



**Town of Aurora
Committee of Adjustment
Meeting Agenda**

Date: Thursday, November 14, 2024
Time: 7 p.m.
Location: Video Conference

Meetings are available to the public via live stream on the [Town's YouTube channel](#). To participate electronically, please visit aurora.ca/participation.

	Pages
1. Call to Order	
2. Land Acknowledgement	
3. Approval of the Agenda	
That the Agenda as circulated by the Secretary-Treasurer be approved.	
4. Declarations of Pecuniary Interest and General Nature Thereof	
5. Receipt of the Minutes	
5.1 Committee of Adjustment Meeting Minutes of October 10, 2024, Meeting Number 24-10	1
That the Committee of Adjustment Minutes from Meeting Number 24-10 be adopted as printed and circulated.	
6. Presentation of Applications	
6.1 C-2024-04 , C-2024-05 - Allan- 2 Willow Farm Lane	8
6.2 MV-2024-01 - Liu - 2007 Vandorf Sideroad	21
6.3 MV-2024-29 - Birkland- 7 Johnson Rd	39
6.4 MV-2024-30 - Butler - 81 Tyler St	52
6.5 MV-2024-21 - Ahmad - 45 Steeplechase Ave	73
7. New Business	

8. Adjournment



Town of Aurora
Committee of Adjustment
Meeting Minutes

Date: Thursday, October 10, 2024

Time: 7 p.m.

Location: Video Conference

Committee Members: David Mhango (Chair)
Chris Polsinelli
Jane Stevenson (Vice Chair)
Michael Visconti
Julian Yang

Other Attendees: Peter Fan, Secretary-Treasurer, Committee of Adjustment
Antonio Greco, Planner

1. Call to Order

That the meeting be called to order at 7:02 PM.

2. Land Acknowledgement

The Town of Aurora acknowledges that the Anishinaabe (A-nishshaw-na-bee) lands on which we live, and work are the traditional and treaty territory of the Chippewas of Georgina Island, as well as many other Nations whose presence here continues to this day. As the closest First Nation community to Aurora, we recognize the special relationship the Chippewas have with the lands and waters of this territory. They are the water protectors and environmental stewards of these lands, and as a municipality we join them in these responsibilities.

We further acknowledge that Aurora is part of the treaty lands of the Mississaugas and Chippewas, recognized through Treaty #13 as well as the Williams Treaties of 1923.

A shared understanding of the rich cultural heritage that has existed for centuries, and how our collective past brought us to where we are today, will help us walk together into a better future.

3. Approval of the Agenda

Moved by Julian Yang

Seconded by Jane Stevenson

That the Agenda as circulated by the Secretary-Treasurer be approved.

Carried

4. Declarations of Pecuniary Interest and General Nature Thereof

None.

5. Receipt of the Minutes

5.1 Committee of Adjustment Meeting Minutes of September 12, 2024, Meeting Number 24-09

Moved by Michael Visconti

Seconded by Jane Stevenson

That the Committee of Adjustment Minutes from Meeting Number 24-09 be adopted as circulated.

Carried

6. Presentation of Applications

6.1 MV-2024-24 - Vata Holding Ltd. - 5 Vata Court

The owner is requesting relief from the requirements of the Town's Comprehensive Zoning By-law 6000-17, as amended, to facilitate overnight accommodation within the "Pet Services" permitted use. The following relief is being requested:

1. Section 3 of Zoning By-law 6000-17 under the definition of "Pet Services" does not allow for overnight accommodation for animals. The applicant is proposing overnight accommodations for animals.

The Chair invited the Applicant or Owner to address the Committee. In attendance was the agent Adrian Cheung and Owner Cindy Huang. The agent provided a brief introduction to their application.

The Chair invited members of the public to provide comments. There were no public delegates in attendance for this application.

The Committee inquired about the letter of opposition, expressing concerns for the animals due to noise from the nearby GO Trains. The committee also inquired about the maximum number of pets allowed for the overnight boarding at a time.

Moved by Michael Visconti

Seconded by Chris Polsinelli

That the Minor Variance Application MV-2024-24 be APPROVED

Carried

6.2 MV-2024-25 - 2209640 Ontario Ltd. - 95 Dunning Ave

The owner/applicant is requesting relief from the requirements of the Town's Comprehensive Zoning By-law No. 6000-17, as amended, to facilitate the use of a Medical Marihuana Production Facility. Based on the information provided to the Town, the following relief is being requested:

1. Section 10.1 of the Zoning By-law No. 6000-17 permits a Medical Marihuana Production Use only in a Business Park (E-BP) zoning district. The applicant is proposing a Medical Marijuana Production Use in a General Employment (E2) zoning district.

The Chair invited the Applicant or Owner to address the Committee. In attendance was the agent, David Igelman. The agent provided a brief introduction and justification to their application.

The Chair invited members of the public to provide comments. There were two (2) public delegates in attendance for this application - Jean Robertson and Sandra Humphrey. Jean and Sandra provided the committee with comments regarding the smell and impacts of the business.

The Committee inquired about stated that they had read the staff reports and had taken the many letters of opposition and public delegate responses into consideration and have no further comments.

Moved by Jane Stevenson

Seconded by Michael Visconti

That the Minor Variance Application MV-2024-25 be DENIED.

Carried

6.3 MV-2024-27 -Inamdar - 69 Kennedy St. E

The owner/applicant is requesting relief from the requirements of the Town's Comprehensive Zoning By-law 6000-17, as amended, to facilitate the construction of a two-storey detached dwelling and an accessory structure (cabana) in the rear yard. The following relief is being requested:

- A. Section 24.497.3.3 of the Zoning By-law permits a maximum gross floor area of 370.0 m². The applicant is proposing a two-storey detached dwelling unit with a gross floor area of 452.5 m².
- B. Section 24.497.3.3 of the Zoning By-law requires a maximum building footprint of 235 m². The applicant is proposing a two-storey detached dwelling unit with a footprint of 254 m².
- C. Section 24.497.5 of the Zoning By-law requires an integral garage to be flush with, or set back from, the main front wall of the detached dwelling. The applicant is proposing an integral garage projecting beyond the main front wall of the detached dwelling.
- D. Section 24.497.8 of the Zoning By-law requires max gross floor area of an accessory detached structure to be 40 m². The applicant is proposing an accessory structure with 46.1 m² gross floor area.
- E. Section 4.12.2 (b) of the Zoning By-law requires a minimum distance separation of 1.2 m from the waters edge of the pool to any buildings and structures. The applicant is proposing an accessory structure with 0.0 m distance separation.
- F. Section 4.12.2 (b) of the Zoning By-law requires a minimum distance separation of 1.2 m from the waters edge of the pool to

any buildings and structures. The applicant is proposing a rear covered deck with 0.5 m distance separation.

The Chair invited the Applicant or Owner to address the Committee. In attendance was the agent, Danielle Bilodeau. The agent provided a brief introduction to their application.

The Chair invited members of the public to provide comments. There were no public delegates in attendance for this application.

The Committee inquired about the rationale behind the requested variances, specifically for the separation distances between the pool and the proposed structures.

