL COMMENTS	APR. 10 2019
2	REVISED AS NOTED	APR. 28, 2020

BALDASSARRA Architects inc.

30 GERRARD AVE. UNIT 20 | CONCORD ON | L4K 0K7  
T. 905.680.0722 | www.baldassarria.ca

OWNER INFORMATION:

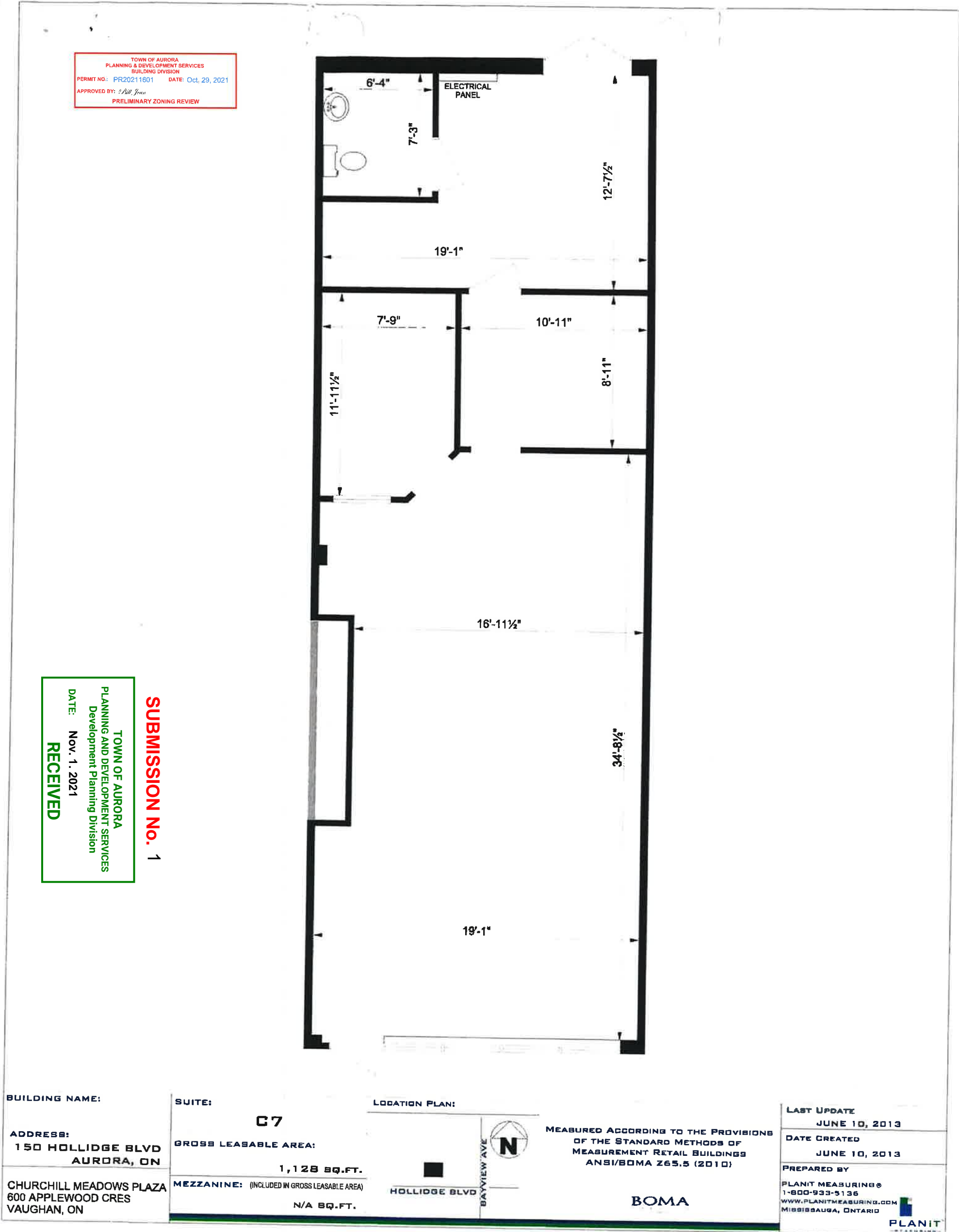
HOLLIDGE & McMASTER

108 - 224 HOLLIDGE BLVD.  
AURORA, ON

SITE PLAN

DATE: OCT. 2021  
DRAWN BY: CL  
CHECKED BY: NTS.  
PROJECT NO: 06-37  
A-1.0

Appendix 'A' - Site Plan and Floor Plan







100 John West Way  
Aurora, Ontario  
L4G 6J1  
(905) 727-3123  
aurora.ca

Town of Aurora

## Committee of Adjustment Report

No. MV-2021-33

**Subject:**                   **Minor Variance Application**  
Mahmoudi  
243 Murray Drive  
PLAN M2035, Lot 24  
File Number: MV-2021-33

**Prepared by:**           Stephen Corr, Senior Development Planner

**Department:**          Planning and Development Services

**Date:**                    December 9, 2021

## Application

The owner/applicant is requesting relief from the requirements of the Town's Comprehensive Zoning By-law 6000-17, as amended, to facilitate two second units within the basement of an existing single detached dwelling. The following relief is being requested:

- a) Section 7.1.1 Note (4) specifies a maximum of one second suite dwelling unit shall be permitted per Lot. Whereas the Applicant is proposing two second suite dwelling units in the basement on the property.
- b) Section 7.5.4.2 specifies the minimum area for each dwelling unit shall be 35.0 square meters. Whereas the Applicant is proposing one of the two second suite dwelling units in the basement to be 22.2 square meters.

## Background

### Subject Property and Area Context

The 0.1224 ha (0.3026 ac) subject lands are located on the west side of Murray Drive, south of Trillium Drive and north of Golf Links Drive. The subject lands have an approximate lot frontage of 31.37 m (102.92 ft) and approximate depth of 44.3 m (145.33 ft). The property is developed with a two-storey dwelling, which has a total

Gross Floor Area (GFA) of approximately 374.53 m<sup>2</sup> (4,0314 ft<sup>2</sup>), as shown in Appendix 'A'. The two second suites within the basement of the detached dwelling are existing and shown in Appendix 'B'. Vehicle parking for up to 4 parking spaces is provided onsite, two within an attached garage and two on a driveway to access Murray Drive. An existing side entrance is located on the north side of the dwelling which provides access to the secondary units through a shared interior stairway to the basement. Staff conducted a site visit which identified that there is also a storage shed on the south side of the dwelling for enclosed waste storage.

The subject lands are surrounded predominantly by single detached dwellings to the north, south, east and west.

A creek is located on vacant lands which abut the subject lands to the south. These lands, as well as vacant lands to the east across Murray Drive were formerly part of the Highland Gate Golf Club, which is proposed to be redeveloped as part of a Draft Plan of Subdivision. The draft approved plan of subdivision includes four proposed detached lots on the east side of Murray Drive, and Environmental Protection blocks to the northeast (also across Murray Drive) and on the abutting block to the south to protect the existing creek.

### **Proposal**

The Applicant is proposing a variance to legalize an existing 22.2 m<sup>2</sup> (239.0 ft<sup>2</sup>) second unit within the basement of a detached dwelling. This is in addition to another 43.75 m<sup>2</sup> (470.9 ft<sup>2</sup>) second suite also within the basement. The variances are required because the Zoning By-law permits one secondary unit on the subject lands only and requires that the minimum area for each dwelling unit is 35 m<sup>2</sup> (376.7 ft<sup>2</sup>) in a building containing a second unit.

