



**Town of Aurora
Accessibility Advisory Committee
Meeting Agenda**

Date: December 8, 2021
Time: 7:00 p.m.
Location: Video Conference

Pages

1. Procedural Notes

This meeting will be held electronically as per Section 19. i) of the Town's Procedure By-law No. 6228-19, as amended, due to the COVID-19 situation, and will be live streamed on the Town's YouTube Channel.

2. Approval of the Agenda

3. Declarations of Pecuniary Interest and General Nature Thereof

4. Receipt of the Minutes

4.1. Accessibility Advisory Committee Meeting Minutes of October 27, 2021

1

That the Accessibility Advisory Committee Meeting Minutes of October 27, 2021, be received for information.

4.2. Accessibility Advisory Committee Meeting Minutes of November 10, 2021

7

That the Accessibility Advisory Committee Meeting Minutes of November 10, 2021, be received for information.

5. Delegations

Note: Anyone wishing to provide comment on an agenda item is encouraged to visit www.aurora.ca/participation for guidelines on electronic delegation.

6. Matters for Consideration

6.1. Memorandum from Accessibility Advisor; Re: Site Plan Application OPA-2021-06 & ZBA-2021-08 (Submission 1), 200 Wellington Street West

12

1. That the memorandum regarding Site Plan Application OPA-2021-06 and ZBA-2021-08 (Submission #1), 200 Wellington

Street West be received; and

2. That the Accessibility Advisory Committee comments regarding Site Plan Application OPA-2021-06 & ZBA-2021-08 (Submission #1) be received and referred to staff for consideration and further action as appropriate.

6.2. Memorandum from Accessibility Advisor; Re: Site Plan Application OPA-2021-05 and ZBA-2021-07 (Submission 1), 14086 Yonge Street

19

1. That the memorandum regarding Site Plan Application OPA-2021-05 and ZBA-2021-07 (Submission #1), 14086 Yonge Street be received; and
2. That the Accessibility Advisory Committee comments regarding Site Plan Application OPA-2021-05 and ZBA-2021-07 (Submission #1) be received and referred to staff for consideration and further action as appropriate.

6.3. Memorandum from Accessibility Advisor; Re: Site Plan Application SP-2021-12 (Submission 1), 377 Hartwell Way

26

1. That the memorandum regarding Site Plan Application SP-2021-12 (Submission 1), 377 Hartwell Way, be received; and
2. That the Accessibility Advisory Committee comments regarding Site Plan Application SP-2021-12 (Submission #1) be received and referred to staff for consideration and further action as appropriate.

6.4. Round Table Discussion; Re: Town of Aurora Accessibility Plan 2018 to 2024

(Link to Accessibility Plan)

1. That the Accessibility Advisory Committee comments regarding the Town of Aurora Accessibility Plan 2018 to 2024 be received and referred to staff for consideration and further action as appropriate.

7. Informational Items

8. Adjournment



**Town of Aurora
Accessibility Advisory Committee
Meeting Minutes**

Date: Wednesday, October 27, 2021
Time: 7 p.m.
Location: Video Conference

Committee Members: Rachelle Stinson (Chair)
 Matthew Abas (Vice Chair)
 Max Le Moine
 John Lenchak
 Jo-anne Spitzer

Members Absent: Hailey Reiss
 Councillor John Gallo

Other Attendees: Lisa Hausz, Manager, Economic Development and Policy
 Matthew Volpintesta, Senior Policy Planner, Land Use & Real Estate
 Mat Zawada, Accessibility Advisor
 Linda Bottos, Council/Committee Coordinator

1. Procedural Notes

This meeting was held electronically as per Section 19. i) of the Town's Procedure By-law No. 6228-19, as amended, due to the COVID-19 situation.

The Chair called the meeting to order at 7:02 p.m.

2. Approval of the Agenda

Moved by Matthew Abas

Seconded by Jo-anne Spitzer

That the agenda as circulated by Legislative Services be approved.

Carried

3. Declarations of Pecuniary Interest and General Nature Thereof

There were no declarations of pecuniary interest under the *Municipal Conflict of Interest Act, R.S.O. 1990, c. M.50*.

4. Receipt of the Minutes

4.1 Accessibility Advisory Committee Meeting Minutes of September 8, 2021

Moved by Matthew Abas

Seconded by Max Le Moine

That the Accessibility Advisory Committee meeting minutes of September 8, 2021, be received for information.

Carried

5. Delegations

None.

6. Matters for Consideration

6.1 Memorandum from Senior Policy Planner; Re: Green Development Standards – Consultation

Staff provided an overview of the Green Development Standards (GDS) project toward the development and implementation of principles, within five major themes, to be applied to new development projects in Town. Staff briefly reviewed the economic, environmental and social benefits, accessible and sustainable design, project timeline, best practice review, and consultation. The consultant, Nadia Dowhaniuk, Head of Research, PRIME Strategy and Planning, was also present to answer questions.

The Committee and staff provided feedback regarding noise and light pollution, associating barrier-free parking with EV charging stations, inclusion of the Town's own accessibility standards and guidelines to be implemented in 2022, and integrating an accessible trail system that exceeds the minimum AODA standards.

Moved by Matthew Abas

Seconded by Jo-anne Spitzer

1. That the memorandum regarding Green Development Standards – Consultation be received; and
2. That the Accessibility Advisory Committee comments regarding Green Development Standards – Consultation be received and referred to staff for consideration and further action as appropriate.

Carried

6.2 Memorandum from Manager, Economic Development and Policy; Re: Streetscape Needs Assessment Consultation

Staff provided a brief overview of the memorandum and introduced the project consultants: Donna Hinde, Principal, Communication and Landscape Architecture; and Andrew Hooke, Project Manager; of The Planning Partnership. The consultants sought input from the Committee on streetscape elements and any concerns specifically related to the downtown core area from Yonge and Wellington Streets south to Church Street. The Committee and staff provided feedback and suggestions on various issues including: barrier-free access to businesses; overhead clearance guidelines; sidewalk barriers related to garbage, plowed snow and ice; snow plowed into accessible parking spaces; access to/from barrier-free parking spaces; traffic noise reduction; wayfinding signage; raised crosswalks; paving materials and maintenance; enclosed/covered moving walkway/ramp to parking lot; additional accessible parking on Yonge Street; banning heavy-truck turning at Yonge and Wellington; rolling curbs; sidewalk awnings for weather protection; service animal relief spots; and technology-related enhancements. Staff advised the Town's Facility Accessibility Design Standards (FADS) are being finalized and would be shared with the consultant. Staff noted that engageaurora.ca/downtownstreetscape is available for further feedback and input.

Moved by Jo-anne Spitzer

Seconded by John Lenchak

1. That the memorandum regarding Streetscape Needs Assessment Consultation be received; and
2. That the Accessibility Advisory Committee comments regarding Streetscape Needs Assessment Consultation be received and referred to staff for consideration and further action as appropriate.

Carried

6.3 Memorandum from Accessibility Advisor; Re: Site Plan Application OPA-2021-04, ZBA-2021-05, SP-2021-10 (Submission #1), 271 Holladay Drive

Staff provided an overview of the site plan and comments submitted to the Planner on behalf of the Committee. The Committee and staff discussed various aspects of the site plan and a further suggestion was made regarding consideration for: the provision of at least three barrier-free parking spaces on parking level 2.

Moved by Matthew Abas

Seconded by Max Le Moine

1. That the memorandum regarding Site Plan Application OPA-2021-04, ZBA-2021-05, SP-2021-10 (Submission #1), 271 Holladay Drive be received; and
2. That the Accessibility Advisory Committee comments regarding Site Plan Application OPA-2021-04, ZBA-2021-05, SP-2021-10 (Submission #1) be received and referred to staff for consideration and further action as appropriate.

Carried

6.4 Memorandum from Accessibility Advisor; Re: Site Plan Application SP-2021-11 (Submission #1), 25 and 29 George Street

Staff provided an overview of the site plan and comments submitted to the Planner on behalf of the Committee. The Committee and staff discussed various aspects of the site plan and further suggestions were made regarding consideration for: the provision of barrier-free access to the waste facilities; and a rear access to the elevator.

Moved by Matthew Abas

Seconded by John Lenchak

1. That the memorandum regarding Site Plan Application SP-2021-11 (Submission #1), 25 and 29 George Street be received; and
2. That the Accessibility Advisory Committee comments regarding Site Plan Application SP-2021-11 (Submission #1) be received and referred to staff for consideration and further action as appropriate.

Carried

6.5 Memorandum from Accessibility Advisor; Re: Site Plan Application ZBA 2021-04 and SP 2021-09 (Submission #1), 14700 and 14720-14760 Yonge Street

Staff provided an overview of the site plan and comments submitted to the Planner on behalf of the Committee. The Committee and staff discussed various aspects of the site plan and further suggestions were made regarding consideration for: the provision of additional barrier-free parking spaces for external units; and improved connectivity between buildings.

Moved by Jo-anne Spitzer

Seconded by Matthew Abas

1. That the memorandum regarding Site Plan Application ZBA 2021-04 and SP 2021-09 (Submission #1), 14700 and 14720-14760 Yonge Street be received; and
2. That the Accessibility Advisory Committee comments regarding Site Plan Application ZBA 2021-04 and SP 2021-09 (Submission #1) be received and referred to staff for consideration and further action as appropriate.

Carried

6.6 Memorandum from Accessibility Advisor; Re: Site Plan Application SP-2020-09 (Submission #2), 1588 St. John's Sideroad (Block 1)

Staff provided an overview of the site plan and comments submitted to the Planner on behalf of the Committee. The Committee and staff discussed various aspects of the site plan and further suggestions were made regarding consideration for: the relocation of the barrier-free parking spaces closer to the main entrance; sidewalk connectivity with the plaza network; and the addition of a four-way stop.

Moved by Jo-anne Spitzer

Seconded by Matthew Abas

1. That the memorandum regarding Site Plan Application SP-2020-09 (Submission #2), 1588 St. John's Sideroad (Block 1) be received; and
2. That the Accessibility Advisory Committee comments regarding Site Plan Application SP-2020-09 (Submission #2) be received and referred to staff for consideration and further action as appropriate.

Carried**6.7 Round Table Discussion; Re: Town of Aurora Accessibility Plan 2018 to 2024**

([Link to Accessibility Plan](#))

Staff gave an update on the draft Accessibility Plan 2022-2026 and future reporting timelines, noting a public consultation would be held on November 24, 2021, and requested that Committee members provide their feedback by November 19, 2021.

Staff provided an update on the progress of the Information and Communications Standard remediation project, noting that developers will have the choice between submitting acceptable accessible plans or submitting plans to the Town to be remediated for a fee.

Moved by Matthew Abas

Seconded by John Lenchak

1. That the Accessibility Advisory Committee comments regarding the Town of Aurora Accessibility Plan 2018 to 2024 be received and referred to staff for consideration and action as appropriate.

Carried**7. Informational Items**

None.

8. Adjournment

Moved by Matthew Abas

Seconded by Max Le Moine

That the meeting be adjourned at 9:12 p.m.

Carried



Town of Aurora
Accessibility Advisory Committee
Meeting Minutes

Date: Wednesday, November 10, 2021
Time: 7:00 p.m.
Location: Video Conference

Committee Members: Rachelle Stinson (Chair)
 Matthew Abas (Vice Chair)
 John Lenchak (arrived at 7:50 p.m.)
 Hailey Reiss
 Max Le Moine (arrived at 7:55 p.m.)
 Jo-anne Spitzer

Members Absent: Councillor John Gallo

Other Attendees: Mat Zawada, Accessibility Advisor
 Ishita Soneji, Council/Committee Coordinator

1. Procedural Notes

This meeting was held electronically as per Section 19. i) of the Town's Procedure By-law No. 6228-19, as amended, due to the COVID-19 situation.

The Chair called the meeting to order at 7:01 p.m.

2. Approval of the Agenda

Moved by Matthew Abas

Seconded by Jo-anne Spitzer

That the agenda as circulated by Legislative Services, be approved.

Carried

3. Declarations of Pecuniary Interest and General Nature Thereof

There were no declarations of pecuniary interest under the *Municipal Conflict of Interest Act, R.S.O. 1990, c. M.50*

4. Receipt of the Minutes

None.

5. Delegations

None.

6. Matters for Consideration

6.1 Memorandum from Accessibility Advisor; Re: Site Plan application ZBA-2021-06 and SUB-2021-02 (Submission 1), 5 to 70 Archer Hill Court

Staff provided an overview of the site plan and comments submitted to the Planner on behalf of the Committee. The Committee reviewed the site plan and had no further input.

Moved by Matthew Abas

Seconded by Jo-anne Spitzer

1. That the memorandum regarding Site Plan application ZBA-2021-06 and SUB-2021-02 (Submission #1), 5 to 70 Archer Hill Court be received; and
2. That the Accessibility Advisory Committee comments regarding Site plan application ZBA-2021-06 and SUB-2021-02 (Submission #1) be received and referred to staff for consideration and further action as appropriate.

Carried

6.2 Memorandum from Accessibility Advisor; Re: Site Plan application OPA-2021-03, ZBA-2021-03, SP-2021-07 (Submission 2), 15296, 15306, 15314 Yonge Street

Staff provided an overview of the site plan and comments submitted to the Planner on behalf of the Committee. The Committee reviewed the site plan and had no further input.

Moved by Matthew Abas

Seconded by Jo-anne Spitzer

1. That the memorandum regarding Site Plan Application OPA-2021-03, ZBA-2021-03, SP-2021-07 (Submission #2), 15296, 15306, 15314 Yonge Street be received; and
2. That the Accessibility Advisory Committee comments regarding Site plan application OPA,2021-03, ZBA-2021-03, SP-2021-07 (Submission #2) be received and referred to staff for consideration and further action as appropriate.

Carried

6.3 Memorandum from Accessibility Advisor; Re: Site Plan application SP-2021-08 (Submission 2), 20 and 25 Mavrinac Blvd

Staff provided an overview of the site plan and comments submitted to the Planner on behalf of the Committee and the developer's response to previous comments. The Committee and staff reviewed various aspects of the site plan and further suggestions were made regarding consideration for: crosswalk connecting the parkette to surrounding streets and installation of crosswalk at the intersection of Mavrinac Boulevard and Halldorson Avenue connecting the east and west development sites.

Moved by Matthew Abas

Seconded by Hailey Reiss

1. That the memorandum regarding Site Plan Application SP-2021-08 (Submission #2), 20 and 25 Mavrinac Blvd be received; and
2. That the Accessibility Advisory Committee comments regarding Site plan application SP-2021-08 (Submission #2) be received and referred to staff for consideration and further action as appropriate.

Carried

6.4 Memorandum from Accessibility Advisor; Re: Town of Aurora Multi-Year Accessibility Plan 2022 – 2026

Staff provided a brief overview of the memorandum and provided details on various aspects of the 2022-2026 Multi-Year Accessibility Plan

including accessible formatting, creating a HTML version of the plan for easy navigation, and changes from the current plan. Staff further provided details on the structure of the plan identifying the five key pillars of focus and the specific goals within each area. Staff noted that public consultation via an open forum, the Town website, social media platforms, and Engage Aurora survey is ongoing. Staff further advised that feedback regarding the plan can be provided by December 3, 2021. The Committee advised on minor revisions and were in support of the proposed plan.

Moved by Hailey Reiss

Seconded by Matthew Abas

1. That the memorandum regarding Town of Aurora Multi-Year Accessibility Plan 2022 – 2026 be received; and
2. That the Accessibility Advisory Committee comments regarding Town of Aurora Multi-Year Accessibility Plan 2022 – 2026 be received and referred to staff for consideration and further action as appropriate.

Carried

6.5 Round Table Discussion; Re: Town of Aurora Accessibility Plan 2018 to 2024

Staff provided an update on the various capital and operating project accomplishments as follows: completion of the Facility Accessible Design Standards noting that the document will be added to the Town website; behaviour management training for staff; upgrading the door operators at the Stronach Aurora Recreation Complex and the Aurora Seniors Centre; availability of portable ramps at all special events; addition of evacuation chairs to emergency staircases at the Aurora Community Centre, Aurora Family Leisure Complex, and one to be installed at the Aurora Public Library.