Moved by Chris Polsinelli

Seconded by Jane Stevenson

That the Minor Variance Application MV-2024-27, "A" be APPROVED

Carried

Moved by Jane Stevenson

Seconded by Chris Polsinelli

That the Minor Variance Application MV-2024-27, "B" be APPROVED

Carried

Moved by Chris Polsinelli

Seconded by Jane Stevenson

That the Minor Variance Application MV-2024-27, "C" be APPROVED

Carried

Moved by Chris Polsinelli

Seconded by Jane Stevenson

That the Minor Variance Application MV-2024-27, "D" be APPROVED

Carried

Moved by Michael Visconti
Seconded by David Mhango

That the Minor Variance Application MV-2024-27, "E" be DENIED

Carried

Moved by Michael Visconti
Seconded by Julian Yang

That the Minor Variance Application MV-2024-27, "F" be DENIED

Carried

6.4 MV-2024-28 - Risk - 15 Tyler St

The applicant is requesting relief from the requirements of the Town's Comprehensive Zoning By-law 6000-17, as amended, to facilitate the construction of a five-storey mixed use building with at grade office and residential above. The vehicular access is off Temperance Street with parking at rear. The following relief is being requested:

1. Section 8.2 of Zoning By-law 6000-17 permits a maximum height of 10 meters. The applicant is proposing a five-storey residential building containing a maximum height of 20 metres.
2. Section 5.4 of Zoning By-law 6000-17 requires parking for offices at a rate of 3.5 spaces per 100 square meters of Gross Floor Area and 1.5 spaces per dwelling unit, with a minimum 20% of spaces provided to be set aside for visitor parking. Therefore 10 parking spaces inclusive of a barrier free parking space is required. The applicant is proposing a total of seven (7) parking spaces inclusive of the barrier free space.

The Chair invited the Applicant or Owner to address the Committee. In attendance was the Owner Andrew Risk. The owner provided a brief introduction to their application.

The Chair invited members of the public to provide comments. There was one (1) public delegate in attendance for this application - Bianca Moretti. Bianca Moretti provided comments in opposition of application; mainly

commenting on the height of the structure and possible damages to the foundations and structures of its surrounding buildings.

The Committee asked the owners if a daylighting triangle would need to be established for the proposal if approved and whether this had been completed. They also inquired if a site plan approval process would be required for this type of application should the minor variance be granted. Additionally, the Committee asked about the intended use of the office space and raised concerns regarding waste collection and snow storage. Lastly, they asked the applicant if a traffic study was necessary.

Moved by Julian Yang

Seconded by Jane Stevenson

That the Minor Variance Application MV-2024-28 be DEFFERED.

Carried

7. New Business

None.

8. Adjournment

Moved by Jane Stevenson

That the meeting be adjourned at 9:34PM.

Carried



100 John West Way
Aurora, Ontario
L4G 6J1
(905) 727-3123
aurora.ca

Town of Aurora
Committee of Adjustment Report
No. C-2024-04 & C-2024-05

Subject: **Consent Application**
Allan
2 Willow Farm Lane
Lot 86, 65M-2685
2 Willow Farm Lane
Files: C-2024-04 & C-2024-05
Related File numbers: ZBA-2019-02, C-2020-02, C-2020-03

Prepared by: **Kenny Ng, Planner**

Department: Planning and Development Services

Date: November 14, 2024

Application

The applicant is requesting provisional consent to sever the subject lands to create one new residential lot containing a single detached dwelling fronting onto Willow Farm Lane. The purposes of the proposed consent applications are to:

- Create one (1) new lot fronting onto Willow Farm Lane (severed lot). The retained lot will front onto St. John's Sideroad (C-2024-04)
- Establish a 6.0-metre-wide servicing easement on the severed lot in favour of the retained lot (C-2024-05)

Background

Subject Property and Area Context

The subject lands are municipally known as 2 Willow Farm Lane, located on the south-west corner of St. John's Sideroad West and Willow Farm Lane. The subject lands have an approximate lot area of 1.0 hectares (2.5 acres), and is a corner lot with approximately 107.8 metres (353.7 feet) of frontage on St. John's Sideroad and approximately 22 metres (72.2 ft) of frontage on Willow Farm Lane. The subject lands contain a single detached

dwelling with a driveway access from Willow Farm Lane, a pool, shed and mature vegetation surrounding the dwelling and generally around the perimeter of the property.

Proposal

The proposed consent applications will:

- Sever the subject lands to create 1 new lot with frontage and access from Willow Farm Lane. The proposed new lot will accommodate a new single detached dwelling. The retained lot will continue to have frontage and access from St. John's Sideroad and contains an existing single detached dwelling (Appendix 'B')
- Establish a service easement along the south lot line for the proposed severed lot (Appendix 'B'). The purpose of this service easement is to facilitate the extension of municipal water and sanitary service to the existing dwelling on the retained lot.

	Proposed Severed Lot (Part 2 on Severance Plan, easterly lot fronting onto Willow Farm Lane)	Proposed Retained Lot (Part 1 on Severance Plan, westerly lot fronting onto St. John's Sideroad)
Lot Area	0.16 hectares (0.41 acres)	0.84 hectares (2.0 acres)
Lot Frontage	22 m (72 ft)	63.88 m (209.6 ft)

Related Planning Applications

The applicant applied for two consent applications (C-2020-02 & C-2020-03) in June 2020 to proceed with the lot severance and easement establishment and received provisional consent by the Committee of Adjustment on July 9, 2020. However, the applicant was not able to fulfill the conditions of approval within the required one-year time frame and the conditional approval for the consent applications lapsed accordingly. The applicant has therefore applied to the Committee of Adjustment again in September 2024 for the same purpose of establishing the severance and easement on the subject lands.

Bill 23 – the More Homes Built Faster Act

Bill 23 amended the Planning Act to support the province's goal of adding 1.5 million new homes in Ontario by 2031. The intent of the legislation is to assist the province in meeting planned minimum housing and density targets. Infill developments are specifically seen as assisting with creating housing opportunities through the gentle intensification of

traditionally lower density residential areas. The subject development is an example of gentle intensification within a low-density residential neighbourhood, which will result in minimal impact while achieving the goal of providing additional housing opportunities.

Official Plan

The subject lands are designated “Estate Residential” in the Town’s Official Plan. The “Estate Residential” designation permits for single detached dwellings.

Zoning

The subject lands are zoned “ER (73) Estate Residential Exception Zone” which represents the zoning of the proposed retained lot, and “R2 (74) Detached Second Density Residential Exception Zone” which represents the zoning for the proposed severed lot under the Town of Aurora Zoning By-law 6000-17, as amended. Single detached dwellings are permitted in both zones, subject to specific development standards.

Preliminary Zoning Review

A Preliminary Zoning Review (PZR) was undertaken by the Building Services Division prior to submission of the subject application. The PZR confirmed that the proposed application will not result in any non-compliance with the Zoning By-law for the proposed severed or retained parcels.

Planning Comments

When considering an application for consent to sever lands, regard shall be had to the criteria of Section 51 (24) of the *Planning Act*. This includes, amongst other things:

- Matters of Provincial Interest
- Conformity with the Official Plan and adjacent plans of subdivision
- Suitability of the land for the purpose in which it is to be subdivided
- The dimension and shape of the proposed lots
- Adequacy of utilities and municipal services
- Number and adequacy of highways

Matters of Provincial Interest

Staff consider the proposed consent applications to create an additional lot to be suitable and appropriate as it is consistent with matters of provincial interest. In that the applications facilitate an underutilized lot with residential permissions to provide for

additional infill housing opportunities through gentle intensification inline with provincial objectives. Furthermore, staff believe that the consent application demonstrates good planning and strives to provide alternative solutions to assist in the creation of new housing opportunities.

Conformity with the Official Plan and adjacent plans of subdivision

Staff consider the proposed consent applications to be in conformity with relevant Official Plan policies and adjacent plans of subdivision. This infill development will assist in meeting growth targets established in the Town Official Plan within the built boundary, which is set out to have 4,600 new residential units by 2051. The proposal is considered to be a form of gentle intensification and thereby supports the target of creating a complete community by providing additional housing opportunities in areas adjacent to existing amenities and services. The proposed consent does not conflict with the existing lot fabric of the adjacent area, and maintains appropriate access for both Parcels. The proposed severed lot will have consistent lot frontage and fabric comparable to lots along Willow Farm Lane and surrounding lots in close vicinity. The proposed single detached dwelling is also able to maintain the surrounding built form and character which is predominantly low density residential.