It should be noted that the presence of the two existing second suite dwelling units was confirmed by a Building Department inspection, following a property standards complaint. A violation order has been issued requiring the property owner to obtain a building permit for the two existing second suite units, which requires approval of this variance for the 22.2 m<sup>2</sup> unit basement unit. If this variance is refused, the owner will still be required to obtain a building permit but would have to revise the proposal to have only one second unit, in accordance with Zoning By-law permissions and to the satisfaction of the Building Department.

There are no proposed changes to the dwelling or subject property to facilitate this variance request.

## **Provincial Policies**

### **More Homes, More Choice Act, 2019**

The More Homes, More Choice Act, 2019, S.O. 2019, c. 9 – (Bill 108), received Royal Assent on June 6, 2019, and portions were proclaimed on September 3, 2019. The proclaimed portions of Bill 108 amended the Planning Act to require Official Plans to contain policies providing for two residential units in detached, semi-detached and row houses, as well as permitting a residential unit in ancillary structures to a detached house, semi-detached house or rowhouse. This allows for a total of three units per lot. Under this legislation, “second suites” are now referred to as “additional residential units”, and the terms are used synonymously in this report.

### **Provincial Policy Statement, 2020**

Section 1.4.3 of the Provincial Policy Statement, 2020, requires planning authorities to provide for an appropriate range and mix of housing options and densities to meet the affordable housing needs of current and future residents. Amongst other means, this can be achieved by permitting and facilitating residential intensification, including additional residential units, and redevelopment by accommodating a significant supply and range of housing options through intensification and redevelopment while taking into account existing building stock.

### **A Place to Grow: Growth Plan for the Greater Golden Horseshoe, 2019 (Growth Plan, 2019)**

Section 2.1.4 (c) of the Growth Plan, 2019, requires municipalities to provide a diverse range and mix of housing options including second units to support complete communities.

## **Official Plan**

The subject lands are designated ‘Stable Neighbourhoods’ in the Official Plan which permits ‘Ground-Related Residential Uses’, which includes detached dwellings, and ‘Secondary Suites’.

Section 3.3 of the Official Plan provides intensification policy direction, which states that ‘within the ‘Stable Neighbourhoods’, new residential development, of approximately 350 persons, is to be accommodated through new Secondary Suite Units’.

Notwithstanding the projected cap of 350 persons, staff note that a Secondary Suite/Unit is permitted as of right in all low-rise Residential Zones and Promenade Zones in Zoning By-law 6000-17, as amended (Zones ER, R1, R2, R3, R4, R5, R6, R8, PD2, PDS1, PDS2, PDS3 and PDS4). Essentially the projected cap on secondary suites in the

Official Plan is unregulated by the Zoning By-law, as they are allowed as of right substantially throughout the Town.

Section 6.8 of the Official Plan provides policy criteria for secondary suites, as follows:

- i. not more than one secondary suite be permitted in association with each principal dwelling on the same lot unless otherwise permitted in the Zoning By-law.
- ii. all the requirements of the Zoning By-law, including the provision of adequate parking, the Ontario Building Code and other relevant municipal and Provincial regulations are satisfied; and,
- iii. it has been determined that municipal services and community facilities meet the anticipated demand for secondary suites to the satisfaction of Council.”

## **Zoning**

The subject lands are zoned Detached Third Density Residential (R3) by Zoning By-law 6000-17, as amended, which permits a detached dwelling and one (1) second suite dwelling unit. Section 7.5.4.2 of the Zoning By-law requires that in a building containing a second suite dwelling unit, the minimum area of each dwelling shall be 35.0 m<sup>2</sup>.

## **Preliminary Zoning Review**

A Preliminary Zoning Review (PZR) has been completed by the Town of Aurora’s Building Division. The PZR identified the required variances, and no other non-compliance was identified.

## **Applicant’s stated reason(s) for not complying with the Zoning By-law**

As stated on the application form:

“The application is for obtaining permit for one second unit in basement. Actually, the basement would be used as a residential suite which is divided to 2 separate parts: one is private part for family and second part has being used as a living room and guest room. Considering the basement as a unit, it will cover the required minimum area for dwelling unit.”

## **Planning Comments**

Planning Staff have evaluated Minor Variance Application MV-2021-33 pursuant to the prescribed tests as set out in Section 45(1) of the Planning Act, as follows:

**a) The proposed variance meets the general intent of the Official Plan**

Noted above was that the Official Plan provides criteria for second units, to permit one second suite unit in a principle dwelling unless otherwise permitted by the Zoning By-law; conforming to the Zoning By-law, Ontario Building Code and other applicable municipal and Provincial regulations; and can be accommodated by municipal services and community facilities.

No constraints with respect to municipal services and community facilities have been identified for the subject lands and two existing secondary units through the review of this variance application.

The availability of four parking spaces satisfies the zoning by-law requirement of two spaces for the principle dwelling and an additional space for each secondary suite. The establishment of two second units is generally consistent with Provincial Policies which require Official Plans to contain policies providing for two residential units in detached, semi-detached and row houses and a unit within an ancillary structure, to allow a total of three units per lot. (Noting that the Town's Official Plan is not in conformity with this requirement).

Staff are of the opinion that should this variance be approved to permit the existing additional second suite, it would therefore be permitted by the Zoning By-law and thus conform to the criteria and intent of the Official Plan. There are no minimum second unit area requirements in the Official Plan.

**b) The proposed variance meets the general intent of the Zoning By-law**

While the zoning by-law specifically permits one second unit, the variance request to permit an additional unit provides an opportunity to support affordable, and rental housing on the subject property. Planning staff are of the opinion that the application meets the criteria under of the Official Plan, the Provincial Policy Statement, the Growth Plan and the Planning Act. The zoning by-law permits a secondary suite to implement these policies. Staff are of the opinion that the proposed variance to permit a smaller 22 m<sup>2</sup> additional unit still maintains the general intent of the Zoning By-law.

With respect to the variance request to permit a reduced second unit area of 22 m<sup>2</sup> (236 ft<sup>2</sup>), the minimum area of 35 m<sup>2</sup> (376.7 ft<sup>2</sup>) required by the Zoning By-law is not based on the requirements of the Ontario Building Code, which is applicable Provincial Law regulating minimum living space area requirements consistently across Ontario. The minimum size of a unit in the Building Code is 13.5 m<sup>2</sup> (145.3 ft<sup>2</sup>), which has been a requirement since 2006. Staff are of the opinion that since the unit conforms to the Building Code it is adequately sized and satisfies the general intent of the zoning by-law.

**c) The proposed variance is considered desirable for the appropriate development of the land**

There are no proposed changes to the dwelling or subject property anticipated with this variance application, which is to legalize an existing additional second suite with an area of 22 m<sup>2</sup>. This is in addition to an existing permitted 43.75 m<sup>2</sup> (470.9 ft<sup>2</sup>) unit also within the basement. The appearance and function of the site will also remain unchanged as a detached dwelling. Parking is provided onsite to accommodate the principle dwelling and two second units, in accordance with the zoning by-law requirements. Staff consider the proposed variances appropriate for the subject lands.

The Owner should be aware that the garage should be maintained as an area for parking to ensure that the provision of parking is accordance with the Zoning By-law. Additionally, a building permit is required to permit the second units to resolve the violation order. A building permit is required if the variance is approved to legalize the two existing basement units, or if refused to only allow one, as permitted by the Zoning By-law. A permit will ensure that the units are safe by complying with the requirements of the Ontario Building Code, including access and egress windows. Through the building permit review process, the basement units (or unit), will also be added to the Town's register of second units, and through that registration and inspection process, the Building Division will ensure that addressing for the principle dwelling and units is installed on the building so that emergency services can identify the location of basement units and that working smoke and carbon dioxide detectors are installed. Since the above will be confirmed through the permit and registration process, planning staff have no conditions in this regard should the variances be approved. Requirement for a building permit cannot be added as a condition, as the conditions need to be cleared to obtain a permit.