Staff further proposed an initiative for the Committee's consideration by Holland Bloorview called the Dear Everybody in Action campaign. Staff noted the purpose of the campaign is to create awareness and learn about ableism in the community, social media, and various media platforms. The Committee and staff discussed about the prospects of incorporating and applying the concepts to various Town initiatives and content.

Staff referred to the accessibility video project noting that the first introductory video is forthcoming and information regarding participating in the video will be circulated to the Committee members. The Committee and staff discussed about the expectations and content for the first video, involvement of staff and Members of Council, the suitable length and format of the video, video shooting locations, and proposed topic. The Committee further discussed topics for future videos and creating a repository of videos for access to the community. Staff advised that all safety protocols and COVID-19 health guidelines will be followed for any in-person video recording instances.

Moved by Hailey Reiss

Seconded by Jo-anne Spitzer

1. That the Accessibility Advisory Committee comments regarding the Town of Aurora Accessibility Plan 2018 to 2024 be received and referred to staff for consideration and further action as appropriate.

Carried

7. Informational Items

None.

8. Adjournment

Moved by Hailey Reiss

Seconded by Matthew Abas

That the meeting be adjourned at 8:18 p.m.

Carried



100 John West Way
Aurora, Ontario
L4G 6J1
(905) 727-3123
aurora.ca

Town of Aurora
Memorandum
Corporate Services

Re: Site plan application OPA-2021-06 & ZBA-2021-08 (Submission #1), 200 Wellington Street West

To: Accessibility Advisory Committee

From: Mateusz Zawada, Accessibility Advisor

Date: December 8, 2021

Recommendation

1. That the memorandum regarding Site plan application OPA-2021-06 & ZBA-2021-08 (Submission #1), 200 Wellington Street West be received; and
2. That the Accessibility Advisory Committee comments regarding Site plan application OPA-2021-06 & ZBA-2021-08 (Submission #1) be received and referred to staff for consideration and further action as appropriate.

Background

The Accessibility Advisor has made comments on behalf of the Accessibility Advisory Committee.

The following comments are conditions that must be met:

- No further comments at this time. The Accessibility Advisory Committee appreciates the opportunity to provide comments.

Please also note that there are new Design of Public Spaces (Built Environment) Standards enacted from the Province of Ontario, under the Accessibility for Ontarians with Disabilities Act and revisions to the Ontario Building Code to help standardize and encourage barrier free access.

Attachments

OPA-2021-06 and ZBA-2021-08

INTERNAL MEMORANDUM

VIA EMAIL

DATE: November 17, 2021

TO: B. Butler, Planning and Development Services
B. Jean, Planning and Development Services
G. Greidanus, Operational Services
L. Hausz, Manager, Policy Planning and Economic Development
J. Van Scheyndel, Corporate Services
J. McDonald, Central York Fire Services
B. Manoharan, Heritage Planning, Planning and Development Services
M. Bat, Engineering and Capital Delivery
A. Downey, Operational Services
A. Cutler, Waste and Recycling Coordinator
M. Zawada, Accessibility Advisor

CC: Mayor and Members of Council
David Waters, Director of Planning and Development Services
Council Secretariat, Corporate Services

FROM: Matthew Peverini, Planning and Development Services

RE: **Official Plan and Zoning By-law Amendment Applications**
200 Wellington Holding Corp.
200 Wellington Street West
Part of Lot 3, Registered Plan 582, Parts 1 and 6, Plan 65R38654
File Numbers: OPA-2021-06 and ZBA-2021-08

The above Official Plan and Zoning By-law Amendment Applications have been submitted to the Planning and Development Services for review and consideration. The Applications were deemed Complete on November 16, 2021.

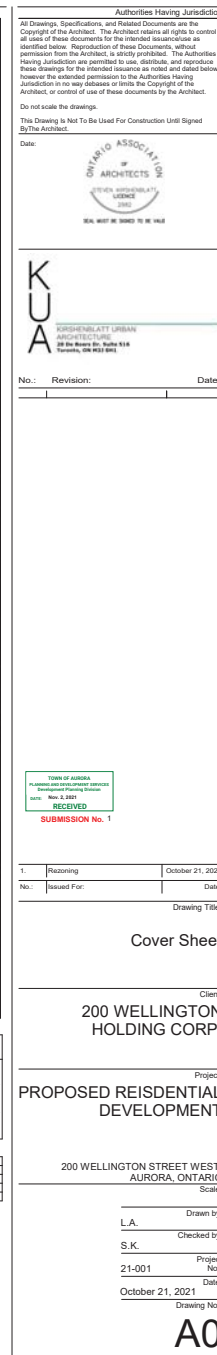
The Applicant is proposing to facilitate the development of twenty-seven (27) townhouse dwelling units along a private common element road.

A link containing all materials submitted with the applications is provided below:

<https://townofaurora.kiteworks.com/w/j1PShXQhhvpJldxf7nR9w0kAb0CWh1KQF8Q5yzfgJV0yD>

I would appreciate receiving your comments by **December 7, 2021**. If we have not received your comments by the specified time frame, we will assume you have no comments or concerns.

Should you have any questions regarding the above noted proposal, please feel free to contact me



200 WELLINGTON STREET WEST,
AURORA, ONTARIO

DRAWING LIST			
Sheet Number	Sheet Name	Issued 1 (October 21, 2021)	Issued 2 (August 13, 2021)
		Issued 3 (August 13, 2021)	Issued 4 (August 13, 2021)

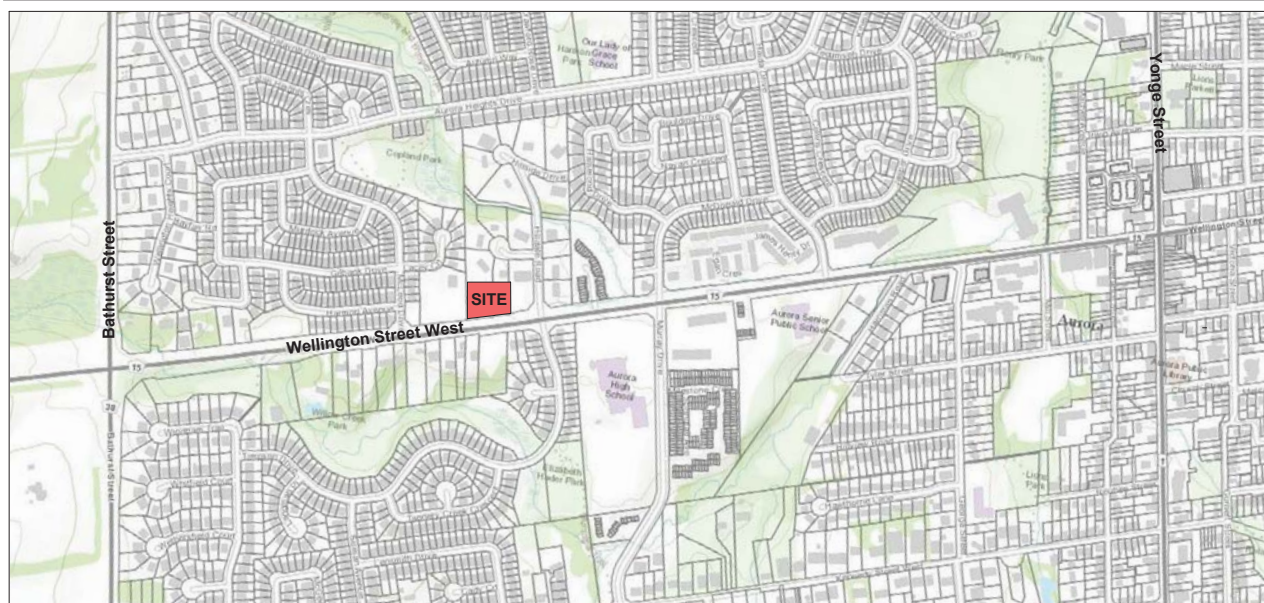
11 REVISIONS			
A0	Cover Sheet		
A0	Site Plan		
A0	Plant Plans, Elevations & Schedule - Block 1 & 2		
A1	Context Plan, Site Statistics and Schedule of Lots		
	Ground Plans, Elevations & Schedule - Block 1 & 2		

Project
PROPOSED REISIDENTIAL
DEVELOPMENT

200 WELLINGTON STREET WEST
AURORA, ONTARIO
Scale:

L.A.	Drawn by
S.K.	Checked by
21-001	Project No.
October 21, 2021	Date

A0



Context Plan 2
NTS A1



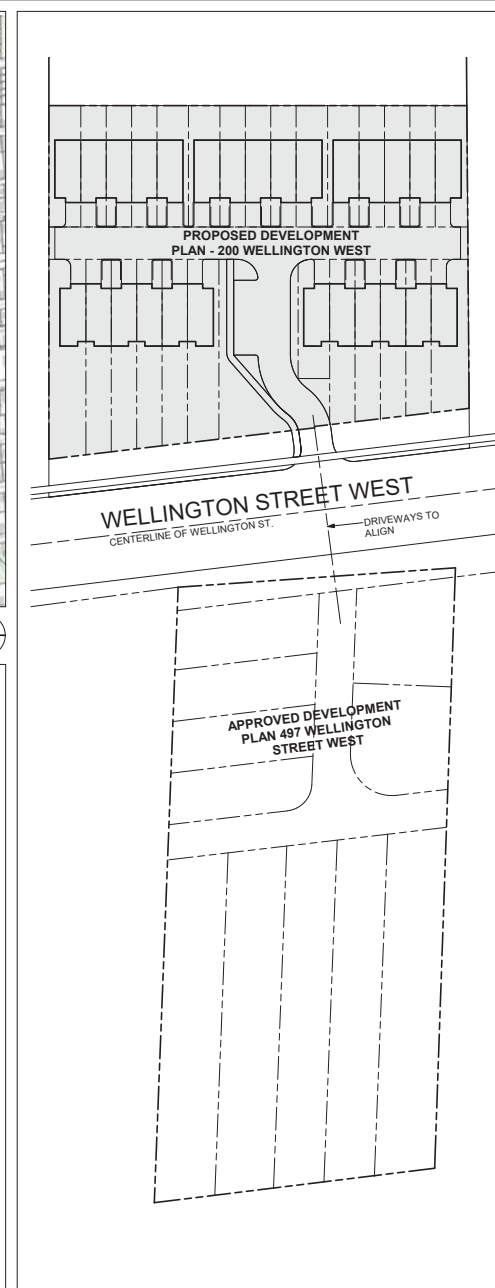
Schedule Of Lots & Lots Areas 4
1 : 500 A1

LOTS	SQ.M.
LOT 1	343.35
LOT 2	231.08
LOT 3	227.52
LOT 4	223.95
LOT 5	220.38
LOT 6	268.35
LOT 7	181.99
LOT 8	144.65
LOT 9	144.65
LOT 10	144.65
LOT 11	179.36
LOT 12	179.36
LOT 13	144.65
LOT 14	144.65
LOT 15	144.65
LOT 16	179.36
LOT 17	179.36
LOT 18	144.65
LOT 19	144.65
LOT 20	144.65
LOT 21	182.6
LOT 22	175.48
LOT 23	195.22
LOT 24	191.68
LOT 25	188.13
LOT 26	184.59
LOT 27	265.26
Common Element	1359.27
TOTAL	6458.14

PROJECT STATISTICS:

1.0	Site Areas					
	Site Area	sq.m.				
		6,438.14				
2.0	Gross Floor Area					
		sq.m.	sq.m.	sq.m.	sq.m.	sq.m.
		Block 1	Block 2	Block 3	Block 4	Block 5
	Total Area	1,187.55	1,187.55	1,018.60	1,019.04	1,019.04
	Total Proposed GFA	5,431.78				
3.0	Floor Space Index					
	Total Proposed GFA (sq.m./Site Area)	F.I.				
	5,431.78	+ 6,438.14				
		0.84				
4.0	Floor Sizes					
	Total Units	Level 1	Level 2	Level 3	Total (sq.m.)	Total (sq.m.)
	TYPE 1	8	55.95	70.27	70.27	196.49
	TYPE 1E	4	57.45	71.77	71.77	200.99
	TYPE 2	9	57.74	72.05	72.05	201.84
	TYPE 2E	6	59.24	73.55	73.55	206.34
	Totals	27				
5.0	Proposed Coverage					
		sq.m.				
	Building	1,939.40				
	Roads	1,460.70				
	Landscape	3,058.04				
	Total Area	6,458.14				
6.0	Parking					
6.1	Parking Required					
	Total Units	Parking Ratio				
	Total Parking	27 x	1.5			40
	Visitors		20%	of Parking Required		
	Residents					3
6.2	Parking Provided					
	Total Units	Parking Ratio				
	Residents	27 x	2.0			54
	Visitors					3
	Total Parking Provided					

Project Statistics	3
NTS	A1



Local Context	1
1 : 500	A1



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On the scale the drawings:
 This Drawing is Not To Be Used For Construction Until Signed By The Architect: October 21, 2021
 Date:

KU A
 KUSHNENKO URBAN ARCHITECTURE
 88 The Bazaar, Suite 504
 Toronto, ON M5S 1B5

No.: Revision: Date:

TOWN OF AURORA
 Planning and Development Services
 Received: Nov 2, 2021
 SUBMISSION No. 1

1. Rezoning	October 21, 2021
No. Issued For:	Date:

Drawing Title:
Site Plan

Client:
200 WELLINGTON HOLDING CORP.

Project:
PROPOSED RESIDENTIAL DEVELOPMENT

200 WELLINGTON STREET WEST,
 AURORA, ONTARIO

Scale:
 1 : 200

Drawn by:
 L.A.

Checked by:
 S.K.

Project No.:
 21-001

Date:
 October 21, 2021

Drawing No.:
A2

Site Plan 1
 1 : 200



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This Drawing is Not To Be Used For Construction Until Signed By The Architect: October 21, 2021

Date: _____

ONTARIO ASSOCIATION OF ARCHITECTS
REGISTERED ARCHITECT
1992
REAL RIGHT TO SIGN TO BE 1942

KU A
KUSHNEVSKAYA URBAN ARCHITECTURE
88 The Bazaar, Suite 514
Toronto, ON M5S 1B5

No.: _____ Revision: _____ Date: _____

TOWN OF AURORA
Planning and Development Services
Development Services Division
Attn: Alex S. HAY
RECEIVED
SUBMISSION No. 1

1. Rezoning	October 21, 2021
No. Issued For:	Date:

Drawing Title:

Floor Plans, Elevations & Sections - Block 1 & 2

Client:
200 WELLINGTON HOLDING CORP.

Project:
PROPOSED RESIDENTIAL DEVELOPMENT

200 WELLINGTON STREET WEST,
AURORA, ONTARIO

Scale:
1 : 100

Drawn by:
L.A.