Suitability of the land and adequacy of utilities, municipal services, access

The proposed new residential lot is located in close proximity to Yonge Street and contains access to local amenities and public transportation. Adequate municipal servicing allocation has been provided through Council's 2020 approval of the Zoning By-law Amendment for the proposed severed lot to accommodate a future single-detached dwelling. Other service-related matters are anticipated to be addressed via the proposed servicing easement on the proposed severed lot which will be in favour of the retained lot (C-2024-05). Staff consider the proposed easement to be appropriate to facilitate the proposed development of the lands and do not anticipate any negative impacts.

The proposed severed lot will have access provided via Willow Farm Lane, while the proposed retained lot will have access off of St. John's Sideroad which is a Regional Road under the jurisdiction of the Region of York. The Region has indicated they have no concern with the proposed access. Staff notes that there is a 0.3 meter reserve along St. John's Sideroad that will need to be lifted through a by-law, to provide access onto St. John's Sideroad for the proposed retained lot. The associated by-law will be prepared by Staff and place on a future council meeting agenda to be voted by Council for decision.

The dimension and shape of the proposed lots

The dimension and shape of the proposed severed lot is generally compatible with the surrounding area. The lots immediately south of the proposed severed lot along the east side of Willow Farm Lane have lot areas of approximately 1,150 m² to 1,600 m², which is comparable with the proposed severed lot area of 1,600 m². The lot frontages of the adjacent lots range from approximately 27 m and 29 m, while the proposed severed lot would have slightly less lot frontage at 22 m. Staff note that the reduced lot frontage would appear indistinguishable from a streetscape perspective, given the lot frontage is reduced due to the presence of a sightline triangle at the intersection of St. John's Sideroad and Willow Farm Lane. The purpose of the sightline triangle is to ensure that no structure can be erected within the triangular shaped area to improve traffic safety and driver visibility. The lot frontage would be approximately 29 m without the presence of the sightline triangle, which is comparable to adjacent lots to the south and east. The proposed severed lot is comparable in lot depth with the adjacent lots to the south.

The proposed consent applications will facilitate an additional residential lot which is consistent with the surrounding lots, result in gentle intensification within a residential neighbourhood which meets provincial interest, and is adequately serviced by municipal services. Furthermore, the proposed severed and retained lots are of a size and shape that is consistent with the existing lot fabric to the east and south of the subject lands. It has been demonstrated that a new single detached dwelling can be accommodated on the proposed severed lot, that is consistent with zoning regulations and surrounding neighbourhood. Planning staff are of the opinion that the dimension and shape of the proposed lots is appropriate, and in fact desirable as part of the wise use of land.

Additional Comments

The consent application was circulated to Town Departments/Divisions and to external agencies for review and comment. The following comments were provided:

Department or Agency	Comments
Building Division	Preliminary Zoning Review was completed. No objections.
Engineering Division	No objections.
Transportation	No objections.

Department or Agency	Comments
Operational Services (Parks)	No objections, see conditions in Appendix 'A'.
Operational Services (Public Works)	No objections.
Central York Fire Services	No objections.
York Region	No objections, see conditions in Appendix 'A'.
LSRCA	No objections, see conditions in Appendix 'A'.

Public Correspondence

Written submissions were not received at the time of writing of this report. Should additional written submissions be received after the writing of this report, the Secretary Treasurer will provide the submission(s) to Committee members at the meeting.

Conclusion

Staff have reviewed the application with respect to the Section 51(24) of the *Planning Act*, R.S.O, 1990, c.P.13, as amended, the Provincial Policy Statement, Provincial Plans and the Town's Official Plan and are satisfied with the proposed consent application.

Based on the aforementioned, Staff have no objection to the approval of Consent application File No. C-2024-04 & C-2024-05 subject to the conditions attached (Appendix 'A')

Attachments

Appendix 'A' – Recommended Conditions of Approval

Appendix 'B' – Proposed Severance Plan

Appendix 'C' – Region of York letter dated November 4, 2024, from Christine Meehan

Appendix 'A' – Recommended Conditions of Approval

The following conditions are required to be satisfied should applications C-2024-04 & C-2024-05 be approved by the Committee of Adjustment:

Planning and Development Services:

1. That the consent only applies to the subject property in conformity with the plans attached as Appendix 'B' to this report, to the satisfaction of the Director of Planning and Development Services.
2. That the Owner provide written confirmation of no outstanding payment of property taxes owing to date for the subject property, to the satisfaction of the Secretary-Treasurer.
3. Submission to the Secretary-Treasurer of four (4) white prints of a deposited Reference Plan for review showing the subject lands, which conforms substantially to the application form and sketch as submitted with this application (Appendix 'B'). One copy of the deposited reference plan must be submitted to the Town prior to the issuance of the Certificate of Official. Please note, if the transaction in respect of which the consent was given is not carried out within the two-year period following issuance of the Certificate of Official, the consent effectively will lapse [Planning Act, R.S.O. 1990, c.P.13, as amended, s. 53 (43)].
4. Submission to the Secretary-Treasurer of the required draft transfers to effect the severance applied for under Files C-2024-04 in duplicate, conveying the subject lands, and issuance by the Secretary Treasurer of the certificate required under subsection 53(42) of the Planning Act. Subsection 50 (3 or 5) of the Planning Act, R.S.O 1990, as amended, applies to any subsequent conveyance of or transaction involving the parcel of land that is the subject of this consent.
5. That the Owner enter into a Letter of Undertaking to acknowledge the understanding that the Owner will be required to pay cash-in-lieu of Parkland, development charges, municipal service connection fees and any other fees as required and applicable per the Town's Fees and Charges By-law to the satisfaction of the Director of Planning and Development Services.
6. That the Owner acquire the Town's enactment of a by-law to dedicate a portion of the 0.3 m reserve along St. John's Sideroad as public highway to be registered on title for the purpose of driveway access, to the satisfaction of the Director of Planning and Development Services.

Operation Services:

7. That the owner shall be required to provide an Evaluation Report prepared by a Certified Arborist or Professional Registered Forester outlining all aspects of the impacts that this proposal will have on existing trees. The report shall include the following:
 - a) An assessment of existing trees (5cm trunk diameter and greater) by size, species and condition including trees on adjacent properties whose structure or root zone may be impacted by construction.
 - b) Identification of all tree injuries and tree removals, if any.
 - c) Identification of all tree protection measures including recommendations on the mitigation of negative effects to trees during and post construction, including applicable maintenance requirements.
 - d) Provision of monitoring of the site work through a series of site visits by the Arborist/Forester to ensure protection/preservation measures remain in compliance throughout the duration of the project. Monitoring shall occur i) at commencement of work to certify all tree protection measures are in place, ii) during site work to confirm protection measures are in place and to oversee arboricultural works as required, and iii) post construction assessment. Each site visit is to be documented and any resulting action items required by the Arborist /Forester shall be implemented and confirmed on site forthwith by the Arborist /Forester following each visit.
 - e) A monetary evaluation in accordance with the Town's Tree Compensation Policies for all trees designated to be removed.
8. The Owner shall be required to provide a tree compensation fee and/or a replanting plan in accordance with the Town of Aurora Tree Compensation Policies to the satisfaction of the Director of Operational Services as compensation for trees removed to facilitate construction. Compensation planting shall be completed prior to release of the financial securities.
9. The owner shall agree to comply with the Aurora Tree Permit By-law # 5850 -16 prior to the removal of any trees on the property.
10. The owner shall be required to provide financial securities based on the total value of the Tree Compensation evaluation and all Arboriculture works as defined by the Town and the Owner's Arborist/ Forester, to the satisfaction of the Director of Operational Services.

11. Conditions 7 to 10 shall be included as terms and conditions in a Letter of Undertaking with the Town of Aurora to guarantee compliance with the Conditions of Approval and all related site works.