**d) The proposed variance is considered minor in nature**

The variances are requested to permit an existing situation, which staff are of the opinion is minor as it will not alter the surrounding community context or detract from the detached character of the site. Further, as variances are to be assessed on their individual merit, staff are of the opinion that approval of this application will not be precedent setting if considering future development applications to permit additional second units.

From an impact perspective, residential properties are to be maintained in good order in accordance with applicable Town of Aurora Property Standards By-laws. Should any property standards issues arise, they can be appropriately addressed by the Towns By-



law Enforcement division. On that basis, staff consider the variances to be minor in nature.

## Additional Comments

The minor variance application was circulated to Town Department/Divisions and to external agencies for review and comment. The following comments were provided:

Department or Agency	Comments
Building Division	Preliminary Zoning Review was completed on October 8, 2021, confirming the variances required. No other comments or conditions were provided.
Engineering Division	Comments provided stating no comments/concerns with proposed application (dated Nov. 16, 2021)
Operational Services (Parks)	Comments provided stating no comments/concerns with proposed application (dated Nov. 26, 2021)
Operational Services (Public Works)	No comments received at the time of writing this report.
Accessibility Division	Comments provided stating no comments/concerns with proposed application (dated Nov. 22, 2021)
Legal Division	Comments provided stating no comments/concerns with proposed application (dated Nov. 17, 2021)
Central York Fire Services	No comments received at the time of writing this report.
York Region	Comments provided stating no comments/concerns with proposed application (dated Nov. 17, 2021)
LSRCA	Written comments provided in letter dated, concluding: "Based upon our review of the submitted information in support of the application, it is determined that the proposal is generally consistent and in conformity with the natural heritage and natural hazard policies of the applicable Provincial and Regional plans. As such, we recommend that any approval of this application for minor variance be subject to the following condition:  a. That the Owner shall pay all development fees to the LSRCA in accordance with the approved Fees Schedule under the Conservation Authorities Act (Note: Under the 2021 LSRCA Fee Schedule, this amount is \$525.00).

Alectra	Comments provided stating no comments/concerns with proposed application (dated Nov. 16, 2021)
MTO	Comments provided stating no comments/concerns with proposed application (dated Nov. 15, 2021)

## Public Correspondence

No written submissions have been received at the time of writing of this report. Should additional written submissions be received after the writing of this report, the Secretary Treasurer will provide the submission(s) to Committee members at the meeting.

## Conclusion

Planning staff have reviewed the application with respect to the Section 45(1) of the Planning Act, R.S.O, 1990, c.P.13, as amended, and are of the opinion that the requested variances do meet its criteria. Staff recommend approval of the requested variances subject to the condition attached as Appendix 'A'.

## Attachments

Appendix 'A' – Conditions

Appendix 'B' – Figure 1, Site Plan

Appendix 'C' – Figure 2, Basement Plan

**Appendix 'A' – Conditions**

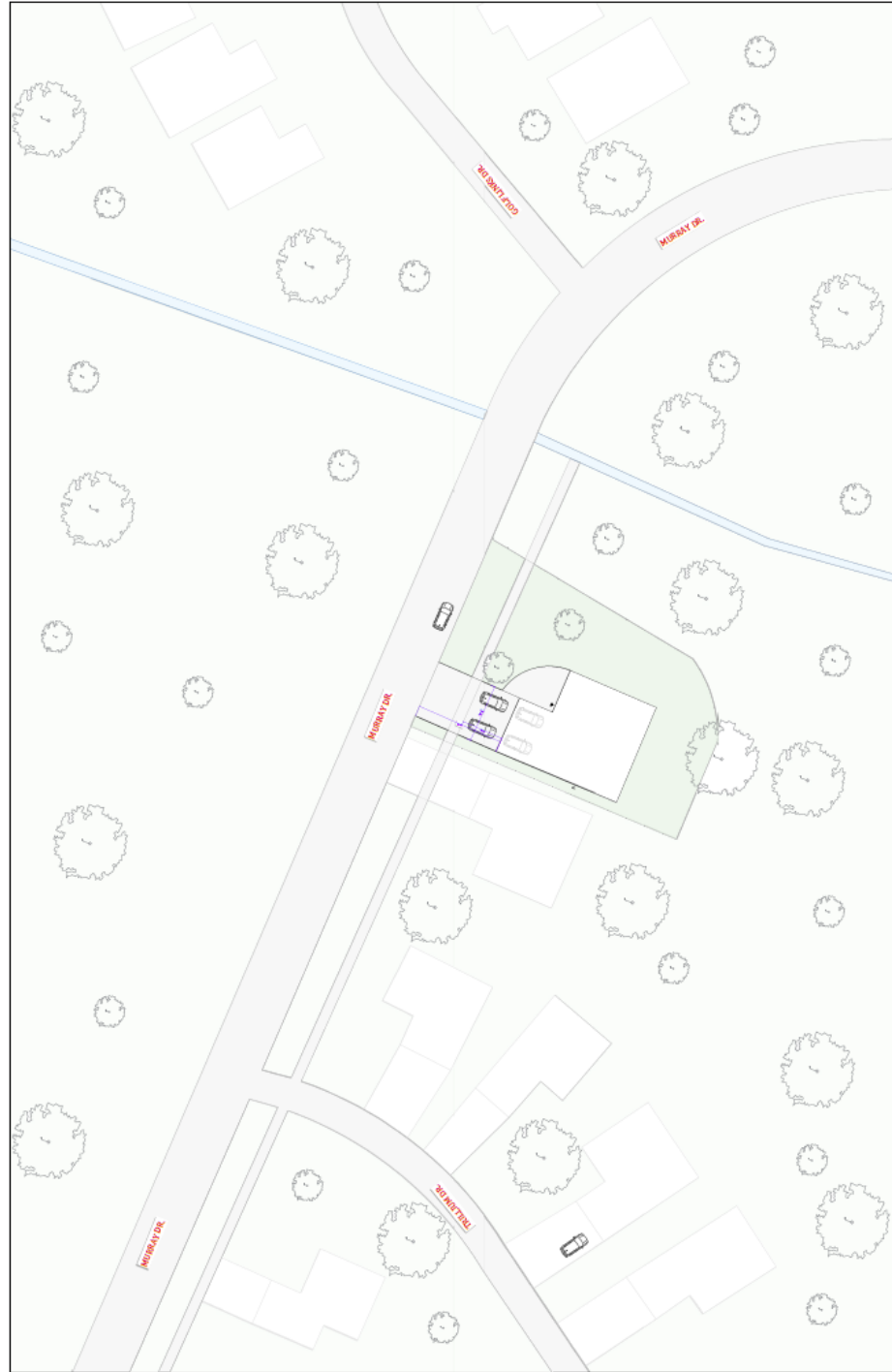
1. That the variances only apply to the proposed development, and in substantial conformity with the Plans submitted with this application, attached as Appendix 'B' and 'C'
2. That the Owner shall pay all development fees to the LSRCA in accordance with the approved Fees Schedule under the Conservation Authorities Act (Note: Under the 2021 LSRCA Fee Schedule, this amount is \$525.00).
3. That a maximum of two secondary suite dwelling units be permitted on the subject property.