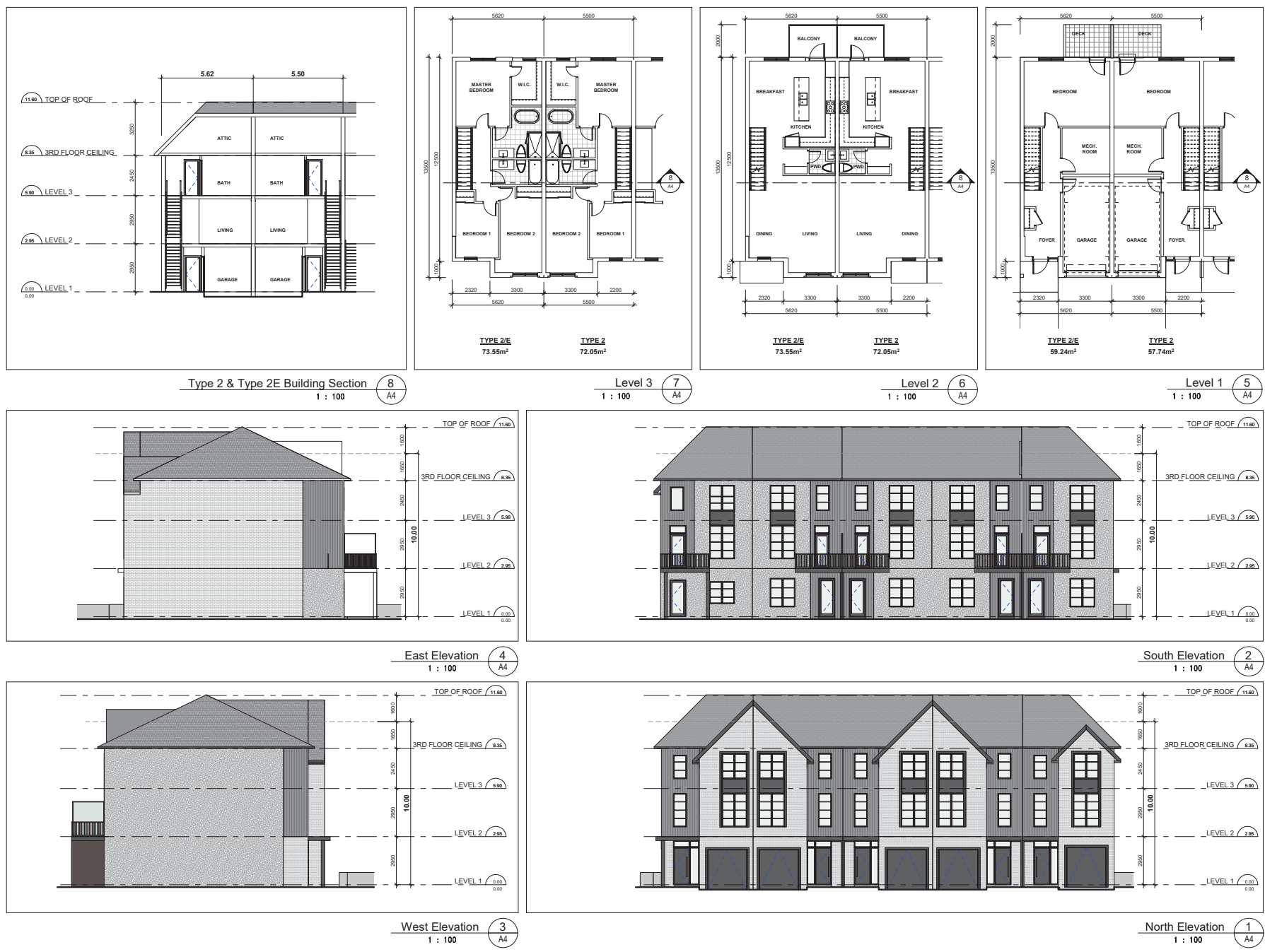
Checked by:
S.K.

Project No.:
21-001

Date:
October 21, 2021

Drawing No.:
A3

Print Date: 2021-10-21 4:28:19 PM File Path: C:\Users\jagm\Documents\21-001-P11-Wellington Street W_P112111_Correl_Layout.dwg



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On file scale the drawings.

This Drawing is Not To Be Used For Construction Until Signed By The Architect.

Date: October 21, 2021

ORDNANCE ASSOCIATION OF ARCHITECTS
OF ONTARIO
REGISTERED ARCHITECT
1982
REAL. REG. NO. 10000 10000

KU A
KUSHNAR LATTI URBAN ARCHITECTURE
88 The Bazaar, Suite 514
Toronto, ON M5S 1B1

No.: _____ Revision: _____ Date: _____

TOWN OF AURORA
Planning and Development Services
Residential Planning Division
Date: Nov. 3, 2021
RECEIVED
SUBMISSION No. 1

1. Rezoning	October 21, 2021
No. Issued For:	Date:

Drawing Title:

Floor Plans, Elevations & Sections - Block 3, 4 & 5

Client:
200 WELLINGTON HOLDING CORP.

Project:
PROPOSED RESIDENTIAL DEVELOPMENT

200 WELLINGTON STREET WEST, AURORA, ONTARIO

Scale:
1 : 100

Drawn by:
L.A.

Checked by:
S.K.

Project No.:
21-001

Date:
October 21, 2021

Drawing No.:
A4

Reg. Date: 2021-10-21 4:28:35 PM File Path: C:\Users\jagm\Documents\21-001-P11-Wellington Street W_P112111_Correl_Lines.dwg



100 John West Way
Aurora, Ontario
L4G 6J1
(905) 727-3123
aurora.ca

Town of Aurora
Memorandum
Corporate Services

Re: Site plan application OPA-2021-05 and ZBA-2021-07 (Submission #1),
14086 Yonge Street

To: Accessibility Advisory Committee

From: Mateusz Zawada, Accessibility Advisor

Date: December 8, 2021

Recommendation

1. That the memorandum regarding Site plan application OPA-2021-05 and ZBA-2021-07 (Submission #1), 14086 Yonge Street be received; and
2. That the Accessibility Advisory Committee comments regarding Site plan application OPA-2021-05 and ZBA-2021-07 (Submission #1) be received and referred to staff for consideration and further action as appropriate.

Background

The Accessibility Advisor has made comments on behalf of the Accessibility Advisory Committee.

The following comments are conditions that must be met:

- No further comments at this time. The Accessibility Advisory Committee appreciates the opportunity to provide comments.

Please also note that there are new Design of Public Spaces (Built Environment) Standards enacted from the Province of Ontario, under the Accessibility for Ontarians with Disabilities Act and revisions to the Ontario Building Code to help standardize and encourage barrier free access.

Attachments

OPA-2021-05 and ZBA-2021-07

INTERNAL MEMORANDUM

VIA EMAIL

DATE: November 17, 2021

TO: B. Butler, Planning and Development Services
B. Jean, Planning and Development Services
G. Greidanus, Operational Services
L. Hausz, Manager, Policy Planning and Economic Development
J. Van Scheyndel, Corporate Services
J. McDonald, Central York Fire Services
B. Manoharan, Heritage Planning, Planning and Development Services
M. Bat, Engineering and Capital Delivery
A. Downey, Operational Services
A. Cutler, Waste and Recycling Coordinator
M. Zawada, Accessibility Advisor

CC: Mayor and Members of Council
David Waters, Director of Planning and Development Services
Council Secretariat, Corporate Services

FROM: Matthew Peverini, Planning and Development Services

RE: **Official Plan and Zoning By-law Amendment Applications**
Zameni
14086 Yonge Street
Part of Lot 1, Plan 132
File Numbers: OPA-2021-05 and ZBA-2021-07

The above Official Plan and Zoning By-law Amendment Applications have been submitted to the Planning and Development Services for review and consideration. The Applications were deemed Complete on November 15, 2021.

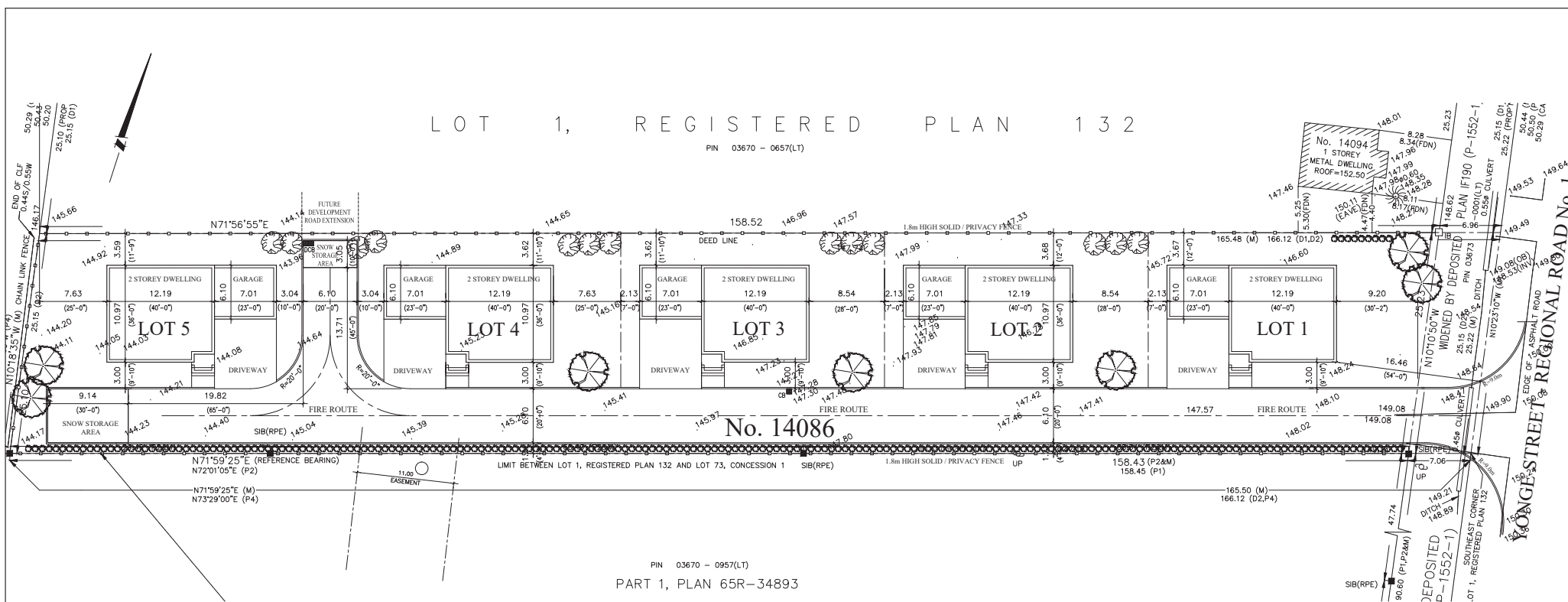
The Applicant is proposing to facilitate the development of five (5) detached residential dwellings along a private road.

A link containing all materials submitted with the applications is provided below:

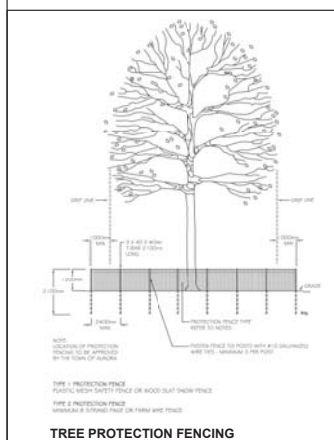
<https://townofaurora.kiteworks.com/w/VMALD10Lvso6qH8Qe659K3lolbsMnWdBBrhRwhcCxkk9X>

I would appreciate receiving your comments by **December 7, 2021**. If we have not received your comments by the specified time frame, we will assume you have no comments or concerns.

Should you have any questions regarding the above noted proposal, please feel free to contact me



SITE PLAN
SCALE: 1:200



SUBMISSION No. 1

TOWN OF AURORA
PLANNING AND DEVELOPMENT SERVICES
Development Planning Division
DATE: Oct 28, 2021
RECEIVED

SITE STATISTICS

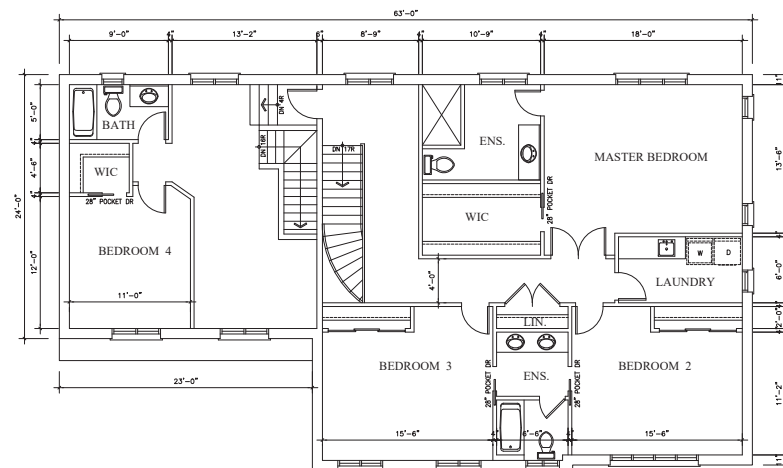
EXISTING ZONING:	OPA-34-UR-ORM
PROPOSED ZONING:	AMEND ABOVE ZONING
OVERALL LOT AREA (NOT INCLUDING ROAD WIDENING AREA)	3,951.45 m ² 42,534 s.f.
LOT 1	
LOT AREA	560.21 m ² 6,030 s.f.
COVERAGE	176.50 m ² 1,900 s.f. (31.51 %)
LOT 2	
LOT AREA	526.83 m ² 5,671 s.f.
COVERAGE	176.50 m ² 1,900 s.f. (33.50 %)
LOT 3	
LOT AREA	526.18 m ² 5,664 s.f.
COVERAGE	176.50 m ² 1,900 s.f. (33.54 %)
LOT 4	
LOT AREA	517.63 m ² 5,572 s.f.
COVERAGE	176.50 m ² 1,900 s.f. (34.10 %)
LOT 5	
LOT AREA	537.70 m ² 5,788 s.f.
COVERAGE	176.50 m ² 1,900 s.f. (32.82 %)

SURVEY INFORMATION PREPARED BY
VLADIMIR DOSEN SURVEYING, OLS.
DATED OCTOBER 11, 2016
SURVEYOR'S REAL PROPERTY REPORT
PART OF
LOT 1
REGISTER PLAN 132
TOWN OF AURORA
REGIONAL MUNICIPALITY OF YORK

3	MAY 04/21	REVISED
2	MAY 04/21	REVISED
1	MAY 04/21	ISSUED FOR REVIEW
No.	Date	Revised
Contractor must check and verify all dimensions and conditions on the job, and report any discrepancies to the Designer before proceeding with the work. DO NOT SCALE DRAWINGS.		
Frank Rotundo - Architect / Design Consultant 10 Dundas Street West, Toronto, ON M5G 1A5 Tel: (416) 593-1111 Fax: (416) 593-1112 Email: frank@frankrotundo.com		
Project: DETACHED RESIDENTIAL DWELLINGS 14086 YONGE STREET AURORA, ON.		
Drawing Title SITE PLAN		
Sheet	AS SHOWN	Sheet Number
Date		
Project Number		

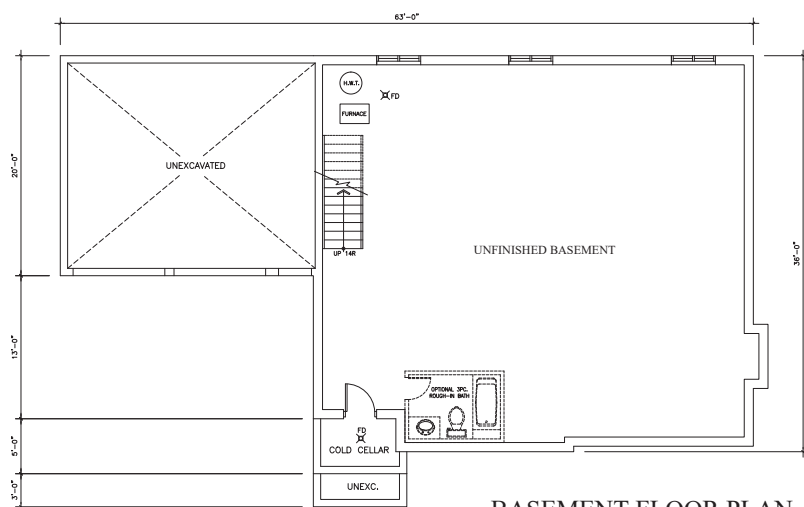
A.1

TOTAL BUILDING AREA	-	180.78 m ²	1,946 s.f.
GROSS FLOOR AREA:			
GROUND FLOOR AREA	-	130.06 m ²	1,400 s.f.
SECOND FLOOR AREA	-	176.51 m ²	1,900 s.f.
TOTAL GFA	-	306.57 m ²	3,300 s.f.