Operation Services - Public Works:

12. That the Owner obtain a Road Occupancy Permit through Public Works.
13. That the Owner prepare and submit a site servicing plan showing the proposed and existing servicing. The external servicing within the drawing shall comply with the Town's Design Criteria Manual.

York Region:

14. Submission to the Secretary-Treasurer of written confirmation from the Region of York that the Owner has satisfied all conditions, as outlined in a letter from Christine Meehan, dated November 4, 2024, be addressed to the satisfaction of the Region of York.

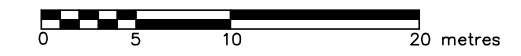
Lake Simcoe Region Conservation Authority:

15. That the Applicant/Owner shall pay the LSRCA Plan Review Fee in accordance with the approved LSRCA Fee Schedule. The applicable fee for Consent (Minor – planner review only) is \$536.
16. Fulfilment of all of the above conditions shall occur within two (2) years of the date that notice of the decision was given under Section 50(17) or 50(24) of the Planning Act. R.S.O. 1990, c.P.13, or the consent will lapse.

SEVERANCE SKETCH

**LOT 86
PLAN 65M-2685**

BEING IN THE
TOWN OF AURORA
REGIONAL MUNICIPALITY OF YORK
SCALE 1 : 400



E.R.GARDEN LTD.

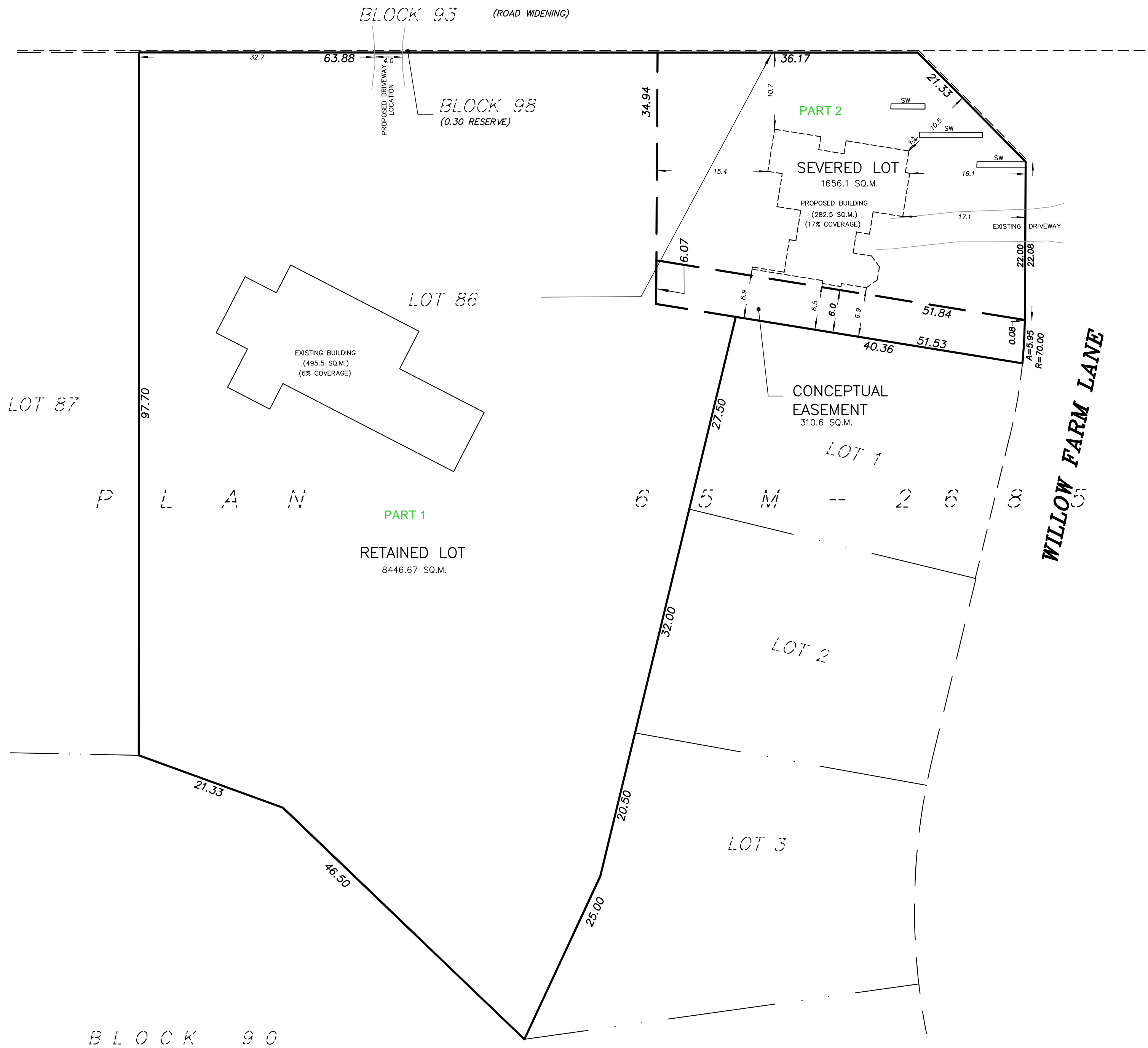
"METRIC" DISTANCES SHOWN ON THIS PLAN ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048

LEGEND

PIN DENOTES PROPERTY IDENTIFICATION NUMBER
SW DENOTES STONE WALL

ST. JOHN'S SIDEROAD

(ROAD ALLOWANCE BETWEEN LOTS 85 AND 86, CONCESSION 1, GEOGRAPHIC TOWNSHIP OF KING)



TOWN OF AURORA
PLANNING & DEVELOPMENT SERVICES
BUILDING DIVISION
PERMIT NO.: PR20241284 DATE: Oct. 24, 2024
APPROVED BY: *Melissa Bozanin*
PRELIMINARY ZONING REVIEW

CAUTION:
THIS IS NOT A PLAN OF SURVEY AND SHALL NOT BE USED EXCEPT FOR THE PURPOSE EXPRESSED IN THE TITLE BLOCK BOUNDARY INFORMATION TAKEN FROM OFFICE RECORDS

THE FIELD MEASUREMENTS WERE COMPLETED APR 24 2019

DATE: E.R. GARDEN
© E.R.GARDEN LTD. ONTARIO LAND SURVEYOR

E.R.GARDEN LIMITED
ONTARIO LAND SURVEYOR
1260 JOURNEY'S END CIRCLE, UNIT 1
NEWMARKET ONTARIO L3Y 8Z7
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TOLL FREE 1-877-895-5600 WWW.ERGARDENLIMITED.CA

DRAWN BY: R.D.

FILE No.
19-7425



File No.: CONS.24A.0084

Monday, November 4, 2024

Peter Fan
Committee of Adjustment
Town of Aurora
100 John West Way, Box 1000
Aurora, ON L4G 6J1

**RE: Consent Application Local file # C-2024-04 (CONS.24.A.0084)
Jeffrey and Karin Allan
2 Willow Farm Lane, Aurora, ON L4G6K1**

The Regional Municipality of York ("Region") has completed its review of the above noted consent application to create one new residential lot with an easement over the severed lot. The property is municipally known as 2 Willow Farm Lane and has frontage on both Willow Lane and St. John's Sideroad.

York Region Remains a Commenting Agency

Upon York Region becoming an upper-tier municipality without planning responsibilities, please note that the technical comments and conditions will continue to remain relevant. All technical matters must be addressed to the satisfaction of York Region.

Moving forward please continue to circulate all applications that we currently receive by addressing the circulation to developmentsservices@york.ca. The Region will continue to provide technical review and comments and conditions on matters of Regional interest, such as transportation, wellhead protection and water/wastewater.

The Region has no objection to the consent application subject to the following conditions being satisfied:

1. Please be advised York Region is protecting a 18 metre right-of-way for this section of St. John's Sideroad. As such, York Region requests that all municipal setbacks be referenced from a point 18 metre(s) from the centreline of construction of St. John's Sideroad.