Figure 1 - Site Plan

SUBMISSION No. 1

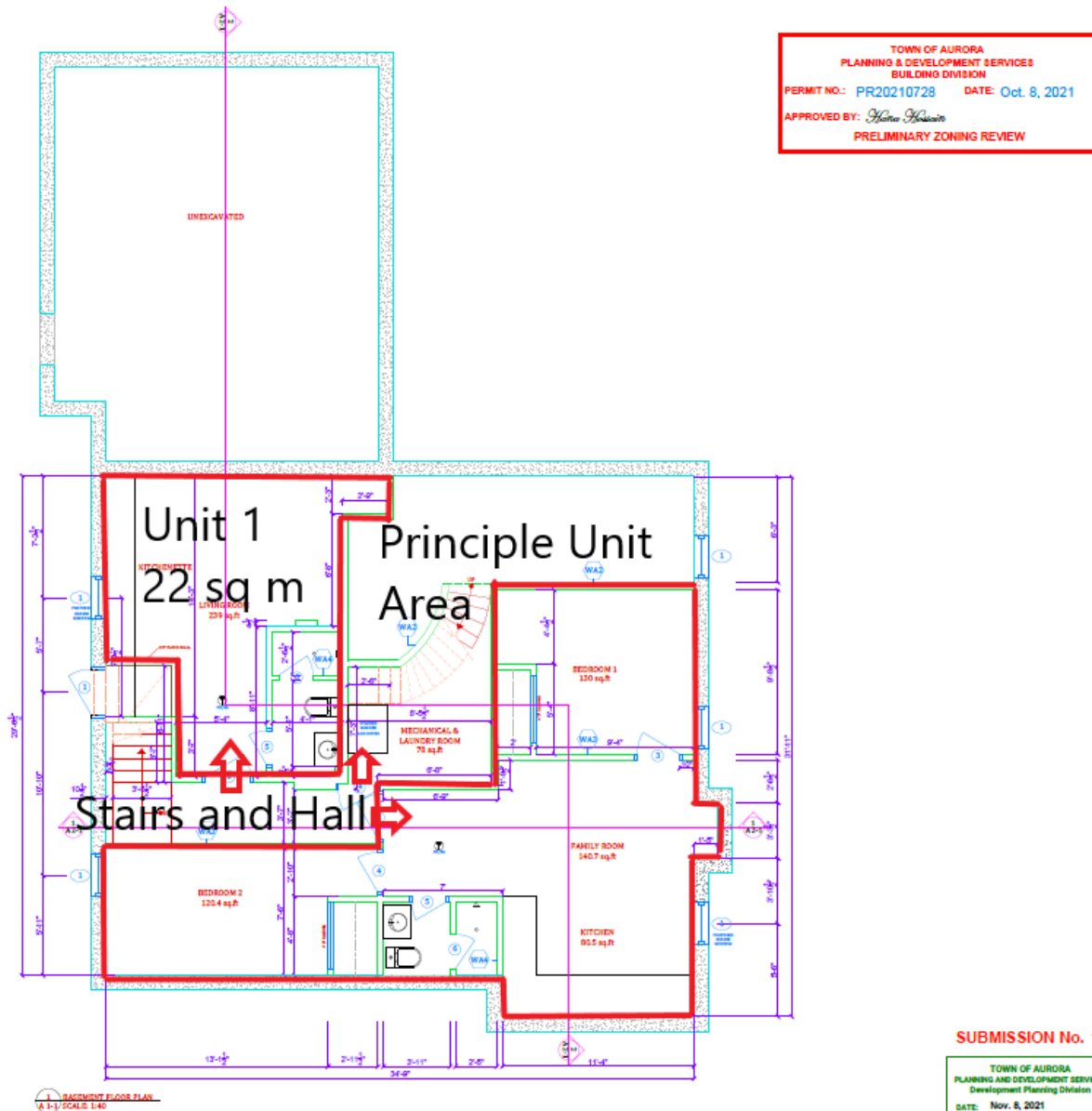
TOWN OF AURORA  
PLANNING AND DEVELOPMENT SERVICES  
Development Planning Division  
DATE: NOV. 8, 2021  
RECEIVED

TOWN OF AURORA  
PLANNING & DEVELOPMENT SERVICES  
BUILDING DIVISION  
PERMIT NO.: PR20210728 DATE: Oct. 8, 2021  
APPROVED BY: *Helen H. H. H.*  
PRELIMINARY ZONING REVIEW



<b>LEGEND:</b>	
TREE	
PROPOSED PROPERTY	
MAIN ENTRANCE	
BASMENT ENTRANCE	
<b>PARKING INFO:</b>	
DOUBLE DOOR GARAGE THAT 2 CARS CAN BE FITTED.	
DRIVE WAY: 21'1" x 29'5.5" W	

Figure 2 - Basement Plan





100 John West Way  
Aurora, Ontario  
L4G 6J1  
(905) 727-3123  
aurora.ca

Town of Aurora  
**Committee of Adjustment Report**  
No. MV-2021-30

**Subject:** **Minor Variance Application**  
Sewhdat  
130 Edward Street  
Part 2 & 4 of Plan 65R-38880  
File: MV-2021-30  
Related Planning Application(s): SPR-2021-07, C-2019-14 & C-2019-15

**Prepared by:** Brashanth Manoharan, Planner  
**Department:** Planning and Development Services  
**Date:** December 9, 2021

## Application

The owner/applicant is requesting relief from the requirements of the Town's Comprehensive Zoning By-law 6000-17, as amended, to facilitate the construction of a two-storey detached dwelling. The following relief is being requested:

- a) Section 24.497.3.3 of the Zoning By-law permits a maximum lot coverage of 35.0%. The applicant is proposing a two-storey detached dwelling with a lot coverage of 37.9%.

## Background

### Subject Property and Area Context

The subject property, municipally known as 130 Edward Street, is located within the Town Park Stable Neighbourhood area, on the west side of Edward Street, east of Yonge Street and west of Industrial Parkway South. The subject property has a lot area of approximately 467.53 m<sup>2</sup> (5,032.50 ft<sup>2</sup>) and a lot frontage of approximately 15.26 m (50 ft).

The subject property is currently vacant with a variety of mature vegetation present. The surrounding area is an established residential neighbourhood that is generally



characterized by one to two and a half storey detached dwellings west of Edward Street, and a variety of non-residential uses east of Edward Street.

### Proposal

The applicant is proposing to construct a new two-storey detached dwelling with an integral garage with a proposed GFA of approximately 262.54m<sup>2</sup> (2,825.95ft<sup>2</sup>).

A summary of the requested variances and applicable by-law requirements are as follows:

Zoning By-law Standard	Zoning By-law Requirement	Requested Variance	Difference
Lot Coverage	35%	37.9%	2.9%

### Official Plan

The subject property is designated “Stable Neighbourhoods” by the Town of Aurora’s Official Plan, which seeks to ensure that residential neighbourhoods are protected from incompatible forms of development, while allowing the neighbourhoods to be enhanced over time. Further, the Stable Neighbourhoods designation provides for single detached dwellings as a permitted use.

### Zoning

The subject property is zoned R3-SN(497) (Detached Third Density Residential – Stable Neighbourhood Exception Zone # 497) by Zoning By-law 6000-17, as amended, which permits single detached dwellings.

The proposed development is subject to Site Plan Approval as per By-law 6106-18, as amended. A Site Plan Application has been submitted to the Town and is currently under review.

### Related Planning Applications

In December 2019, the owners of 93 & 97 Kennedy Street East submitted a Consent Application (C-2019-14 & C-2019-15) to the Town. The purpose of the application was to sever a portion of each property (Part 2 from 93 Kennedy Street East and Part 4 from 97 Kennedy Street East) to create a new lot to facilitate the development of a new single-detached dwelling, fronting Edward Street. On February 6, 2020, the Committee of Adjustment granted Provisional Consent, subject to conditions. The conditions of approval were satisfied by the applicant and on January 5, 2021, a Certificate of Official was issued.