SECOND FLOOR PLAN

SCALE: 3/16" = 1'-0"

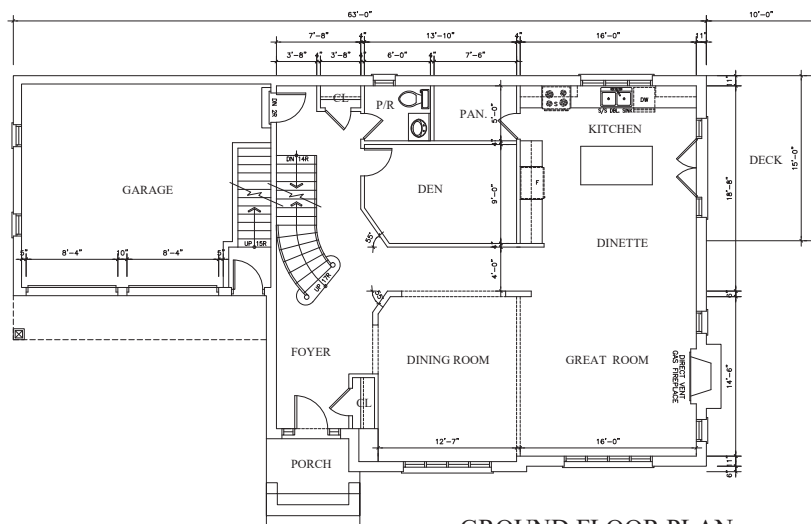


BASEMENT FLOOR PLAN

SCALE: 3/16" = 1'-0"

SUBMISSION No. 1

TOWN OF AURORA
PLANNING AND DEVELOPMENT SERVICES
Development Planning Division
DATE: Oct. 28, 2021
RECEIVED



GROUND FLOOR PLAN

SCALE: 3/16" = 1'-0"

3	REV. 06/21	REVISED
2	REV. 07/20	REVISED
1	REV. 09/20	ISSUED FOR REVIEW

Contractor must check and verify all dimensions and conditions on the job and report any discrepancies to the Designer before proceeding with the work.
DO NOT SCALE DRAWINGS.

Frank Rotundo - Architect / Design Consultant
111 Rotunda Court, Richmond Hill, ON L4B 3T6
(905) 881-1100 • 1000 Rotunda Court, Aurora, ON

Project:
DETACHED RESIDENTIAL DWELLINGS
14086 YONGE STREET
AURORA, ON.

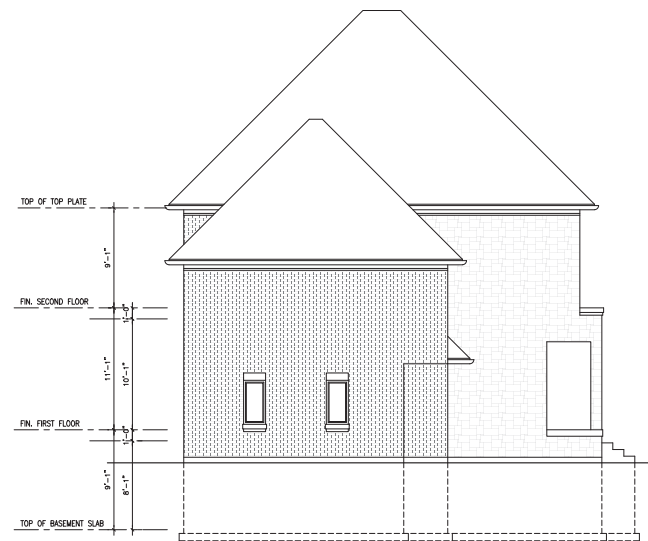
Drawing Title
TYPICAL FLOOR PLANS

Scale	AS SHOWN	Drawing Number	A.2
Date			
Project Number			



FRONT ELEVATION A

SCALE: 3/16" = 1'-0"



LEFT SIDE ELEVATION

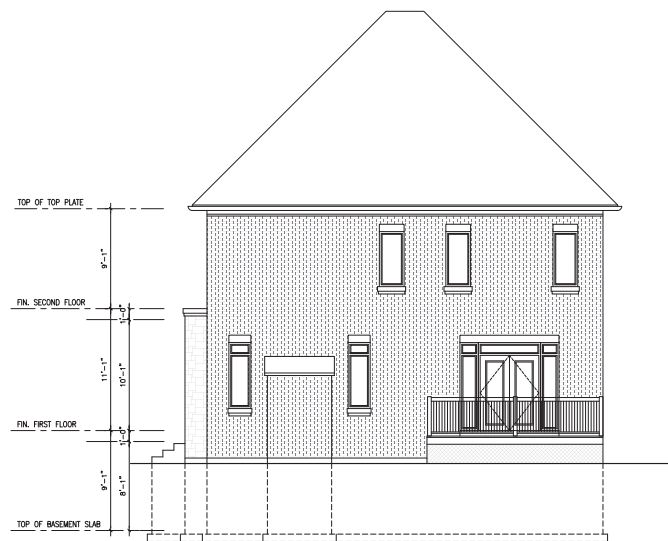
SCALE: 3/16" = 1'-0"



REAR ELEVATION

SCALE: 3/16" = 1'-0"

SUBMISSION No. 1



RIGHT SIDE ELEVATION

SCALE: 3/16" = 1'-0"

3	MAY 26/21	REVISED
2	DEC. 07/20	REVISED
1	MAR. 09/20	ISSUED FOR REVIEW
No.	Date	Revision
<p>Contractor must check and verify all dimensions and conditions on the job, and report any discrepancies to the Designer before proceeding with the work.</p> <p>DO NOT SCALE DRAWINGS.</p> <p>Frank Rotundo - Architect / Design Consultant 1000 Lakeshore Drive, Suite 100, Aurora, ON L4G 1B9 (416) 709-1000</p>		
<p>Project:</p> <p>DETACHED RESIDENTIAL DWELLINGS 14086 YONGE STREET AURORA, ON.</p>		
<p>Drawing Title</p> <p>TYPICAL ELEVATIONS</p>		
Scale	AS SHOWN	Drawing Number
Date		A.3
Project Number		



FRONT ELEVATION B

SCALE: 3/16" = 1'-0"



FRONT ELEVATION C

SCALE: 3/16" = 1'-0"



FRONT ELEVATION C.1

SCALE: 3/16" = 1'-0"

SUBMISSION No. 1



3	MAY 06/21	REVISED
2	DEC 07/20	REVISED
1	MAR 09/20	ISSUED FOR REVIEW
No.	Date	Revision
Contractor must check and verify all dimensions and conditions on the job, and report any discrepancies to the Designer before proceeding with the work.		
DO NOT SCALE DRAWINGS.		
Frank Rotundo - Architect / Design Consultant		
1000 Yonge Street, Suite 101, Aurora, ON L4G 1B1		
Project:		
DETACHED RESIDENTIAL DWELLINGS		
14001 YONGE STREET		
AURORA, ON		
Drawing Title		
ALTERNATIVE FRONT ELEVATIONS		
Scale	AS SHOWN	Drawing Number
Date		A.4
Project Number		



STREETSCAPE

NOT TO SCALE



COLOUR RENDERING

NOT TO SCALE

SUBMISSION No. 1



3	MAY 16/21	REVISED
2	DEC. 07/20	REVISED
1	MAY 04/20	ISSUED FOR REVIEW
No.	Date	Revision
<p>Contractor must check and verify all dimensions and conditions on the job, and report any discrepancies to the Designer before proceeding with the work.</p> <p>DO NOT SCALE DRAWINGS.</p> <p>Frank Rotundo - Architect / Design Consultant</p> <p>66 Rathfriland Drive - Richmond Hill, Ont. L4B 2T6 (905) 709-1122 frank@frankrotundo.com</p>		
<p>Project:</p> <p>DETACHED RESIDENTIAL DWELLINGS</p> <p>14086 YONGE STREET AURORA, ON.</p>		
<p>Drawing Title</p> <p>COLOUR STREETSCAPE</p>		
Scale	AS SHOWN	Drawing Number
Date		A.5
Project Number		



100 John West Way
Aurora, Ontario
L4G 6J1
(905) 727-3123
aurora.ca

Town of Aurora
Memorandum
Corporate Services

Re: Site plan application SP-2021-12 (Submission #1), 377 Hartwell Way

To: Accessibility Advisory Committee

From: Mateusz Zawada, Accessibility Advisor

Date: December 8, 2021

Recommendation

1. That the memorandum regarding Site plan application SP-2021-12 (Submission #1), 377 Hartwell Way be received; and
2. That the Accessibility Advisory Committee comments regarding Site plan application SP-2021-12 (Submission #1) be received and referred to staff for consideration and further action as appropriate.

Background

The Accessibility Advisor has made comments on behalf of the Accessibility Advisory Committee.

The following comments are conditions that must be met:

- Rest/seating areas to be provided along exterior path of travel, as long as it does not impede the minimum exterior path (sidewalk) clearance of 1,500 mm. Accessible routes shall incorporate level rest areas spaced no more than 30 metres (98ft. - 5in.) apart;
- Automatic door openers for all public access locations, including proper timed door delays;
- Installation of proper tactile indicators at the proposed staircases;
- All customer services counters, meeting rooms and seminar rooms to have an induction loop;
- All customer services counters to have an allocated accessibility spot;
- All drop-off locations to have a rolling curb depression providing access to the exterior path of travel;
- Accessible route or ramp to be provided to the stage in the gymnasium;

- Barrier-free parking running slope of 5% is steep. An accessible route, including the parking spot and access aisle, should aim for:
 - a firm, level surface with a maximum of 1.5% running slope for drainage;
 - a maximum cross slope of 1%.

The following comments are considerations:

- Barrier-free parking in childcare parking lot to be changed to a Type A spot, accommodating accessible vans for people using larger mobility devices, such as wheelchairs or scooters, who need more space to enter or exit vehicles;
- Consideration for emergency evacuation chairs to be provided at all staircase locations.

Please also note that there are new Design of Public Spaces (Built Environment) Standards enacted from the Province of Ontario, under the Accessibility for Ontarians with Disabilities Act and revisions to the Ontario Building Code to help standardize and encourage barrier free access.

Attachments

SP-2021-12

INTERNAL MEMORANDUM

DATE: October 12, 2021

TO: B. Butler, Planning and Development Services
B. Jean, Building Division
M. Bat, Engineering & Capital Delivery Division
J. Van Scheyndel, Corporate Services
M. Zawada, Accessibility Advisor
B. Jakovina, Operations – Parks
A. Cutler, Waste/Recycling Coordinator
E. Terry, Policy Planning
S. Corr, Planning and Development Services
B. Manoharan, Heritage Planning

CC: Mayor and Members of Council
D. Waters, Director of Planning and Development Services
L. Hausz, Manager, Economic Development and Policy
A. Henriques, Manager of Planning and Development Services

FROM: Sean Lapenna, Planning and Development Services

RE: **Application for Site Plan Approval – Elementary School**
York Region District School Board
377 Hartwell Way (SP-2021-12)

A **1ST submission** has been made to Planning and Development Services for the above noted Site Plan application to facilitate a two-storey JK-8 elementary school (638 students) which will include a bus drop-off lane, parking, an asphalt play yard, fenced play areas and green space throughout. The school will also include a child care program to provide child care services (maximum of 48 children).

Due to file size restrictions, the majority of supporting documents for this application have been uploaded through the following kiteworks link:

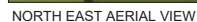
<https://townofaurora.kiteworks.com/w/9230iz8eTUoEfr77Bzld1HoiprONxnDkfJBDFWpo7DSZ>

Please review this proposal and provide me with your comments by **November 2, 2021**. Should you have any questions regarding the above, please feel free to contact me.

Regards,



Sean Lapenna, Planner
Planning and Development Services

[illegible]

AURORA 2C PUBLIC
SCHOOL

CORNER OF
WILLIAM GRAHAM DR. &
HARTWELL WAY, AURORA, ON

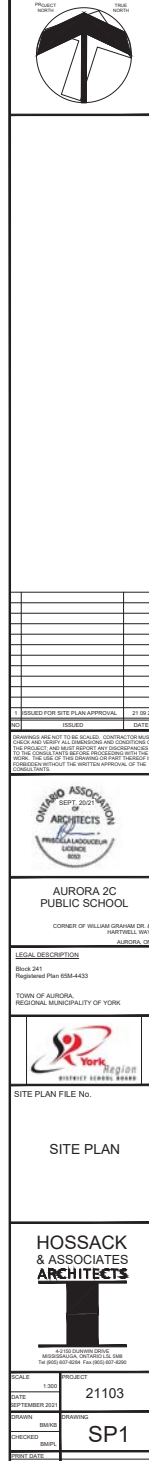
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BLOCK 241, REGISTERED PLAN 65M-44
TOWN OF AURORA,
REGIONAL MUNICIPALITY OF YORK

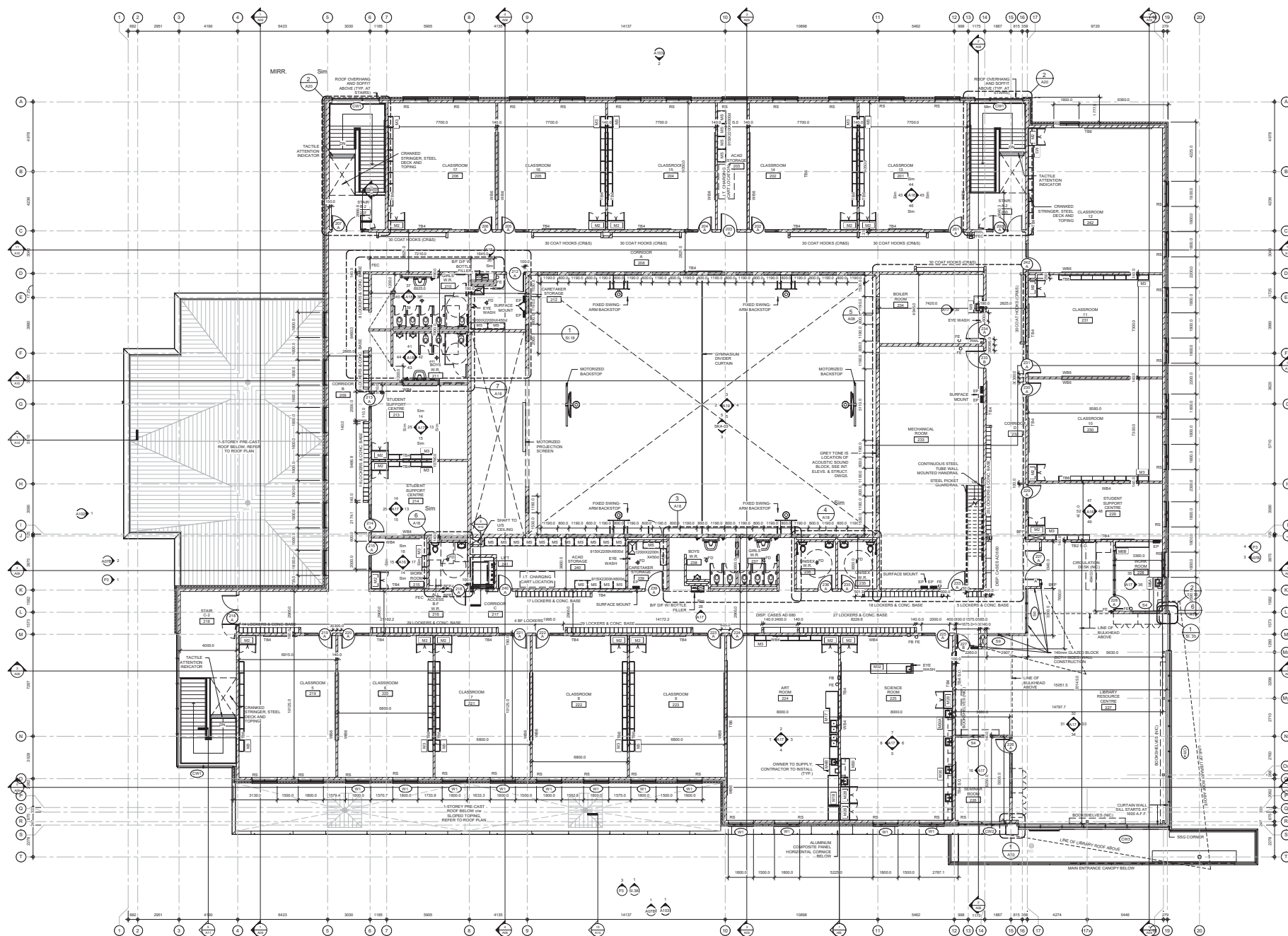


EXTERIOR PERSPECTIVES



SCALE	PROJECT
DATE JULY 2021	21103
DRAWN Author	DRAWING
CHECKED Checker	A07A
PRINT DATE	2021-08-12 2:41:53 PM

[illegible]