2. The Owner shall convey the following lands, along the entire frontage of the site adjacent to St. John's Sideroad, to The Regional Municipality of York, free of all costs and encumbrances:
 - sufficient property to provide a road widening to establish 18 metres from the centre line of construction of St. John's Sideroad;
 - sufficient property to provide a 15 metre by 15 metre daylighting triangle at southwest corner of St. John's Sideroad and Willow Farm Lane intersection.
3. The Owner shall provide a solicitor's certificate of title in a form satisfactory to the Regional Solicitor, at no cost to the Region, with respect to the conveyance of these lands to the Region.
4. The Owner will be required to submit a Survey Plan (that shows centerline of construction).
5. The Owner shall arrange for the preparation, review and deposit on title of a reference plan describing the lands to be conveyed to the Region, as described above, to the satisfaction of the Economic and Development Services Branch
6. The Region requires the Owner submit a Phase One Environmental Site Assessment ("ESA") in general accordance with the requirements of the *Environmental Protection Act* and O. Reg. 153/04 Records of Site Condition, as amended ("O. Reg. 153/04"). The Phase One ESA must be for the Owner's property that is the subject of the application and include the lands to be conveyed to the Region (the "Conveyance Lands"). The Phase One ESA cannot be more than two (2) years old at: (a) the date of submission to the Region; and (b) the date title to the Conveyance Lands is transferred to the Region. If the originally submitted Phase One ESA is or would be more than two (2) years old at the actual date title of the Conveyance Lands is transferred to the Region, the Phase One ESA will need to be either updated or a new Phase One ESA submitted by the Owner. Any update or new Phase One ESA must be prepared to the satisfaction of the Region and in general accordance with the requirements of O. Reg. 153/04. The Region, at its discretion, may require further study, investigation, assessment, delineation and preparation of reports to determine whether any action is required regardless of the findings or conclusions of the submitted Phase One ESA. The further study, investigation, assessment, delineation and subsequent reports or documentation must be prepared to the satisfaction of the Region and in general accordance with the requirements of O. Reg. 153/04. Reliance on the Phase One ESA and any subsequent reports or documentation must be provided to the Region in the Region's standard format and/or contain terms and conditions satisfactory to the Region.

The Region requires a certified written statement from the Owner that, as of the date title to the Conveyance Lands is transferred to the Region: (i) there are no

contaminants of concern, within the meaning of O. Reg. 153/04, which are present at, in, on, or under the property, or emanating or migrating from the property to the Conveyance Lands at levels that exceed the MOECC full depth site condition standards applicable to the property; (ii) no pollutant, waste of any nature, hazardous substance, toxic substance, dangerous goods, or other substance or material defined or regulated under applicable environmental laws is present at, in, on or under the Conveyance Lands; and (iii) there are no underground or aboveground tanks, related piping, equipment and appurtenances located at, in, on or under the Conveyance Lands.

7. The Owner shall be responsible for all costs associated with the preparation and delivery of the following: a draft and deposited 65Rplan, Phase One ESA, any subsequent environmental work, reports or other documentation, reliance, and the Owner's certified written statement.
8. This application is subject to York Region's development applications processing fees as identified in By-law No. 2020-04. The review fee for Consent to Sever is \$1,200. The Review and approval of the Environmental Site Assessment Report fee is \$2,000. All payments shall be in the form of a cheque and made payable to "The Regional Municipality of York" and forwarded to Community Planning + Development Services. Development application fees are subject to annual adjustments and increases. Any unpaid fees, regardless of the year the application is submitted, will be subject to current fee requirements.
9. The Town shall confirm that water and wastewater servicing allocation is available for the new lot.
10. Prior to final approval, the Economic and Development Services Branch shall certify that Conditions 1-9 have been met to its satisfaction.

The Region will permit only a single access to St. John's Sideroad. Prior to obtaining a Building Permit from the town the Owner will be required to obtain an Engineering Approval from the Region with regard to construction access, site grading and accesses.

With respect to the conditions above, we request a copy of the Notice of Decision when it becomes available.

Should you have any questions regarding the above, please contact Christine Meehan at Christine.Meehan@york.ca.

Regards,

Christine Meehan



100 John West Way
Aurora, Ontario
L4G 6J1
(905) 727-3123
aurora.ca

Town of Aurora
Committee of Adjustment Report
No. MV-2024-01

Subject: Minor Variance Application
Ye Liu
2007 Vandorf Sideroad
Part of Lot 5, Concession 3
MV-2024-01

Prepared by: Katherine Gatzos, Planner

Department: Planning and Development Services

Date: November 14, 2024

Application

The owner/applicant is requesting relief from the requirements of the Town's Comprehensive Zoning By-law 6000-17, as amended, to facilitate the construction of a new two (2) storey detached dwelling. The following relief is being requested:

- a) Section 18.1.3 of the Zoning By-law states new single residential dwellings on existing lots will only be permitted through a minor variance.
 - a. The applicant is proposing to construct a new two-storey detached dwelling; and,

- b) Section 14.1.3(i) of the Zoning By-law states no development or site alteration shall occur on that portion of the lot that contains a minimum vegetation protection zone.
 - a. The applicant is proposing to construct a two-storey detached dwelling; and,

- c) Section 4.20 of the Zoning By-law states canopies may project 0.7 metres into any required yard.
 - a. The applicant is proposing to construct a two-storey detached dwelling, with canopies projecting 1.5 metres into the required front yard; and,

Background

Subject Property and Area Context

The subject property, municipally known as 2007 Vandorf Sideroad, is an established estate residential lot located just west of Highway 404. The subject property is approximately 0.59 hectares (1.45 acres), with a frontage along the south side of Vandorf Sideroad of approximately 58.7 metres. The property has a depth of approximately 100 metres, containing wooded areas, particularly to the west and south boundaries, however the majority of the property consists of manicured grassy areas. Additional mature trees are present along the eastern boundary, to provide screening of Highway 404. The subject property will be serviced by private septic and well facilities.

The overall topography of the site can be classified as gentle to moderate, with site drainage generally flowing north – south (from front to rear of the property).

An unevaluated wetland to the south partially falls within the subject property towards the rear lot boundary. No development is proposed within this feature or the associated protection zone. The White Rose – Preston Lake Wetland Complex, a provincially significant wetland (PSW), is located approximately 110 metres east of the subject property and is separated by Highway 404.

Currently, the property contains a single detached dwelling and detached garage with building footprints of 134.97 sqm (1452 sqft) and 72.56 sqm (781 sqft), respectively. The existing dwelling and detached garage are proposed to be demolished as part of the subject redevelopment of the site.

Surrounding Land Uses

The surrounding land uses for the subject property are as follows:

North: Estate residential single detached lots and wooded areas

South: Wooded areas, Westview Golf Club, and Metrolinx GO Train line

East: Highway 404, Town of Aurora and Town of Whitchurch-Stouffville boundary, and estate residential single detached lots

West: Westview Golf Club and wooded areas.

Proposal

The applicant is proposing to demolish the existing residential dwelling and detached garage on the property and replace with a new two (2) storey single detached dwelling.

The proposed new dwelling has a building footprint of approximately 625 sqm (6727.44 sqft).

Although not included as part of the subject variance, the development will also include an on-site sewage disposal system consisting of a septic tank and leaching bed in the rear yard. An existing drilled well will be used for portable water supply for the residence.

Official Plan

The subject property is designated “Countryside Oak Ridges Moraine” in the Town of Aurora Official Plan (OPA 48).

The purpose of OPA 48 is to bring the Town of Aurora Official Plan into conformity with the Oak Ridges Moraine Conservation Plan (ORMCP) as required by the Oak Ridges Moraine Conservation Act, 2001. These provisions generally require that no development or site alteration occur on lands within Key Natural Heritage Features, Minimum Vegetation Protection Zones, Significant Woodland or Landform Conservation Area (Category 2) without an amendment to, or relief from the Zoning By-law and confirmation from an accompanying Natural Heritage Evaluation of no negative impacts to ecological and hydrological features.