## **Preliminary Zoning Review**

A Preliminary Zoning Review (PZR) has been completed by the Town of Aurora's Building Division. The PZR identified the required variances, and no other non-compliance was identified.

### **Applicant's stated reason(s) for not complying with the Zoning By-law**

As stated on the application form:

"The owners are seniors that have sold their existing large home, and bought this small lot to build a home that would be friendly to their declining health and mobility, with a low maintenance grounds. This home has been designed with two bedrooms with ensuites, and to accommodate easy movement of wheelchairs in these rooms. The kitchen has also been designed for easy movement with the use of multiple pullouts for easy access. We are also installing an elevator so that all three floors would be accessible. We have also accommodated for space for a live-in caregiver, and room for the grandchildren to visit and play. The GFA is below the zoning and all setbacks and all height restrictions meet the zoning except for the minor variance on coverage."

## **Planning Comments**

Planning Staff have evaluated Minor Variance Application MV-2021-30 pursuant to the prescribed tests as set out in Section 45(1) of the *Planning Act*, as follows:

### **The proposed variances meet the general intent of the Official Plan**

The Official Plan states that new development abutting existing residential development shall be sympathetic to the form and character of existing development. The proposed two-storey detached dwelling is designed in a manner that respects the existing low-density residential character of the neighbourhood and will not adversely impact the streetscape. Staff consider the proposed lot coverage to meet the general intent of the Official Plan.

### **The proposed variances meet the general intent of the Zoning By-law**

The intent of the lot coverage requirement is to regulate the amount of building footprint on a property. The requested variance for increased lot coverage relates to a proposed two storey detached dwelling with an integral garage. The subject property has a lot area of 467.53 m<sup>2</sup> (5,032.50 ft<sup>2</sup>) and the proposed two-storey detached dwelling with an integral garage will have a proposed GFA of approximately 262.54m<sup>2</sup> (2,825.95ft<sup>2</sup>).

Although the proposed dwelling complies with setbacks, gross floor area, and height provisions, it does not comply with the maximum lot coverage requirement of the Zoning By-law. The requested lot coverage variance is considered a modest deviation from the Zoning By-law requirement and is considered appropriate as the proposed dwelling will have adequate amenity space and will not compromise the livability of the property and character of the area.

Further, 'open to above/below' areas are exempt from GFA calculations. The proposed dwelling is designed with two (2) 'open to above/below' areas (one above the "family room" and the other above the front foyer), which has a combined GFA of approximately 32.29m<sup>2</sup> (347.56ft<sup>2</sup>). If the GFA calculation were to include the 'open to above/below' areas, it will have an approximate GFA of 294.83 m<sup>2</sup> (3,173.52ft<sup>2</sup>), which remains below the maximum GFA permitted of 370.0 m<sup>2</sup> (3,982.65 ft<sup>2</sup>).

The requested lot coverage variance is not anticipated to create any significant impacts on the streetscape, character of the area, or to abutting properties. As such, Staff consider the proposed lot coverage variance to meet the general intent of the Zoning By-law.

**The proposed variances are considered desirable for the appropriate development of the property**

At present, the property abuts the rear yard of 97 Kennedy Street East (north) which currently contains a frame shed within close proximity of the rear property line, and the rear yard of 96 Cousins Drive which contains a detached garage within close proximity of the rear property line. Staff are satisfied that there is adequate spatial separation between the proposed dwelling and the abutting accessory structures and that adequate outdoor amenity space and privacy will be provided for the subject property and abutting properties.

The proposed dwelling is subject to Site Plan review to ensure consistency with the Town Park Urban Design Guidelines and neighbourhood compatibility while enhancing neighbourhood character. Staff are of the opinion that the requested lot coverage variance will facilitate the construction of a dwelling that reflects the intended scale of infill development for the Town Park Neighbourhood. As such, the requested lot coverage variance is considered to be an appropriate and orderly form of development of the property.

**The proposed variances are considered minor in nature**

The scale of the proposed dwelling is considered compatible with the character of the neighbourhood. No adverse impacts are anticipated to occur on abutting properties with respect to drainage, shadowing, or view obstruction. Staff are of the opinion that

the requested lot coverage variance will have no impact on the streetscape and overall neighbourhood. As such, staff are of the opinion that the variance is minor in nature.

## Additional Comments

The minor variance application was circulated to Town Department/Divisions and to external agencies for review and comment. The following comments were provided:

Department or Agency	Comments
Accessibility Division	No comments on the application (e-mail dated November 22, 2021).
Building Division	Preliminary Zoning Review was completed on November 16, 2021.
Engineering Division	No concerns on the application (e-mail dated October 19, 2021).
Operational Services (Parks)	There are trees situated on the subject property that will require removal and/or will be impacted by excavation or disturbance due to construction.  Please refer to Recommended Condition of Approval #2.
Central York Fire Services	No comments received.
York Region	York Region has no comments on the application (e-mail dated November 17, 2021).
Alectra	No objections to its approval (e-mail dated October 18, 2021).
LSRCA	No comments on application as it is located outside the area governed by O. Reg. 179/06 under the <i>Conservation Authorities Act</i> . (e-mail dated October 18, 2021).

## Public Correspondence

Written submissions were not received at the time of writing of this report. Should written submissions be received after the writing of this report, the Secretary Treasurer will provide the submission(s) to Committee members at the meeting.

## **Conclusion**

Planning staff have reviewed the application with respect to the Section 45(1) of the Planning Act, R.S.O, 1990, c.P.13, as amended, and are of the opinion that requested variances meet the four tests of the Planning Act. Staff recommend approval of the variances subject to conditions of approval (Appendix 'A').

## **Attachments**

Appendix 'A' – Conditions of Approval

Appendix 'B' - Site Plan & Elevations

### **Appendix 'A' – Conditions of Approval**

The following conditions are required to be satisfied should application MV-2021-30 be approved by the Committee of Adjustment:

1. That the owner obtains Stable Neighborhood Site Plan Approval as per By-law 6106-18, as amended, to the satisfaction of the Director of Planning and Development Services or designate;
2. Submission to the Secretary-Treasurer of written confirmation from the Town's Director of Operations or designate; that the Applicant has satisfied all concerns below as noted in the October 21, 2021 memo by Sara Tienkamp, Manager of Parks and Fleet:
  - That the owner may be required to provide an Evaluation Report prepared by a Certified Arborist or Professional Registered Forester outlining all aspects of the impacts that this proposal will have on existing and current remaining vegetation, The report shall include recommendations and an action plan on the mitigation of negative effects to vegetation , during and post construction periods as well as measures aimed at tree health care and protection for trees effected by the project and any remaining trees in the vicinity of the project that require applicable maintenance.
  - In addition the report shall include a schedule of monitoring the ongoing site work through a series of scheduled site visits by the Arborist / Forester during and post construction to ensure the vegetation preservation measures remain in compliance throughout the project, each site visit to be documented and any resulting action items required by the Arborist /Forester shall be implemented and confirmed on site forthwith by the Arborist /Forester following each visit.
  - The owner may be required to provide vegetation compensation and a replanting plan in accordance with the Town of Aurora TREE REMOVAL/PRUNING AND COMPENSATION POLICY to the satisfaction of the Director of Operational Services as compensation for trees removed to facilitate construction. Compensation planting shall be completed prior to release of the financial securities.
  - The owner shall agree to comply with the Aurora Tree Permit By-law # 5850 - 16 prior to the removal of any trees on the property.