[illegible]

NO.	ISSUED	DATE
<p>DRAWINGS ARE NOT TO BE SCALED. CONTRACTOR MUST CHECK AND VERIFY ALL DIMENSIONS AND CONDITIONS OF THE PROJECT; AND MUST REPORT ANY DISCREPANCY TO THE CONSULTANTS BEFORE PROCEEDING WITH THE WORK. THE USE OF THIS DRAWING OR PART THEREOF FORBIDDEN WITHOUT THE WRITTEN APPROVAL OF THE</p>		

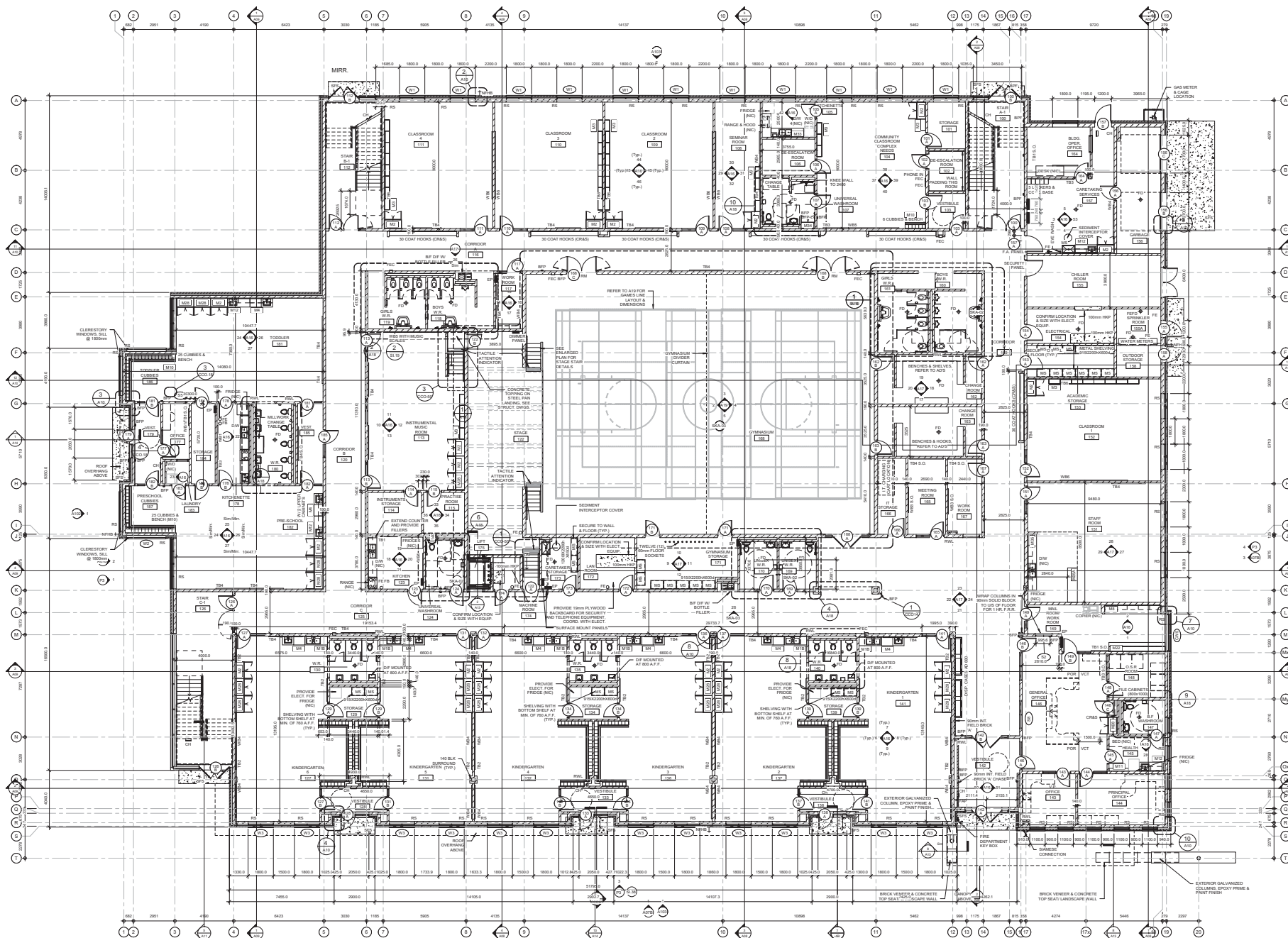
CORNER OF
WILLIAM GRAHAM DR. &
HARTWELL WAY, AURORA, ONT.
LEGAL DESCRIPTION
BLOCK 241, REGISTERED PLAN 65M-44
TOWN OF AURORA,
REGIONAL MUNICIPALITY OF YORK



SECOND FLOOR
PLAN

**HOSSACK
& ASSOCIATES
ARCHITECTS**

SCALE 1:100	PROJECT 21103
DATE JULY 2021	
DRAWN BM	DRAWING A03
CHECKED PL	
PRINT DATE	2021-09-22 4:14:36 PM



NO.	REVISIONS	DATE

NO.	ISSUED	DATE

CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES.

AURORA 2C PUBLIC SCHOOL

CORNER OF
MILLIKEN AVENUE &
BAYVIEW AVENUE, AURORA, ON
LEGAL DESCRIPTION:
BLOCK 241, REGISTERED PLAN 65M-4433
TOWN OF AURORA,
REGIONAL MUNICIPALITY OF YORK



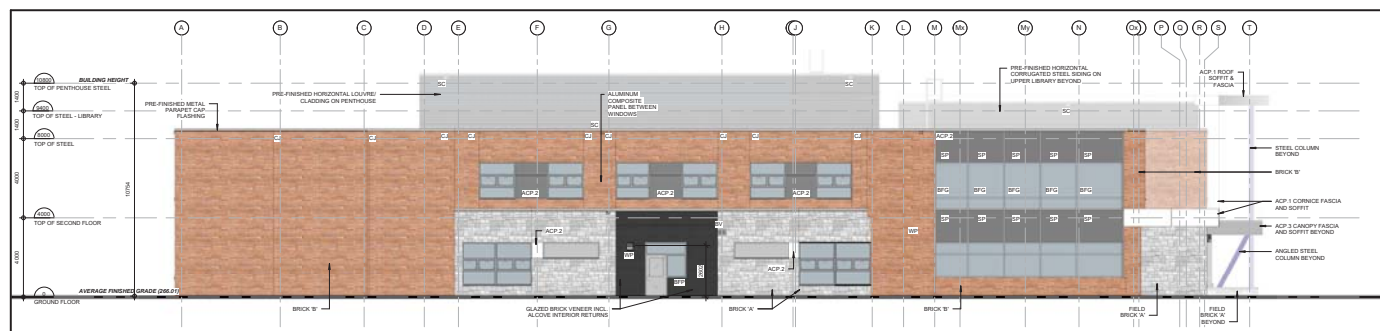
GROUND FLOOR PLAN

HOSSACK & ASSOCIATES ARCHITECTS

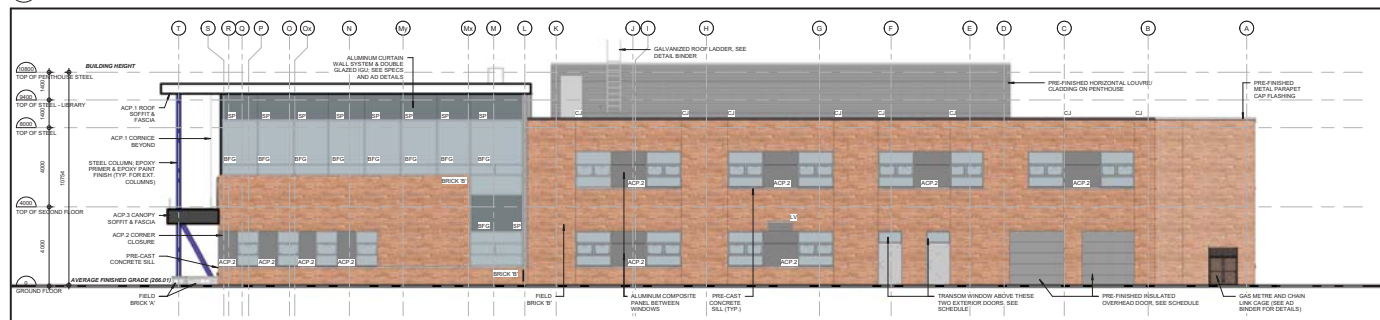
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DATE	21103
DRAWN	BM
CHECKED	PL
DATE	2017-08-22 & 2017-09-11



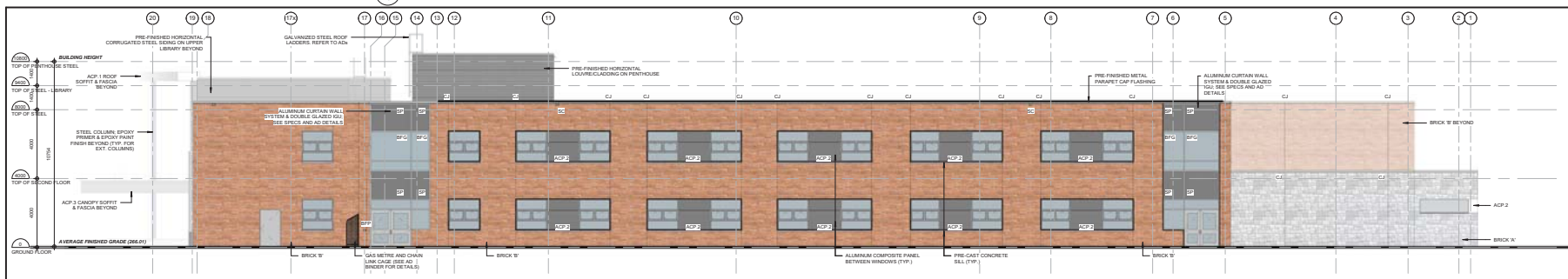
2 NORTH ELEVATION
SCALE: 1:100



4 EAST ELEVATION
SCALE: 1:100



3 WEST ELEVATION
SCALE: 1:100



1 SOUTH ELEVATION
SCALE: 1:100

ABBREVIATIONS

ACP	ALUMINUM COMPOSITE PANEL
BFG	BIRD FRIENDLY GLAZING, SEE SPEC
CSF	CONTROL JOINT
CSP	COLORFUL SPANDREL PANEL
EXT	EXTERIOR
ISI	INSULATED GLAZED UNIT
BP	BRICK PANEL
VP	VERTICAL

ELEVATION LEGEND

MASONRY BRICK 'A' (100/30 RED)	
MASONRY BRICK 'B' (100/30 LIGHT GREY)	
HORIZONTAL CORRUGATED STEEL SING PENTHOUSE LOUVER	

ALUMINUM COMPOSITE PANEL (WHITE)

ALUMINUM COMPOSITE PANEL 2 (GREY)

ALUMINUM COMPOSITE PANEL 3 (CHARCOAL)

GLAZED BRICK (CORROCAL)

SPANDREL PANEL (GREY)

BFG - BIRD FRIENDLY GLAZING (DOTS)

NO

REVISIONS

DATE

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NORTH WEST VIEW



NORTH EAST AERIAL VIEW



MAIN ENTRANCE - NORTH VIEW



NORTH VIEW



NORTH EAST VIEW



CHILD CARE ENTRANCE - NORTH EAST VIEW



EAST VIEW



SOUTH WEST VIEW

NO	REVISIONS	DATE
1	ISSUED FOR SITE PLAN APPROVAL	2/15/07
NO	ISSUED	DATE

DRAWINGS ARE NOT TO BE SCALED. CONTRACTOR MUST CHECK AND VERIFY ALL DIMENSIONS AND CONDITIONS OF THE PROJECT, AND MUST REPORT ANY DISCREPANCIES TO THE CONSULTANT BEFORE PROCEEDING WITH THE WORK. THE USE OF THIS DRAWING OR PART THEREOF WITHOUT THE WRITTEN APPROVAL OF THE



AURORA 2C PUBLIC
SCHOOL

CORNER OF
WILLIAM GRAHAM DR. &
HARTWELL WAY, AURORA, OR

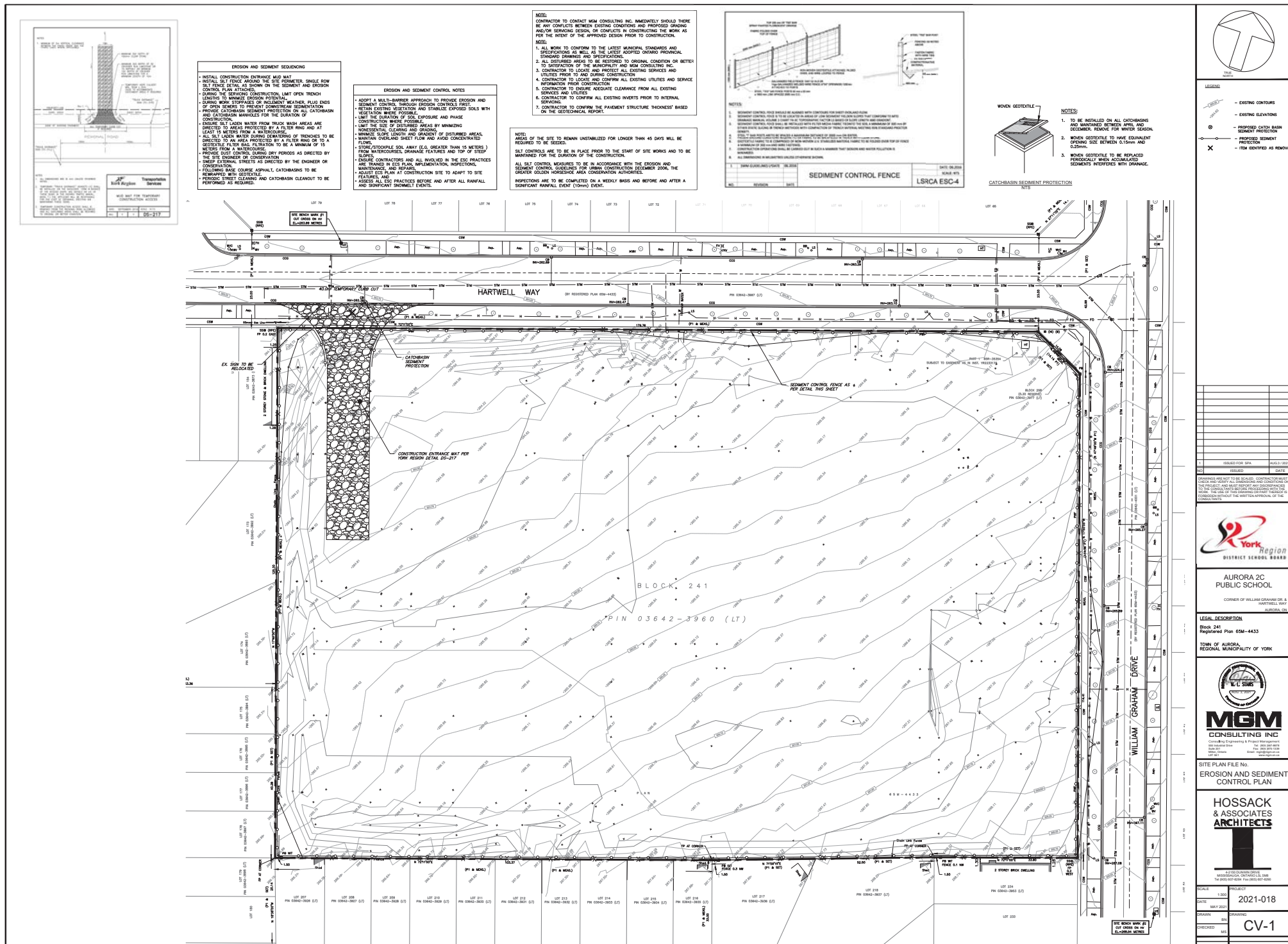
LEGAL DESCRIPTION
BLOCK 241, REGISTERED PLAN 65M-44
TOWN OF AURORA,
REGIONAL MUNICIPALITY OF YORK