Schedule ‘K’ of OPA 48 classifies the subject property as partially within the 30 m Minimum Vegetation Protection Zone (MVPZ) for significant woodlands. Schedule ‘L’ of OPA 48 indicates that the subject property is within a Category 2 Landform Conservation Area.

Zoning

The subject property is zoned “Countryside – Oak Ridges Moraine (C-ORM)” in the Town of Aurora Zoning By-law 6000-17. The C-ORM zone limits development on the Oak Ridges Moraine to conservation, agriculture, golf courses, infrastructure and natural heritage uses. New single residential dwellings and related accessory uses on existing lots will only be permitted through a minor variance.

Preliminary Zoning Review

A Preliminary Zoning Review (PZR) has been completed by the Town of Aurora’s Building Division. The PZR identified the required variances, and no other non-compliance was identified.

Applicant's stated reason(s) for not complying with the Zoning By-law

As stated on the application form, "[Reducing the] size of the dwelling can not be achieved with the current zoning limitations. The owner of this property is a mother of three. Her eldest daughter, Flavia, is a competitive swimmer with aspirations to excel at the National/International level. Her son, Aaron, is currently on a pre-competitive swim team, following Flavia's lead, and aspiring to join a competitive swim team. The standard swimming pool allows the kids to have less crowded and additional training time. To construct the new 2-storey dwelling and the accessory swimming pool will allow the mother to accompany her kids when training. While the current zoning by-law does not permitted for new development or site alteration on this property. Also, this lot is quite deep at the rear yard, so we have to move the proposed dwelling further to the front yard and trigger the required front and side yard setback."

Planning Comments

Planning Staff have evaluated Minor Variance Application MV-2024-01 pursuant to the prescribed tests as set out in Section 45(1) of the *Planning Act*, as follows:

a) The proposed variances meet the general intent of the Official Plan

A Natural Heritage Evaluation (NHE) was prepared in support of the application, which includes an analysis of existing environmental conditions on the subject property and adjacent areas. The NHE further provides recommendations and construction mitigation measures to be implemented, which have been added to the Conditions of Approval (Appendix 'A').

The proposed development minorly encroaches into the MVPZ associated with the woodland feature north of Vandorf Sideroad. The MVPZ extends south from the feature through the right-of-way and into the north portion of the subject property. This results in the MVPZ on the subject property being disconnected from the features north of Vandorf Sideroad. Further, the portion of the MVPZ on the subject property has been altered and developed over the years to include a manicured lawn and landscaped areas, a detached dwelling, and driveway.

The Owner's Environmental Consultant (SLR Consulting (Canada) Ltd.) indicates that in total, ten (10) trees are required for removal to accommodate the proposed development, which includes two (2) dead trees, however these trees were not observed to promote roosting of endangered or threatened species. A total of eighteen (18) replacement trees are proposed to be planted on-site, with the remaining twenty-one (21) existing trees being protected.

The Natural Heritage Evaluation also determined that due to the scale and minimal encroachment of the proposed development, no negative impact is anticipated on local species within the area. Further, as the MVPZ on the subject property is not connected to the northern features it does not function as a continuous buffer due to being bisected by Vandorf Sideroad. Therefore, staff are of the opinion that the development within the MVPZ will not considerably alter the existing state of the MVPZ, nor negatively impact the features north of Vandorf Sideroad.

Again, specific conditions of approval have been developed, including the need for an Evaluation Report / Tree Preservation Plan prepared by a Certified Arborist or Professional Registered Forester outlining all aspects of the impacts that this proposal will have on existing and current remaining vegetation, compensation planting per Town of Aurora's Tree Removal/Pruning and Compensation Policy, and the installation of tree protection/silt fencing during construction. Implementation of the recommendations as conditions of approval will further ensure that the proposed development will not negatively impact the surrounding natural heritage features.

Staff are of the opinion that the requested variances meet the general intent of the Official Plan, given that the policies of the Oak Ridges Moraine – Countryside designation are adhered to, and that no adverse impacts are anticipated to surrounding natural heritage features. The appropriate Conditions of Approval are also attached hereto as Appendix 'A'.

b) The proposed variances meet the general intent of the Zoning By-law

Architectural features, including canopies, are limited to project into any yard to ensure that they are not obtrusive from the streetscape or surrounding properties, and additionally do not negatively impact access, usability or drainage within any yard.

Zoning provisions governing natural heritage features and Minimum Vegetation Protection Zones (MVPZ) are established to ensure that development does not negatively impact surrounding areas and features.

The proposed canopy is an architectural feature that intends to provide overhead protection when entering/exiting the garage, and it is constructed wholly within the extent of the impervious driveway. Although the architectural canopy feature on the proposed dwelling encroaches further into the front yard than what the Zoning By-law permits, staff are of the opinion that this encroachment will not negatively impact access and usability of the front yard. Further, staff are of the opinion that the canopy is coordinated with

architectural features elsewhere on the dwelling, creating a cohesive built form that will not negatively alter the streetscape.

The Natural Heritage Evaluation and associated recommendations have demonstrated that the proposed development will not negatively impact the surrounding natural heritage features and systems. To ensure no resulting adverse impacts, the recommendations have also been implemented as Conditions of Approval, attached hereto as Appendix 'A'.

The Zoning By-law provisions with respect to the subject variances specifically recognize that exceptions can be made for established residential lots and additions, provided that the development would not result in any negative environmental impacts. The proposed dwelling has been located purposefully on the site to avoid impacts to the natural heritage features of the area. The submitted NHE and associated conditions of approval further ensure that any potential impacts are mitigated and avoided.

Additionally, the owner has confirmed that they are not planning to construct the indoor swimming pool for the purpose of a home occupation (swimming school). The owner has been advised that a swim school home occupation would be in contravention to the Town's Zoning By-law and a separate Minor Variance application would be required to permit this use.

As such, staff are of the opinion that the requested variances meet the general intent of the Zoning By-law.

c) The proposed variances are considered desirable for the appropriate development of the land

The proposed variances are considered desirable for the appropriate development of the land as they permit the redevelopment of a residential dwelling with no anticipated negative impacts on local natural heritage features or systems, the public realm, or streetscape. The proposed development is not located within the LSRCA Regulated Area, and appropriate conditions have been developed as per the attached Appendix 'A'. As an estate lot with a large lot and setbacks, the property is an appropriate location for the new dwelling, and the redevelopment offers an opportunity for mitigation and enhancement opportunities to be implemented on the site, including new tree planting. Staff are of the opinion that the requested variances are considered desirable for the appropriate development of the property and given the listed conditions under Appendix 'A', are satisfied with approval of the subject application.

The dwelling is proposed in an area of the subject lot that is occupied by a manicured lawn and gardens. This location results in limited tree removal to accommodate the development, and the opportunity for the installation of enhanced plantings and compensation elsewhere on the subject property. As such, staff are of the opinion that the proposed location of the dwelling is appropriate and sited strategically to avoid negative impacts, given the building constraints present.

Staff are of the opinion that the Natural Heritage Evaluation submitted as part of this application has demonstrated that the proposed development will not negatively impact local natural heritage systems or features and has provided satisfactory mitigation measures to further reduce impacts associated with the construction of the dwelling, which have been incorporated as Conditions of Approval. Fulfillment of the conditions will in turn result in enhancements of natural heritage elements on the subject property, including additional tree canopy area, while also implementing strategies during construction and in the design of the buildings will be able to ensure no negative adverse impacts.

As such, staff are of the opinion that the requested variances are considered desirable for the appropriate development of the property, provided that the Conditions of Approval attached hereto as Appendix 'A' are satisfied.

d) The proposed variances are considered minor in nature

The proposed variances are minor in nature and facilitate the construction of a dwelling within a relatively manicured landscaped area on the subject property.