- The owner shall agree to provide financial securities based on the total value of the Tree Compensation evaluation and all Arboriculture works as defined by the Town and the Owners Arborist/ Forester. To the satisfaction of the Director of Parks and Recreation.
- All of the above shall be included as terms and conditions in a Letter of Undertaking with the Town of Aurora to guarantee compliance with the Conditions of Approval and all related site works

ISSUED ZONING REVIEW  
JUNE, 2021.

DRAWINGS LIST

- A-1 SURVEY PLAN/  
SITE PLAN
- A-2 BASEMENT PLAN
- A-3 GROUND  
FLOOR PLAN
- A-4 SECOND  
FLOOR PLAN
- A-5 ROOF PLAN
- A-6 ELEVATION
- A-7 ELEVATION
- A-8 ELEVATION
- A-9 ELEVATION
- A-10 SECTION

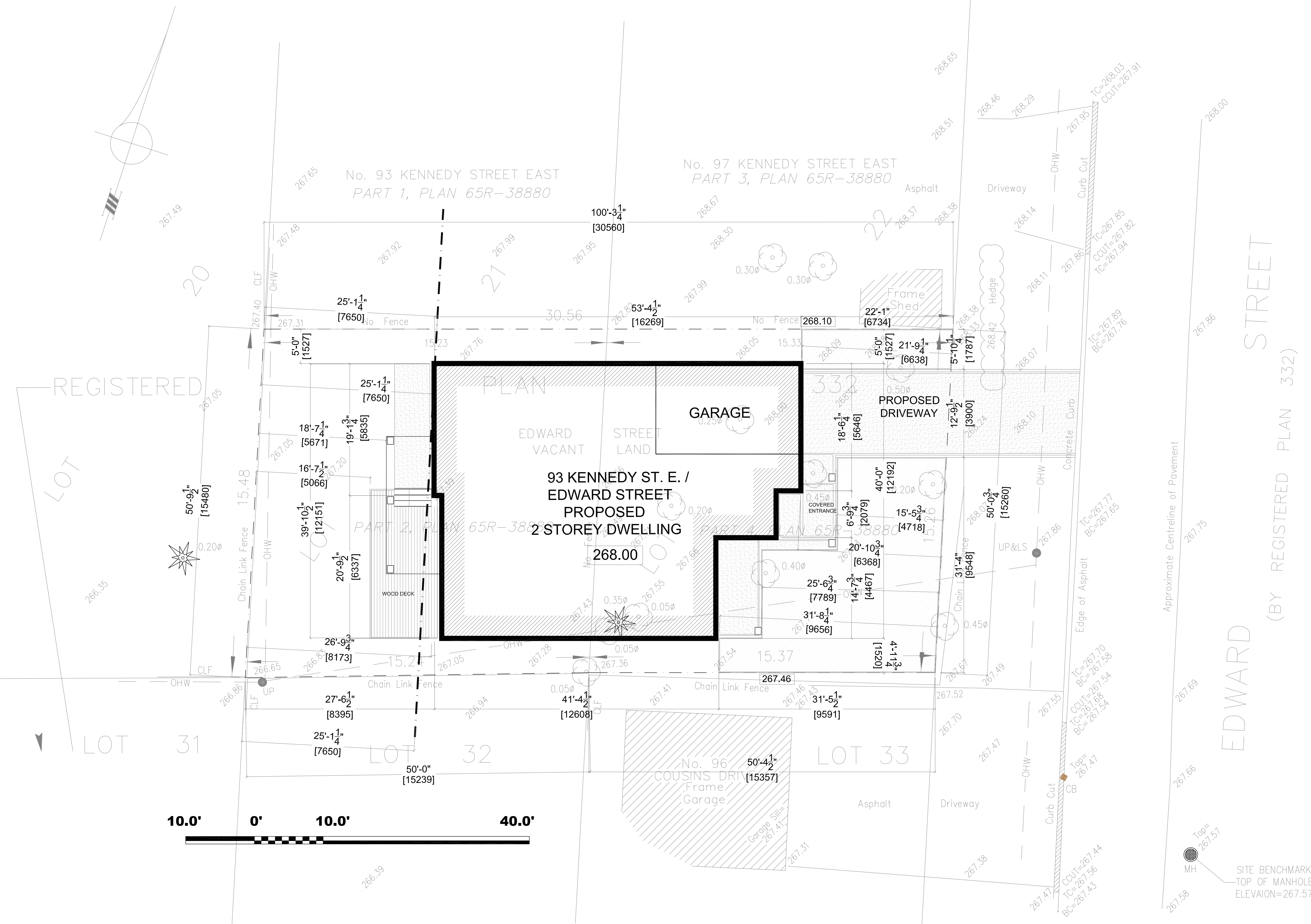
SITE DATA	SQ.FT.	M2	
LOT AREA	5032.50	467.53	100%

SET BACKS	PROPOSED	
	M	FT.
FRONT BUILDING	6.37	20.90'
FRONT PORCH	4.50	14.76'
REAR	7.65	25.10'
SIDE	1.52	5.00'
SIDE	1.53	5.00'
HEIGHT TO PEAK	9.90	32.48'
LOT COVERAGE	37.86%	177.04
		1905.60

PROPOSED BUILDING INFORMATION			
BASEMENT	150.53	1620.31	
GROUND FLOOR WITH GARAGE	177.04	1905.60	
SECOND FLOOR AREA	85.50	<del>436.98</del>	<del>4267.70</del> 920.31
TOTAL FLOOR AREA	413.07	<del>932.44</del>	<del>3473.39</del> 4446.22

DRIVEWAY / LANDSCAPE AREA			
FRONT YARD	96.46	1038.27	
DRIVEWAY	22.32	240.31	
LANDSCAPE AREA	74.13	797.96	
SOFT LANDSCAPE AREA	57.42%	55.39	596.20
CALCULATED AREA IS INSIDE PROPERTY LINE			

1 PROPOSED  
SITE PLAN  
SCALE: 1'-0" = 1/8"  
SCALE: 1 : 100



TOWN OF AURORA  
PLANNING & DEVELOPMENT SERVICES  
BUILDING DIVISION  
PERMIT NO.: PR20210961 DATE: Nov. 16, 2021  
APPROVED BY: Ashley Vandennal AMENDED  
PRELIMINARY ZONING REVIEW

Aleksandar V. Markovic  
Architecture . Interior  
1 Valley Woods Rd. North York, Ontario M3A 1R9  
Telephone (+16) 481.5694 Fax (+16) 487.6312

THIS DRAWING MUST BE READ IN THE CONTEXT OF ALL OTHER DRAWINGS WHICH CONSTITUTE THE CONSTRUCTION DOCUMENT.  
THIS DRAWING WAS DEVELOPED FOR A SPECIFIC PURPOSE. USE FOR ANY OTHER PURPOSE IS NOT PERMITTED.  
THIS DRAWING SHALL NOT BE REPRODUCED IN WHOLE OR IN PART WITHOUT WRITTEN CONSENT OF THE DESIGNER.  
ALL DIMENSIONS ARE TO BE VERIFIED ON SITE PRIOR TO FABRICATION, INSTALLATION OR COMMENCING WITH WORK.  
ANY DISCREPANCIES ARE TO BE REPORTED TO THE DESIGNER FOR CLARIFICATION.  
DO NOT SCALE THE DRAWINGS.