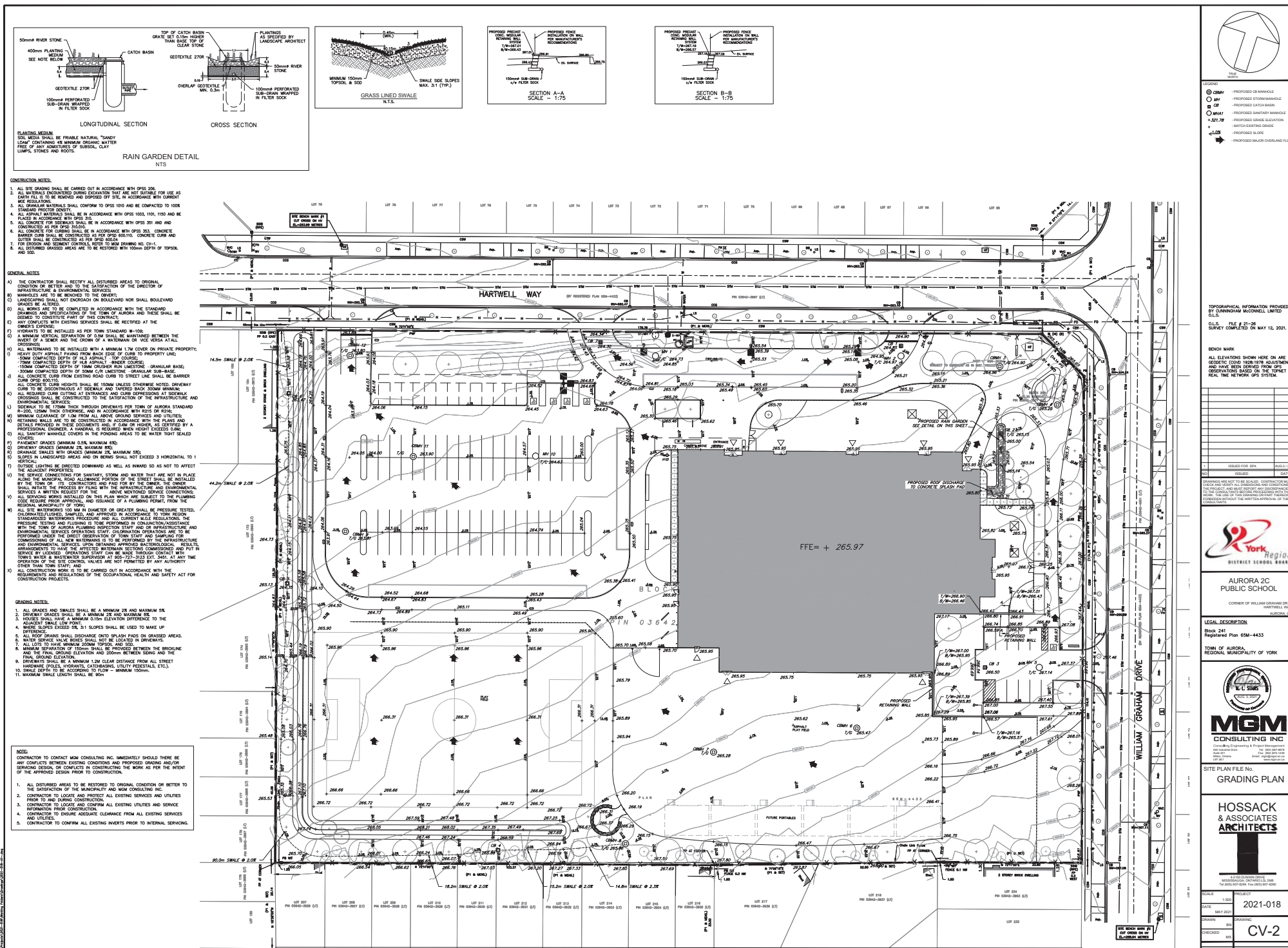


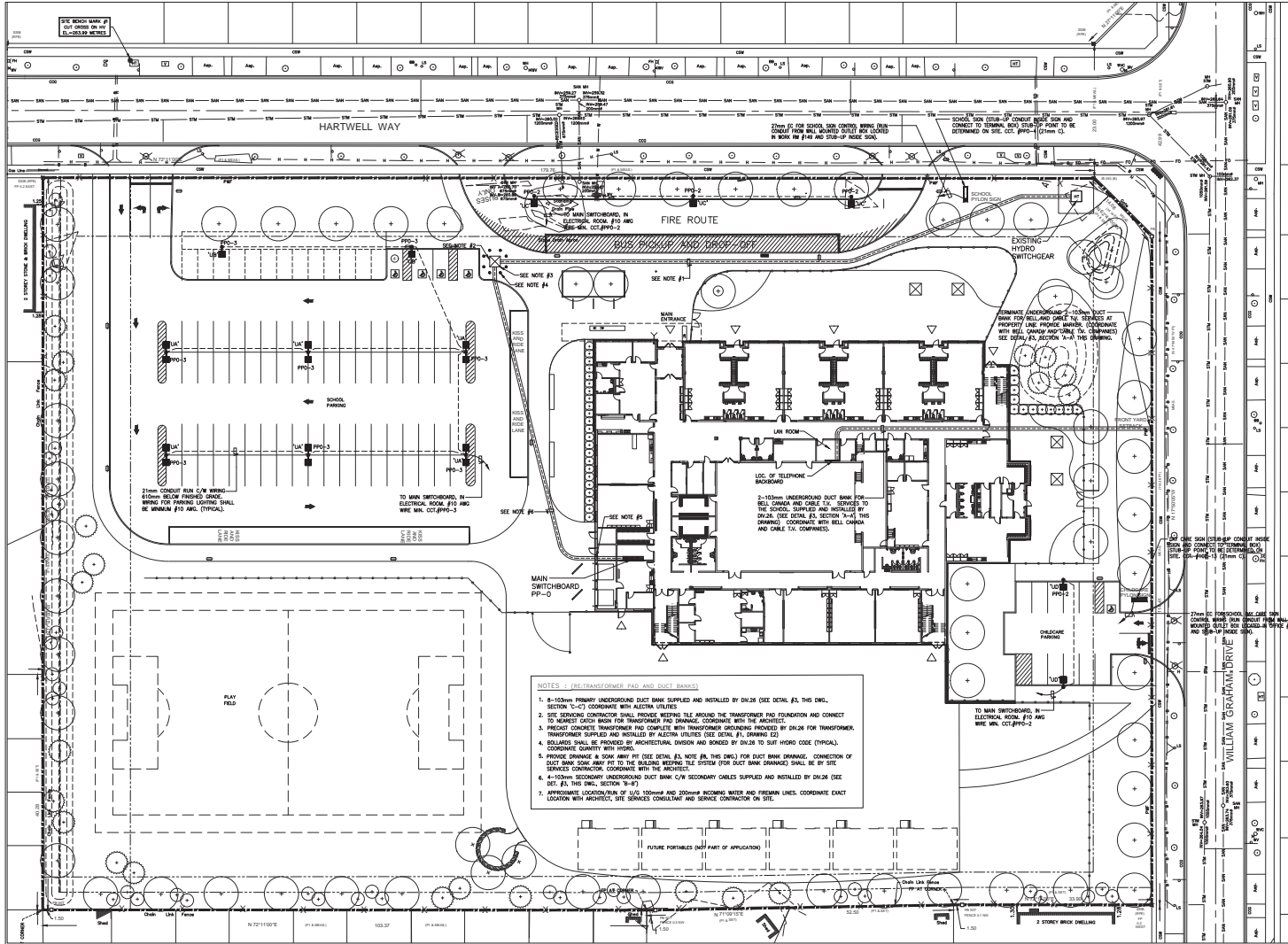
EXTERIOR PERSPECTIVES



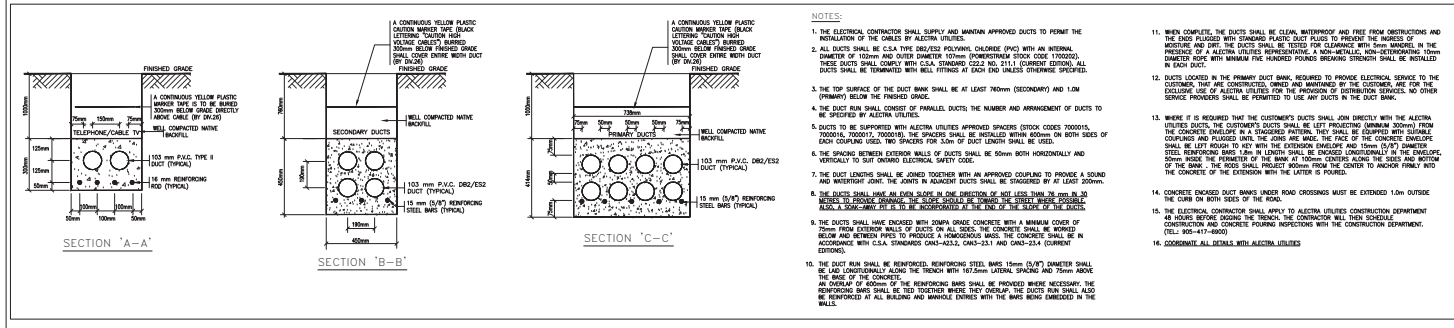
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DATE JULY 2021	
DRAWN <i>Author</i>	DRAWING A07A
CHECKED <i>Checker</i>	
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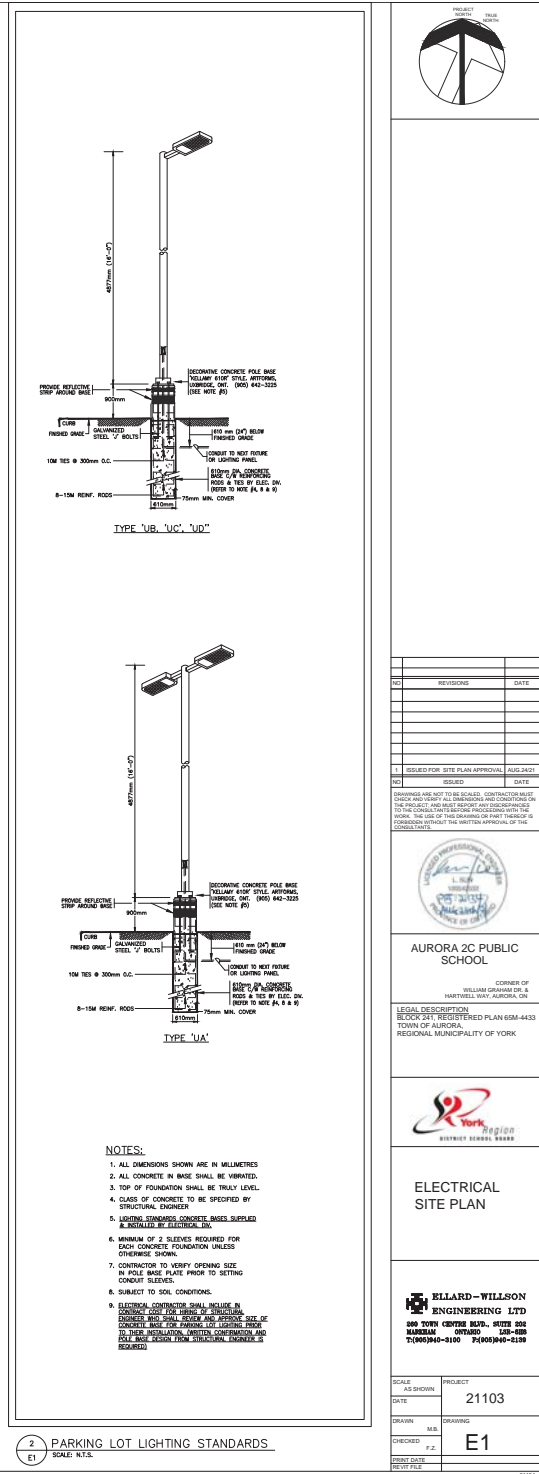




1 SITE PLAN
SCALE: 1:500



3 CONCRETE ENCASED DUCT BANK
SCALE: N.T.S.



2 PARKING LOT LIGHTING STANDARDS
SCALE: N.T.S.

AURORA 2C PUBLIC SCHOOL

CORNER OF
WILLIAM GRAHAM DRIVE
AND HARTWELL WAY, AURORA, ON

LEGAL DESCRIPTION:
BLOCK 241, REGISTERED PLAN 65M-4433
TOWN OF AURORA,
REGIONAL MUNICIPALITY OF YORK

ELECTRICAL SITE PLAN






ELLARD-WILLSON ENGINEERING LTD.
300 YORK CENTER BLVD., SUITE 200
MARKHAM, ONTARIO L3R 9M8
TEL: 905-477-6900 FAX: 905-477-6900

NO.	REVISIONS	DATE
1	ISSUED FOR SITE PLAN APPROVAL	AUG-2023
2	ISSUED	

CHANGES ARE NOT TO BE SCALE. CONTRACTOR MUST CHECK AND VERIFY ALL DIMENSIONS AND CONDITIONS IN THE PROJECT BEFORE PROCEEDING WITH THE WORK. THE USE OF THE DRAWING OR PART THEREOF IS FORWARDED WITHOUT THE WRITTEN APPROVAL OF THE CONSULTANT.

SCALE: AS SHOWN
PROJECT: 21103
DRAWN: M.B.
CHECKED: F.Z.
PROJECT FILE: E1



Symbol	Label	LLF	Description	Lum. Watts	Lum. Lumens
	R	0.922	CMC-SA1A-740-U-14W	34	4942
	UA	0.922	GLEON-SA1A-740-U-SW2	34	5126
	UB	0.922	GLEON-SA2B-740-U-T2	85	11474
	UC	0.922	GLEON-SA1B-740-U-L2-HISS	44	4957
	UD	0.922	GLEON-SA2B-740-U-T4FT	85	11763

Calculation Summary							
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
BARRIER FREE CHILDCARE PARKING	Illuminance	Fc	3.10	3.1	3.1	1.00	1.00
BARRIER FREE SCHOOL PARKING	Illuminance	Fc	3.97	5.2	2.3	1.73	2.26
BUS PICK-UP AND DROP OFF AREA	Illuminance	Fc	1.41	3.1	0.0	N/A	N/A
CHILDCARE PARKING	Illuminance	Fc	3.42	5.3	1.8	1.90	2.94
SCHOOL PARKING	Illuminance	Fc	1.81	5.2	0.6	1.02	8.67

NO	REVISIONS	DATE
1	ISSUED FOR SITE PLAN APPROVAL	AUG.24.2011
NO	ISSUED	DATE

DRAWINGS ARE NOT TO BE SCALED. CONTRACTOR MUST CHECK AND VERIFY ALL DIMENSIONS AND CONDITIONS TO THE PROJECT, AND MUST REPORT ANY DISCREPANCIES TO THE CONSULTANTS BEFORE PROCEEDING WITH THE WORK. THE USE OF THIS DRAWING OR PART THEREOF IS FORBIDDEN WITHOUT THE WRITTEN APPROVAL OF THE CONSULTANTS.