The subject property is occupied by areas of woodland along the rear and westerly property lines, and a noise fence along the east property line which provide for substantial screening of the proposed dwelling. Staff consider the encroachment of the canopy feature within the front yard to be minor and will not impede on the function or usability of the front yard and driveway. Further, the canopy feature is compatible with the other modern architectural features of the dwelling, without being overtly obtrusive to the streetscape.

As such, staff are of the opinion that there are no visual and streetscape impacts as a result of the proposed development, including views from adjacent properties.

Further, the accompanying Natural Heritage Evaluation has demonstrated that there are no negative impacts to surrounding features as a result of the proposed development and has outlined mitigation measures to ensure this.

Staff are of the opinion that the requested variances are minor in nature and that construction impacts will be negated through appropriate mitigation measures attached hereto as Appendix 'A' –Conditions of Approval.

Additional Comments

The minor variance application was circulated to Town Department/Divisions and to external agencies for review and comment. The following comments were provided:

Department or Agency	Comments
Building Division	Preliminary Zoning Review completed. No objections.
Engineering Division	No objections.
Operational Services (Parks)	No objections with conditions.
Operational Services (Public Works)	No objections with conditions.
Central York Fire Services	No objections.
York Region	No objections.
LSRCA	No objections with conditions.

Public Correspondence

Written submissions were not received at the time of writing of this report. Should written submissions be received after the writing of this report, the Secretary Treasurer will provide the submission(s) to Committee members at the meeting.

Conclusion

Planning staff have reviewed the application with respect to the Section 45 (1) of the Planning Act, R.S.O, 1990, c.P.13, as amended, and are of the opinion that the requested variance meets the four tests of the Planning Act for granting of minor variances. Staff recommend approval of the requested variance subject to the conditions outlined in Appendix 'A'.

Attachments

Appendix 'A' – Recommended Conditions of Approval

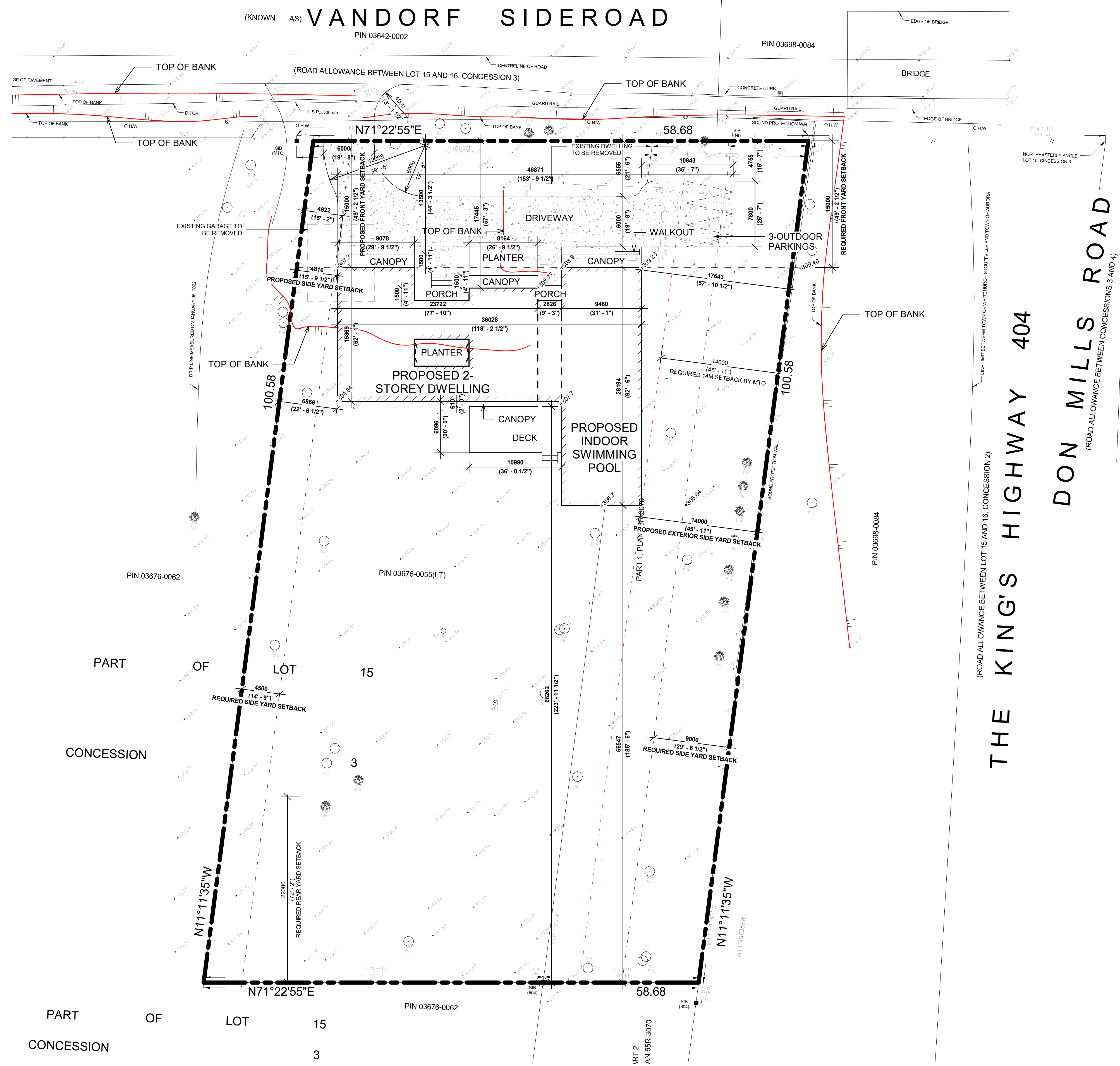
Appendix 'B' – Site Plan and Elevations

Appendix 'A' – Recommended Conditions of Approval

The following conditions are required to be satisfied should application MV-2024-01 be approved by the Committee of Adjustment:

1. That the variance only applies to the subject property in conformity with the plan(s) attached as 'Appendix B' to this Staff Report, to the satisfaction of the Director of Planning and Development Services or designate.
2. That the recommendations of the Accompanying Natural Heritage Evaluation dated September 24, 2024, and prepared by SLR Consulting (Canada) Ltd. (listed under Section 3.0 of the Evaluation) be satisfied per the discretion of the Director of Planning and Development Services or their designate.
3. An approved Road Occupancy Permit is required through the Town of Aurora Public Works department.
4. The Applicant/Owner shall pay the Lake Simcoe Region Conservation Authority (LSRCA) Plan Review Fee in accordance with the approved LSRCA Fee Schedule. The applicable fee for Minor Variance (Minor – planner review only) is \$536.
5. That the owner shall be required to provide an Evaluation Report prepared by a Certified Arborist or Professional Registered Forester outlining all aspects of the impacts that this proposal will have on existing vegetation. The report shall assess existing trees (5cm trunk diameter and greater), identify tree removals, if any, identify tree protection measures and make recommendations on the mitigation of negative effects to vegetation, during and post construction periods. As well, make recommendations for measures aimed at tree health care and protection for trees effected by the project and any remaining trees in the vicinity of the project that require applicable maintenance.
6. In addition, the report shall include a schedule of monitoring of the ongoing site work through a series of scheduled site visits by the Arborist / Forester during and post construction to ensure the vegetation preservation measures remain in compliance throughout the duration of the project. Each site visit is to be documented and any resulting action items required by the Arborist /Forester shall be implemented and confirmed on site forthwith by the Arborist /Forester following each visit.