Issued  
ISSUED FOR COMMITTEE OF ADJUSTMENT / SEVERANCE, CONSENT

The undersigned has reviewed & taken responsibility for this design, and has the Qualifications and meets the Requirements set out in the Ontario Building Code to be a designer.  
REGISTRATION INFORMATION  
Required unless design is exempt under 2.17.4.1. of the Ontario Building Code  
Name: LILIANA MARKOVIC 33107 BCDN #  
Signature: Aleksandar V. Markovic 34372 BCDN #  
Practice Name:

NO.	REVISIONS	DATE
1	AS PER EXAMINER'S NOTES	JULY 2021
2	AS PER EXAMINER'S NOTES	SEP. 2021
3	AS PER EXAMINER'S NOTES	NOV. 2021

Client

Oma Sewhdat  
Project Name and Address  
PROPOSED 2 STOREY DWELLING  
93 Kennedy St. E. / Edward St.  
Aurora, ON  
Drawing Title

SITE PLAN  
Checked by  
A.M.  
Scale  
AS NOTED  
Drawing/Sheet No.  
A-1  
Project No.  
21-10





ALEKSANDAR V. MARKOVIC  
Architecture . Interior

1 Valley Woods Rd., North York, Ontario M3A 1R9  
Telephone (+16) 481.5694 Fax (+16) 487.6312

THIS DRAWING MUST BE READ IN THE CONTEXT OF ALL OTHER DRAWINGS WHICH CONSTITUTE THE CONSTRUCTION DOCUMENT.  
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DO NOT SCALE THE DRAWINGS.

Issued

ISSUED FOR COMMITTEE OF ADJUSTMENT / SEVERANCE, CONSENT

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Required unless design is exempt under 2.17.4.1. of the Ontario Building Code  
REGISTRATION INFORMATION  
Name LILJANA MARKOVIC 33107 BCDN #  
Signature Aleksandar V. Markovic 34372 BCDN#  
Practice Name

Revised

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Client

Oma Sewhdat

Project Name and Address

PROPOSED 2 STOREY DWELLING

93 Kennedy St. E. / Edward St.

Aurora, ON

Drawing Title

SOUTH  
ELEVATION

Checked by

A.M.

Scale

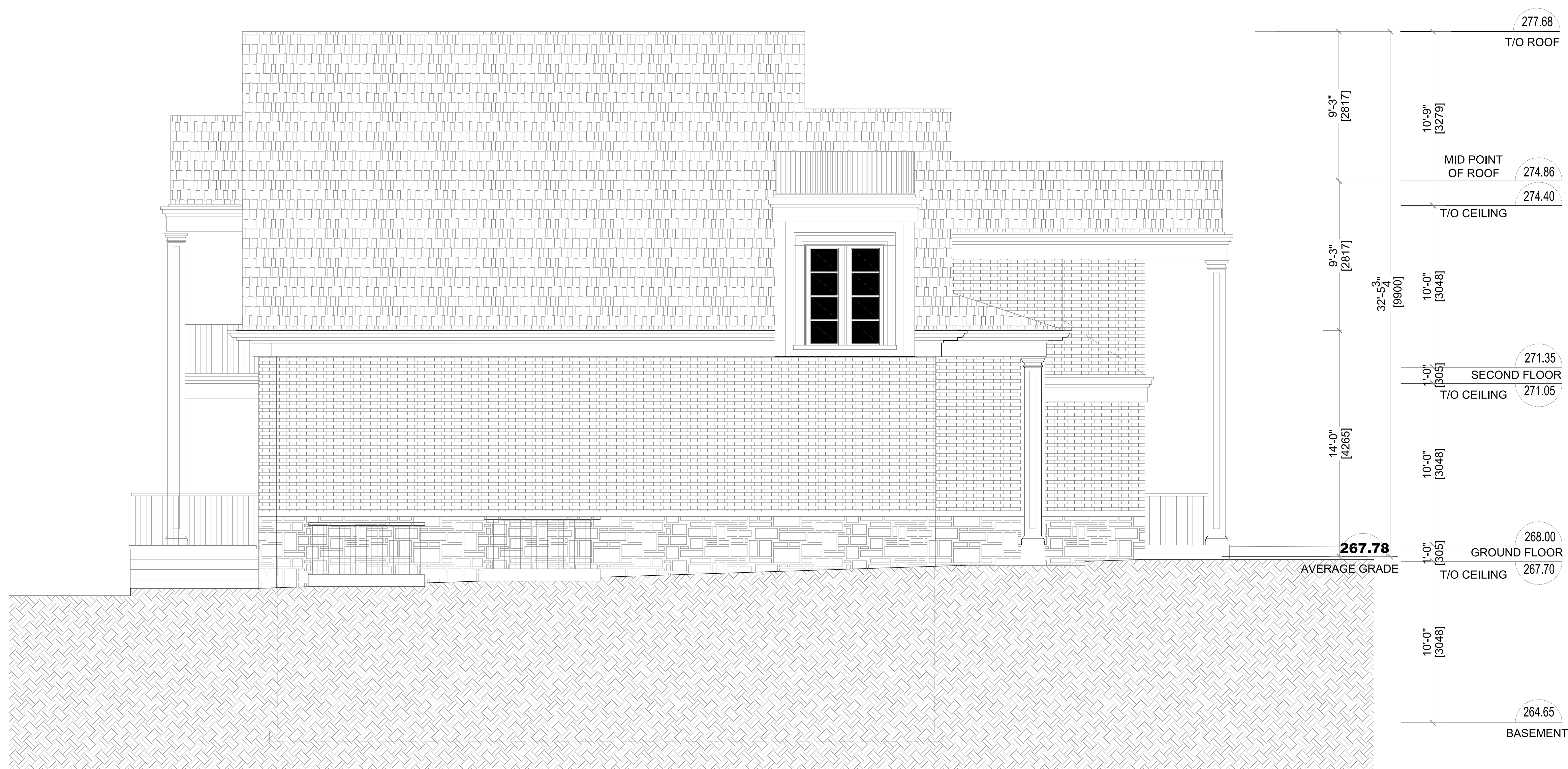
AS NOTED

Drawing/Sheet No.

A-6

Project No.

21-10



1

PROPOSED  
SOUTH ELEVATION

SCALE: 1'-0" =  $\frac{1}{4}$ "

SCALE: 1 : 50

TOWN OF AURORA  
PLANNING & DEVELOPMENT SERVICES  
BUILDING DIVISION  
PERMIT NO.: PR20210961 DATE: Nov. 16, 2021  
APPROVED BY: Ashley Vandennal AMENDED  
PRELIMINARY ZONING REVIEW



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Name	LJILJANA MARKOVIC	33107
Signature		BCDN #
Practice Name	Aleksandar V. Markovic	34372
		BCDN#

Revised

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Project Name and Address

PROPOSED 2 STOREY DWELLING

93 Kennedy St. E. /  
Edward St.

Aurora, ON

Drawing Title

WEST  
ELEVATION

Checked by

A.M.