AURORA 2C PUBLIC
SCHOOL

CORNER OF
WILLIAM GRAHAM DR. &
HARTWELL WAY, AURORA, ON

LEGAL DESCRIPTION
BLOCK 241, REGISTERED PLAN 65M-4433
TOWN OF AURORA,
REGIONAL MUNICIPALITY OF YORK

ELECTRICAL
SITE PLAN
ILLUMINANCE
LAYOUT

**ELLARD-WILLSON
ENGINEERING LTD.**
300 TOWN CENTRE BLVD., SUITE 202
MARKHAM ONTARIO L3R-9H9
T:(905)940-3100 F:(905)940-2139

SCALE AS SHOWN	PROJECT 21103
DATE	
DRAWN M.B.	DRAWING EFC-1
CHECKED F.Z.	
PRINT DATE	
REVISED	

	PROPOSED TREES
	SOD
	PERSONAL PLANTING
	PEDESTRIAN CONCRETE PAVING
	LIMESTONE SCREEN PAVING
	PRECAST CONCRETE MAINTENANCE EDGE
	PROPERTY LINE
	BIKE RACK
	FLAGPOLE
	EXISTING GRADE

1	ISSUED FOR SPA SUBMISSION	08/09/2012
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AURORA 2C
PUBLIC SCHOOL

LEGAL DESCRIPTION	
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Block 241

Registered Plan 65M-4433

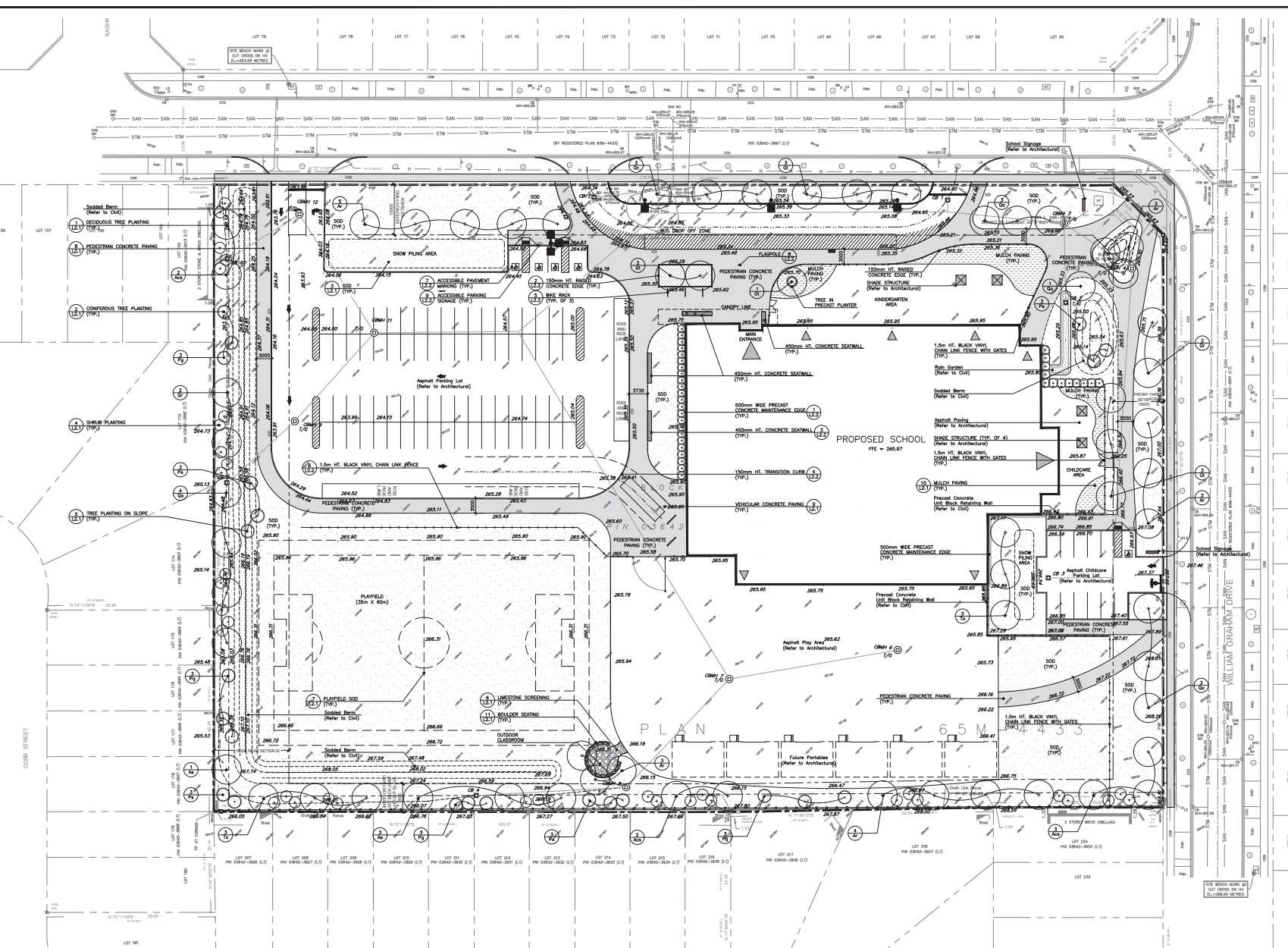
TOWN OF AURORA,
REGIONAL MUNICIPALITY OF YORK

FRP
Building Materials
1011 Denison Street
Toronto, ON M6H 1C5
416-593-1111
www.frp.ca

DRAWING TITLE

LANDSCAPE
PLAN

SCALE 1:300	PROJECT 211492
DATE 08/09/21	
DRAWN	DRAWING L1.1
CHECKED	
ISSUED DATE	



SYMBOL	BOTANICAL NAME	QUANTITY	COMMON NAME	SIZE	CONDITION
TREES					
Ac	Acer saccharinum	7	Silver Maple	70 mm	B.B.
Ar	Acer rubrum	18	Red Maple	70 mm	B.B.
Ar	Acer saccharum	4	Sugar Maple	70 mm	B.B.
Gt	Gliricidia inaequalis 'Shademaster'	2	Shademaster Honey Locust	70 mm	B.B.
Pg	Picea glauca	12	White Spruce	1.8 m ft.	W.B.
Ps	Pinus strobus	11	White Pine	1.5 m ft.	W.B.
Qa	Quercus alba	11	White Oak	70 mm	B.B.
Qr	Quercus rubra	8	Red Oak	70 mm	B.B.
Qs	Quercus serotina	4	Storrsford	70 mm	B.B.

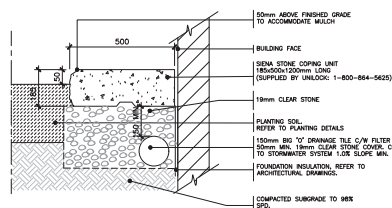
1. ALL PLANT MATERIAL IS TO MEET THE STANDARDS AS OUTLINED IN THE CANADIAN 9.
2. ALL PLANT MATERIAL MUST BE FREE OF DISEASE AND PESTS. 10.
3. FOR ALL CONTRACTOR PURCHASED MATERIALS PLANT SIZES WILL BE AS MEASURED ON 11.
4. LIVE, NURSERY WAREMILLS WILL NOT BE ACCEPTABLE FOR DETERMINATION OF PLANT SIZES. 12.
5. PROTECT PLANT MATERIAL FROM Frost, EXCESSIVE HEAT, WIND AND SUN DURING 13.
6. ALL PLANT MATERIAL MUST BE PLANTED WITHIN THE SPECIFIED TIME FRAME. 14.
7. CONTRACTOR TO LOCATE ALL PLANT MATERIAL AS PER PLANTING PLANS PRIOR TO 15.
8. CONTRACTOR TO PROVIDE A PROTECTIVE COVER FOR ALL PLANT MATERIAL. 16.
9. WARRANTY PERIOD FOR ALL PLANTING IS ONE YEAR FROM SUBSTITUTION, COMPLETION, 17.
10. REPAIRS/REPLACEMENTS OF ALL PLANTING WILL BE UNDERTAKEN BY THE CONTRACTOR 18.
11. CONTRACTOR TO PROVIDE A PROTECTIVE COVER FOR ALL PLANT MATERIAL. 19.
12. THE WARRANTY PERIOD. 20.
13. FOR ALL PLANTING, PLANT BALLS, CUT AWAY TOP (ONE THIRD OF MARIANNA AND WIRE 21.
14. MUST NOT EXCEED 100 LBS. MUST NOT FULL BURLEAP OR BURN UNDER ROOT 22.
15. LIFT. 23.
16. BUCKFILL SOIL, IN 150MM LISTS, TAMP EACH LIFT TO ELIMINATE AIR POCKETS, WHEN 24.
17. PLANTING. 25.
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92. PLANTING. 100.

- PLANT MATERIAL, INSTALLED FOLLOWING LEAF DROP IN THE FALL, WILL BE ACCEPTED AFTER THE EXPIRY OF THE NEXT GROWING SEASON PROVIDED THAT ACCEPTANCE CONDITIONS ARE MET.
10. ANY PLANTING OR LANDSCAPING WORK THAT IS REQUESTED AT THE FINAL INSPECTION WILL BE CONSIDERED IN A LANSKAPING MANNER AT CONTRACTOR'S EXPENSE.
11. SELECTED PLANT MATERIAL MUST BE REMOVED FROM THE SITE WITHIN ONE WORKING DAY, AFTER THE FINAL INSPECTION. CONTRACTOR SHALL MAINTAIN ADEQUATE WATERING SCHEDULE TO MAINTAIN OPTIMUM GROWING WITHIN THE FIRST 2 YEARS AFTER PLANTING. ANY SUPPLEMENTAL WATERING SHALL BE DONE AT CONTRACTOR'S EXPENSE. CONTRACTOR SHALL ENSURE ADEQUATE MOISTURE IN ROOT ZONE AT FREEZE-UP.
12. CONTRACTOR SHALL PROVIDE A PROTECTION PLAN TO THE OWNER THAT SHALL CONSIST OF: 40SS SAND, 3SS SILT, AND 20SS CLAY AND CONTAIN A MAXIMUM OF 50% ORGANIC MATTER. CONTRACTOR SHALL PROVIDE FREE ACCESS TO ALL UTILITIES AND TO ALL NEARBY NATIONAL, STATE, AND FOREIGN OBJECTS AND WITH AN AGENCY RANGE (PH) OF 5.5 TO 7.5.
13. SOIL MYRIAPY FOR PLANTING TO BE: 50% SAND (PH) 5.5 TO 7.5, 20% PEATMOSS, 20% WELL COMPOSTED MANURE, AND 10% VERMICULITE.
14. CONTRACTOR TO CHECK QUANTITIES AND REPORT ANY DISCREPANCIES TO THE LANDSCAPE ARCHITECT IMMEDIATELY. PLANT QUANTITIES INDICATED ON THE PLAN SHALL BE FIRM.

1. ALL CONSTRUCTION HOARDING AND TREE PROTECTION TO BE INSTALLED PRIOR TO START OF OPERATIONS.
2. CONTRACTOR TO VERIFY ALL SITE CONDITIONS AND REPORT ANY DISCREPANCIES TO THE LANDSCAPE ARCHITECT IMMEDIATELY.
3. LAYOUT ALL WORK FOR INSPECTION AND APPROVAL BY CONSULTANT PRIOR TO COMMENCEMENT OF CONSTRUCTION.
4. CONTRACTOR RESPONSIBLE FOR ANY AND ALL UNDERGROUND UTILITIES.
5. CONTRACTOR TO LAY OUT ALL FURNISHINGS FOR LANDSCAPE ARCHITECT / OWNER REVIEW AND FINAL FIELD ADJUSTMENT PRIOR TO CONTRACTOR AFFIXING SITE FURNISHINGS TO HARD SURFACES.
6. CONTRACTOR TO ENSURE POSITIVE DRAINAGE FROM ALL STRUCTURES.
7. CONTRACTOR TO MAKE GOOD ALL DAMAGE TO ANY EXISTING OR ADJACENT CONDITIONS / STRUCTURES DURING CONSTRUCTION TO THE SATISFACTION AND APPROVAL OF THE CONSULTANT.



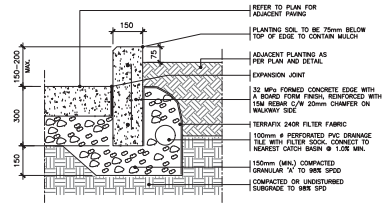
DRAWING TITLE	
DETAILS	
SCALE	PROJECT 211492
1:300	
DATE	L2.1
08/09/21	
DRAWN	
CHECKED	DRAWING
PRINT DATE	



500mm WIDE PRECAST CONCRETE MAINTENANCE EDGE

1:10

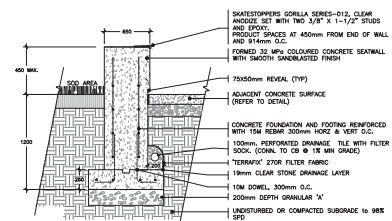
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150mm HT. RAISED CONCRETE EDGE

1:10

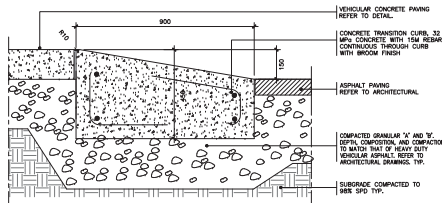
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450mm HT. CONCRETE SEATWALL

1:10

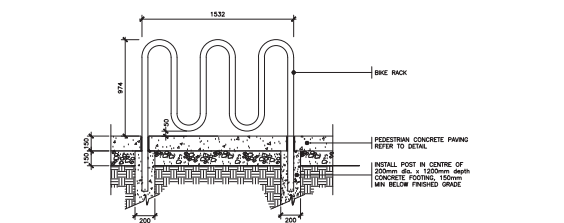
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150mm HT. TRANSITION CURB

1:10

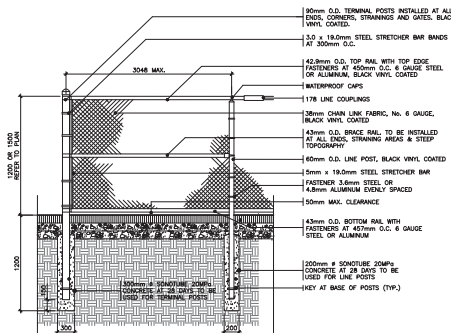
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BIKE RACK

1:20

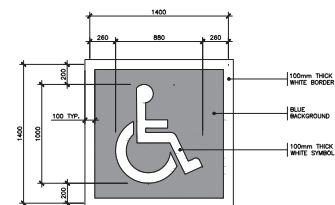
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BLACK VINYL COATED CHAIN LINK FENCE AND GATES

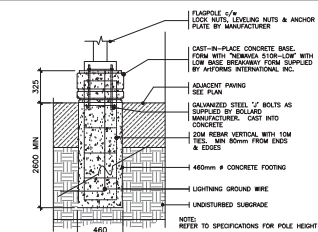
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6

ACCESSIBLE PAVEMENT MARKING
As per City of Brampton Standards

1:20

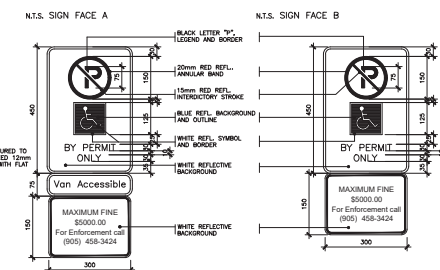
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FLAGPOLE

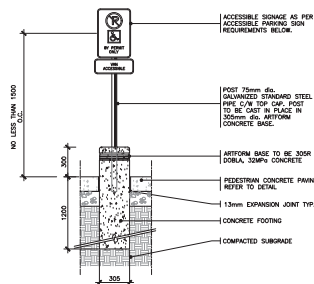
1:20

8



NOTE:
VERY DIMENSIONS AND GRADE ON SITE
AND MAKE ADJUSTMENTS TO SUIT
CONDITIONS. PROVIDE 300mm DEPTH
GRANULAR 1/2 COMPACTED TO 98% SPD.
CONTRACTOR TO PROVIDE SHOP DRAWING
FOR SIGNAGE.

NOTE:
ALL ACCESSIBLE PARKING SIGNAGE AS PER
SECTION 11 OF REGULATION 561 OF THE
HIGHWAY TRAFFIC ACT FOR TYPE 'A' SIGN.
THE REQUIRED SIGN MUST BE MOUNTED AT
LEAST 0.9m AND NOT MORE THAN 2.0m FROM
THE HEIGHT OF 1.2m ABOVE THE TOP OF THE
CURB ELEVATION. SIGN MUST NOT OBSTRUCT
THE SIDEWALK.

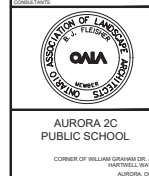


ACCESSIBLE PARKING SIGNAGE

1:20

9

1	ISSUED FOR SPA SUBMISSION	10/05/21
2	REVISED	DATE



LEGAL DESCRIPTION
Block 241
Registered Plan 65H-433

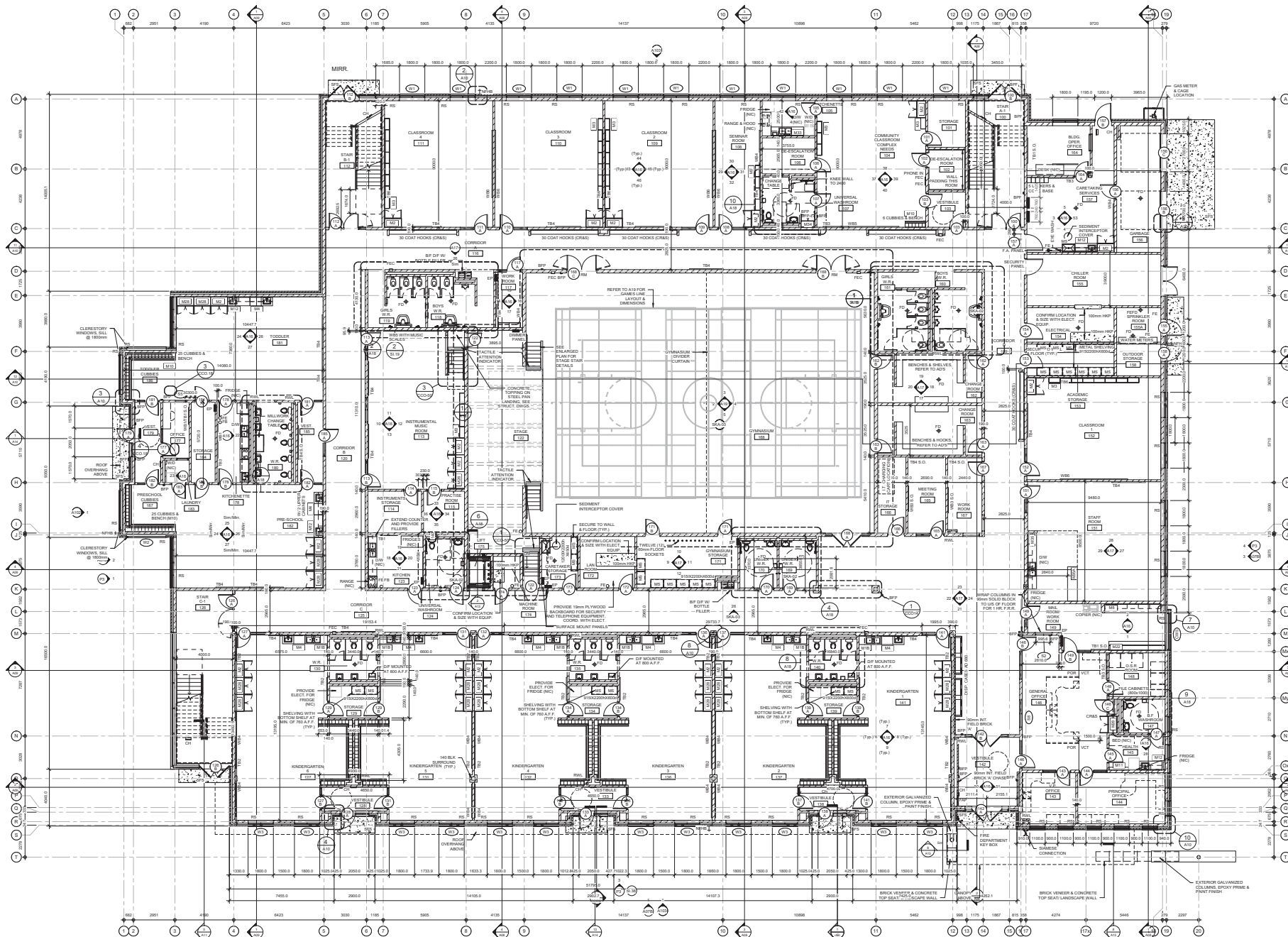
TOWN OF AURORA,
INCIDENT MUNICIPALITY OF YORK



DRAWING TITLE

DETAILS

SCALE	PROJECT
1:2000	211492
DATE	10/05/21
DESIGNER	PROWERS
CHECKED	L2.2
DATE	



NO.	REVISIONS	DATE

NO. ISSUED DATE
 (DRAWINGS ARE NOT TO BE SCALED. CONTRACTOR MUST
 CHECK AND VERIFY ALL DIMENSIONS AND CONDITIONS ON
 THE PROJECT AND MUST REPORT ANY DISCREPANCIES.
 12 HOUR CONSULTATION REQUIRED PRIOR TO ANY
 CHANGES WITHOUT THE WRITTEN APPROVAL OF THE
 ARCHITECT.)

AURORA 2C PUBLIC SCHOOL

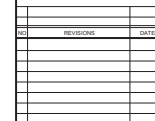
CORNER OF
 MILLIKEN DRIVE &
 BAYVIEW AVE. AURORA, ON
 LEGAL DESCRIPTION:
 BLOCK 241, REGISTERED PLAN 65M-4433
 TOWN OF AURORA,
 REGIONAL MUNICIPALITY OF YORK



GROUND FLOOR PLAN

HOSSACK & ASSOCIATES
 ARCHITECTS

SCALE	PROJECT
DATE	21103
DRAWN	BM
CHECKED	PL
DATE	2017-08-22 & 2017-09-14
DATE	2017-11-09



CONSULTANTS

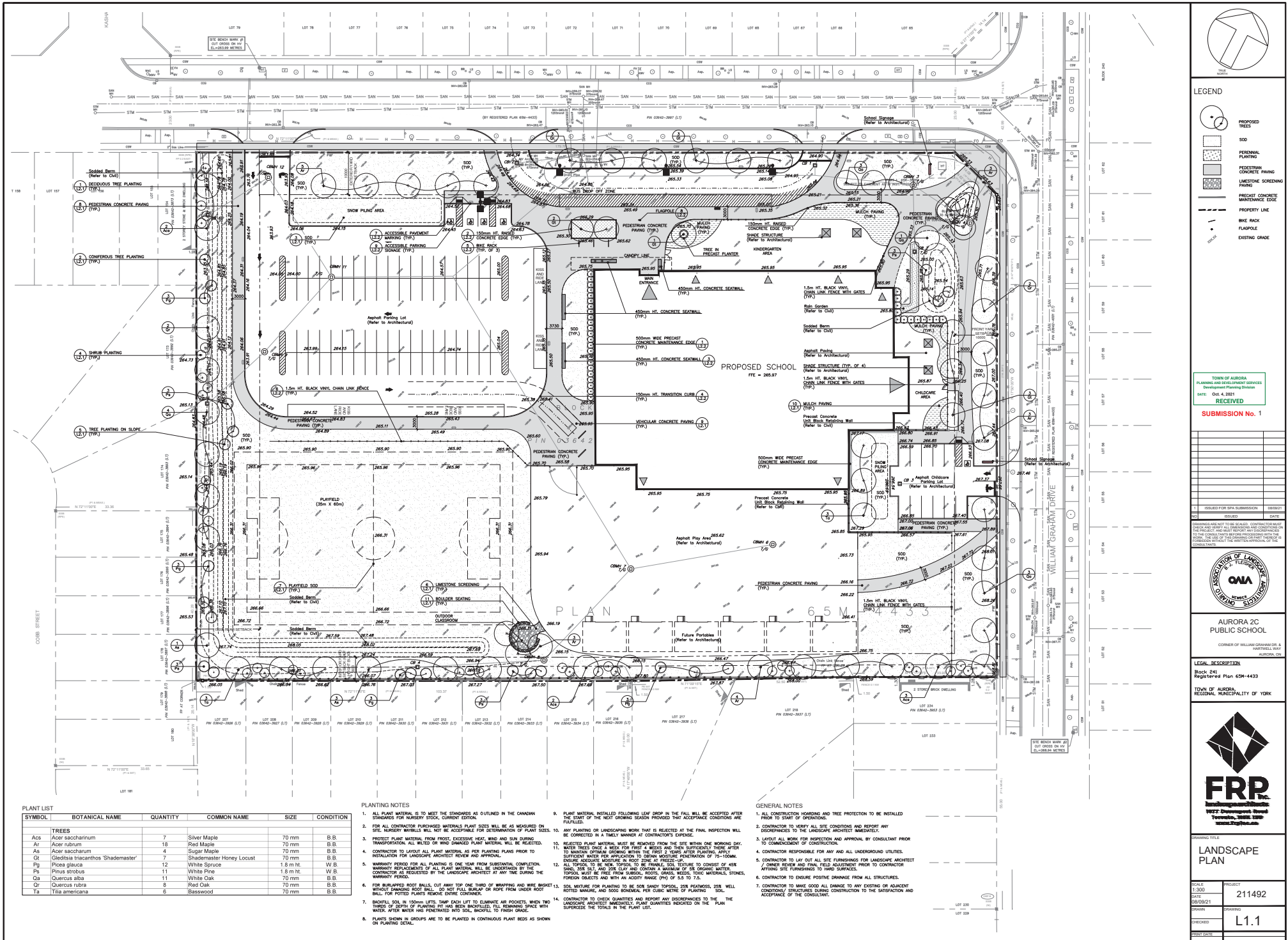
CORNER OF
WILLIAM GRAHAM DR. &
HARTWELL WAY, AURORA, ON

LEGAL DESCRIPTION
BLOCK 241, REGISTERED PLAN 65M-443
TOWN OF AURORA,
REGIONAL MUNICIPALITY OF YORK



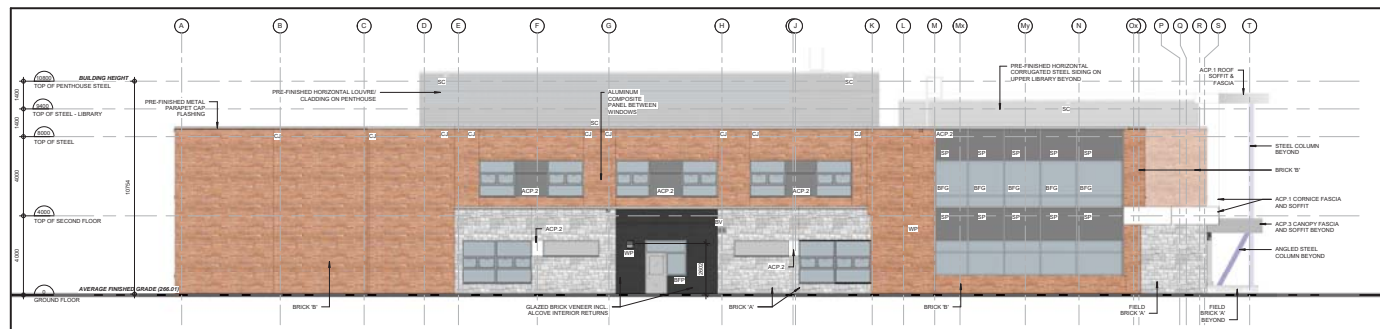
**HOSSACK
& ASSOCIATES
ARCHITECTS**

SCALE 1 : 100	PROJECT 21103
DATE JULY 2021	
DRAWN BM	DRAWING A03
CHECKED PL	
PRINT DATE	2021-09-22 4:14:38 PM

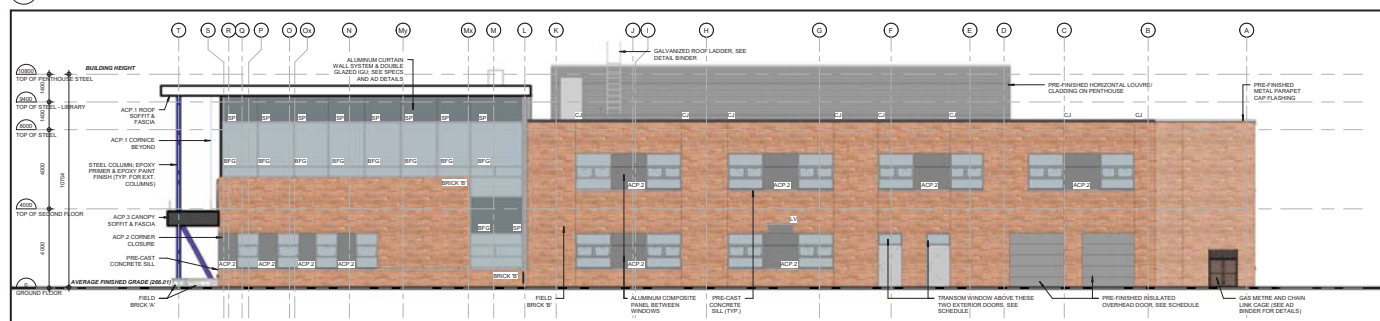




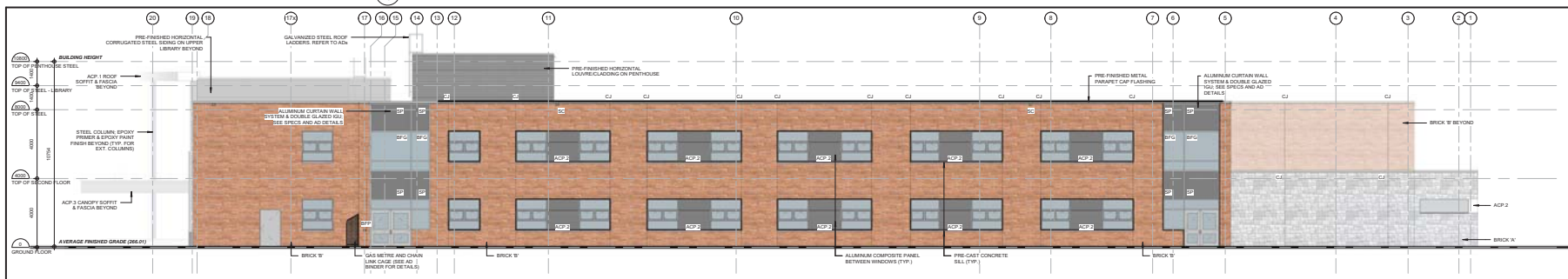
2 NORTH ELEVATION
SCALE: 1:100



4 EAST ELEVATION
SCALE: 1:100



3 WEST ELEVATION
SCALE: 1:100



1 SOUTH ELEVATION
SCALE: 1:100

TOWN OF AURORA
PLANNING AND DEVELOPMENT SERVICES
Development Planning Division
DATE: Oct 4, 2021
RECEIVED
SUBMISSION No. 1

ABBREVIATIONS	
ACP	ALUMINUM COMPOSITE PANEL
BFG	BIRD FRIENDLY GLAZING, SEE SPEC
CSP	CONTROL JAMB
CSF	COLORFUL SPANDREL PANEL
EXT	EXTERIOR
ISI	INSULATED GLAZED UNIT
BP	BRICK PANEL
SP	SPANDREL PANEL
VP	VERTICAL

ELEVATION LEGEND	
MASONRY BRICK 'A'	(100/30 RED)
MASONRY BRICK 'B'	(100/30 LIGHT GREY)
HORIZONTAL CORRUGATED STEEL	SEEN PENTHOUSE LOUVER
ALUMINUM COMPOSITE PANEL 1 (WHITE)	ACP 1
ALUMINUM COMPOSITE PANEL 2 (GREY)	ACP 2
ALUMINUM COMPOSITE PANEL 3 (CHARCOAL)	ACP 3
GLAZED BRICK (CORROCAL)	GP
SPANDREL PANEL (GREY)	SP
BFG - BIRD FRIENDLY GLAZING (DOTS)	

NO	REVISIONS	DATE

2	ISSUED FOR SITE PLAN APPROVAL	2/10/20
1	BPA PRE-COMMUNICATION	2/10/20
NO	REVISED	



AURORA 2C PUBLIC SCHOOL

CORNER OF
MILLIKEN DRIVE AND
BENTLEY WAY, AURORA, ON

LEGAL DESCRIPTION:
BLOCK 241, REGISTERED PLAN 65M-4433
TOWN OF AURORA,
REGIONAL MUNICIPALITY OF YORK



EXTERIOR ELEVATIONS

SCALE	PROJECT
DATE	21103
DRAWN	BM
CHECKED	PL
REVIEWED	A07
DATE	2021-08-13 03:14 AM
FILE	21103-01-000000-0000