Scale

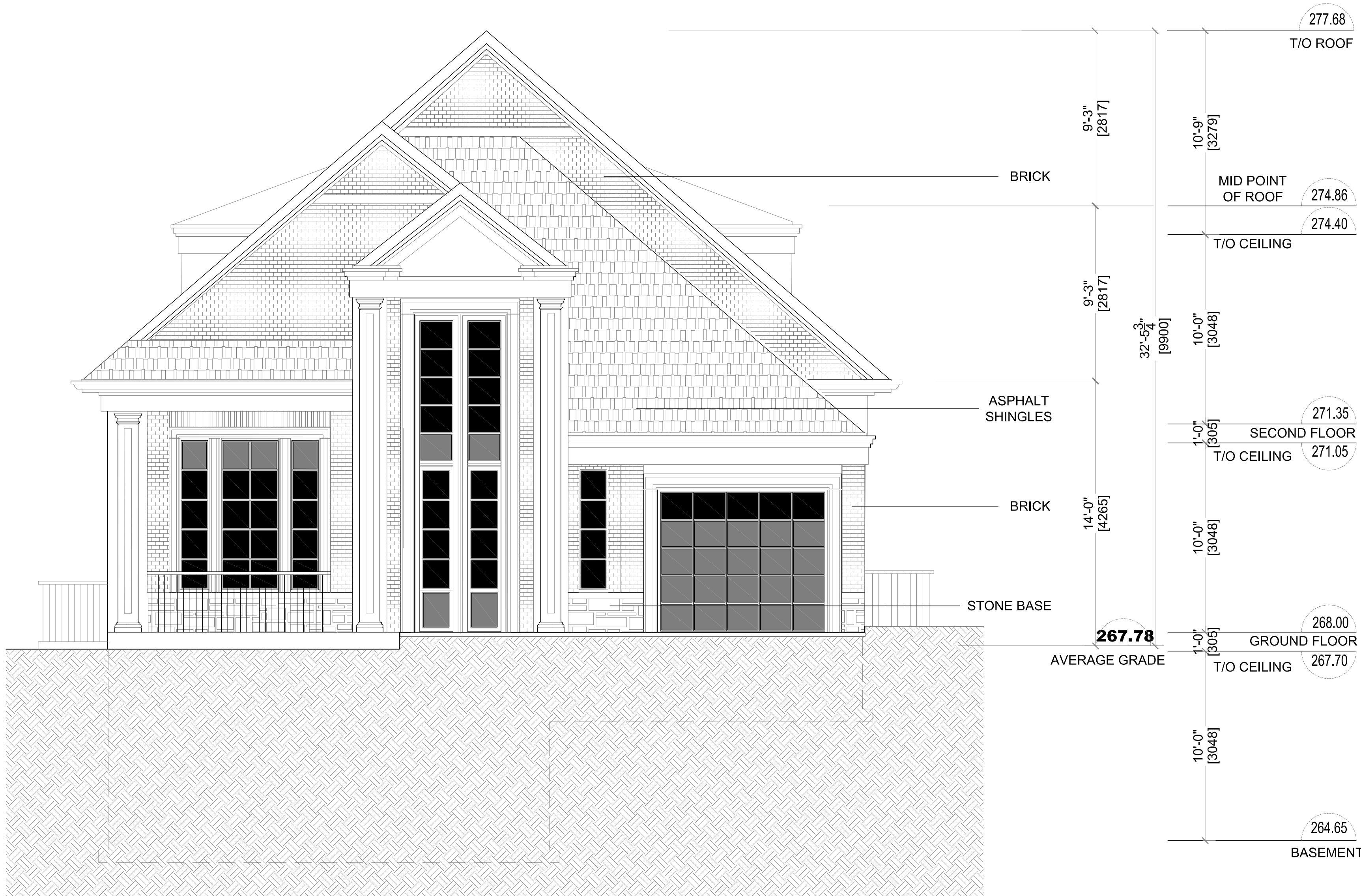
AS NOTED

Drawing/Sheet No.

A-7

Project No.

21-10



1

## PROPOSED WEST ELEVATION

SCALE: 1'-0" = 1/4"

SCALE: 1 : 50

TOWN OF AURORA PLANNING & DEVELOPMENT SERVICES BUILDING DIVISION	
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Project Name and Address  
PROPOSED 2 STOREY DWELLING

93 Kennedy St. E. / Edward St.

Aurora, ON

Drawing Title

NORTH  
ELEVATION

Checked by

A.M.

Scale

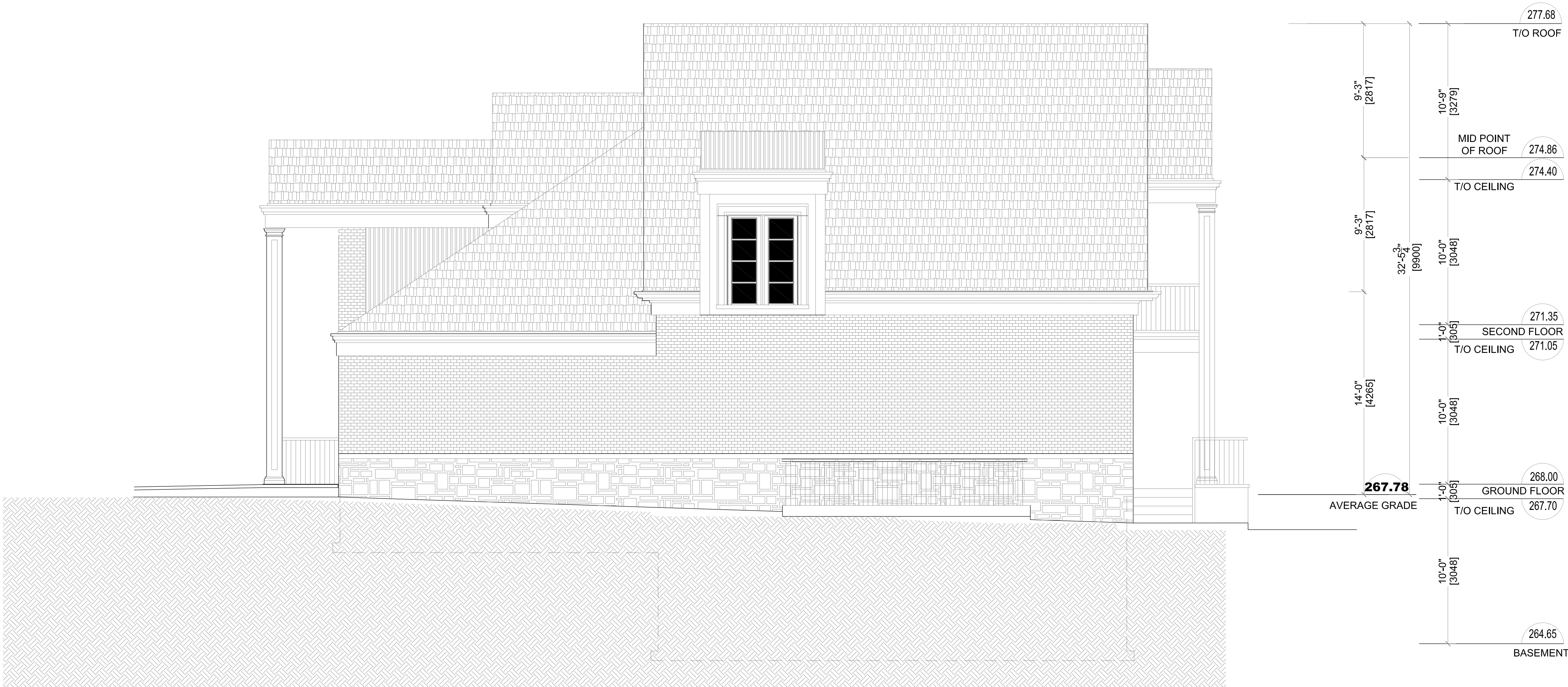
AS NOTED

Drawing/Sheet No.

A-8

Project No.

21-10



1

## PROPOSED NORTH ELEVATION

SCALE: 1'-0" =  $\frac{1}{4}$ "

SCALE: 1 : 50

TOWN OF AURORA  
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PRELIMINARY ZONING REVIEW



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Client

Oma Sewhdat

Project Name and Address  
PROPOSED 2 STOREY DWELLING

93 Kennedy St. E. / Edward St.

Aurora, ON

Drawing Title

EAST  
ELEVATION

Checked by

A.M.

Scale

AS NOTED

Drawing/Sheet No.

A-9

Project No.

21-10



1

PROPOSED  
EAST ELEVATION

SCALE: 1'-0" =  $\frac{1}{4}$ "

SCALE: 1 : 50

TOWN OF AURORA  
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