7. The owner shall be required to provide vegetation compensation and a replanting plan in accordance with the Town of Aurora TREE REMOVAL/PRUNING AND COMPENSATION POLICY to the satisfaction of the Director of Operational Services as compensation for trees removed to facilitate construction. Compensation planting shall be completed prior to release of the financial securities.
8. The owner shall agree to comply with the Aurora Tree Permit By-law # 5850 -16 prior to the removal of any trees on the property.
9. Where compensation planting is required, the owner shall agree to provide financial securities based on the total value of the Tree Compensation evaluation and all Arboriculture works as defined by the Town and the Owner's Arborist/Forester, to the satisfaction of the Manager of Parks Division.
10. All the above shall be included as terms and conditions in a Letter of Undertaking with the Town of Aurora to guarantee compliance with the Conditions of Approval and all related site works.



SITE STATISTICS			
ZONING BY-LAW # 6000-17			
C-ORM			
LOT AREA		5852.484 SQM	
LOT WIDTH & FRONTAGE		58.68M	
BUILDING FOOTPRINT		TOTAL: 625.121 SQM MAIN BUILDING: 310.182 SQM COVERED PORCHES: 13.955 SQM ACCESSORY STRUCTURE (INDOOR SWIMMING & ENCLOSED BREEZEWAY): 300.872 SQM	
LOT COVERAGE		PERMITTED: NA PROPOSED: 10.68%	
GFA		PERMITTED: NA PROPOSED: 677.02 SQM	
FSI		PERMITTED: NA PROPOSED: 0.12	
BUILDING HEIGHT (MAIN DWELLING)		PERMITTED: 10M MAX PROPOSED: 8.95M	
BUILDING HEIGHT (ACCESSORY STRUCTURE)		PERMITTED: 4.5M MAX PROPOSED: 6.2M	
SETBACKS: FRONT		PERMITTED: 15M MIN PROPOSED: 15M	
SETBACKS: SIDE (WEST)		PERMITTED: 4.5M MIN PROPOSED: 4.5M	
SETBACKS: SIDE (EAST)		PERMITTED: 9M MIN PROPOSED: 9M	
SETBACKS: REAR YARD		PERMITTED: 22M MIN PROPOSED: 56.547M	
MAX BUILDING LENGTH		PERMITTED: NA PROPOSED: 30.639M	
MAX FINISHED FIRST FLOOR HEIGHT		PERMITTED: NA PROPOSED: 0.8M	

- NOTES:**
1. ALL DIMENSIONS AND QUANTITIES OF MATERIALS ARE THE RESPONSIBILITY OF THE CONTRACTOR. AN ACCEPTABLE LEVEL OF FINISH MUST BE ACHIEVED AND APPROVED BY OWNER.
 2. ALL TRADES TO VERIFY DIMENSIONS AND DATA HEREIN WITH EXISTING ON SITE.
 3. REPORT ALL DISCOVERIES OF ERRORS, OMISSIONS OR DISCREPANCIES TO THE DESIGNER OR DESIGN ENGINEER AS APPLICABLE.
 4. GENERAL CONTRACTOR TO PROVIDE ALL BLOCKING REQUIRED IN WALLS TO ACCOMMODATE INSTALLATION OF MILLWORK, ARTWORK, FURNITURE, WASHROOM ACCESSORIES, AND EQUIPMENT.
 5. MOULD RESISTANT GYPSUM BOARD IN LIEU OF GYPSUM BOARD INDICATED ON WALL SURFACES WITHIN WASHROOMS & MUDROOMS.
 6. TILE BACKER BOARD TO BE USED IN LIEU OF GYPSUM BOARD INDICATED ON WALL TYPES TO EXTENT OF WALLS WHERE CERAMIC WALL TILES ARE INDICATED TO BE INSTALLED.
 7. DO NOT SCALE DRAWINGS.

REVISION RECORD

No.	Description	Date
1	ISSUED FOR ZPR	02/25/2022
2	ISSUED FOR COFA	07/10/2024

ISSUE RECORD

Z Square Consulting Inc.
1100 Gordon Baker Road,
Toronto, Ontario, M2H 3B3
T 647 291 0088
E info@zsquareconsulting.com
W www.zsquareconsulting.com

PROPOSED 2-STOREY SINGLE DWELLING WITH INDOOR SWIMMING POOL
2007 Vandorf Sideroad, Aurora, ON L4G 7C1
for

21052 As indicated CD MDZ
PROJECT SCALE DRAWN REVIEWED

SITE PLAN
A1.1

Note: This drawing is the property of the Architect and may not be reproduced or used without the expressed consent of the Architect. The Contractor is responsible for checking and verifying all levels and dimensions and shall report all discrepancies to the Architect and obtain clarification prior to commencing work.

1 SITE PLAN
1:250



100 John West Way
Aurora, Ontario
L4G 6J1
(905) 727-3123
aurora.ca

Town of Aurora
Committee of Adjustment Report
No. MV-2024-29

Subject: **Minor Variance Application**
Eric Birkland
7 Johnson Road
PLAN 514 LOT 491
File: MV-2024-29

Prepared by: **Felix Chau, Planner**

Department: Planning and Development Services

Date: November 14, 2024

Application

The owner/applicant is requesting relief from the requirements of the Town's Comprehensive Zoning By-law 6000-17, as amended, to facilitate the construction of a detached garage. The following relief is being requested:

- a) Section 24.497.8 of the Zoning By-law permits a maximum gross floor area of 40.0 m² (430.5 ft²). The applicant is proposing a detached garage with a gross floor area of 45.0 m² (484.4 ft²).

Background

Subject Property and Area Context

The subject lands are municipally known as 7 Johnson Road and are located at the southeast corner of Johnson Road and Browning Court.

The subject lands currently feature a one-storey detached dwelling and a carport. The carport is proposed to be demolished as part of the redevelopment of the lands. The subject lands have an approximate lot area of 654.8 m² (7,048.2 ft²) with approximately 14.6 m (48 ft) of frontage along Johnson Road and approximately 39.5 m (129.5 ft) of frontage along Browning Court. Vehicular access is provided by way of driveway access along Browning Court.

Proposal

The applicant is proposing to demolish the existing carport to construct a detached garage with a building footprint of 45.0 m² (484.4 ft²).

Official Plan

The subject property is designated 'Stable Neighbourhoods' by the Town of Aurora Official Plan. The Stable Neighbourhoods designation permits the development of single detached dwellings subject to the development policies of the Official Plan.

Zoning

The subject lands are zoned R3-SN (497) (Detached Third Density Residential Exception Zone) by the Town of Aurora Zoning By-law #6000-17, as amended, where Detached Dwelling and associated accessory buildings are permitted uses.

Preliminary Zoning Review

A Preliminary Zoning Review (PZR) has been completed by the Town of Aurora's Building Division. The PZR identified the required variance and no other non-compliance was identified.

Applicant's stated reason(s) for not complying with the Zoning By-law

The applicant states in the application form that the By-law maximum of 40.0 m² for a detached garage does not permit accommodation of a mid-sized pickup truck and the possibility of having a small workshop, which is required for a small bungalow.

Planning Comments

Planning Staff have evaluated Minor Variance Application MV-2024-29 pursuant to the prescribed tests as set out in Section 45 (1) of the *Planning Act*, as follows:

a) The proposed variance meets the general intent of the Official Plan

The subject lands are designated 'Stable Neighbourhoods' under the Town of Aurora's Official Plan. The intent of the "Stable Neighbourhoods" designation is to protect from incompatible forms of development while also allowing neighbourhoods to be enhanced over time. The variance requested is not anticipated to have any negative impact on the character of the existing residential neighbourhood. The proposed location of the detached garage is south of the existing detached dwelling, and it is intended to replace

the existing carport. There is minimal to no disruption on the streetscape and the surrounding context of the neighbourhood is not impacted as a mix of detached garages and carports are featured in the surrounding lots. While the proposal includes the removal of one tree, there is sufficient existing vegetation towards the southerly property line which will visually buffer the proposed detached garage from neighbouring properties and the streetscape. Furthermore, the Town's Operational Services (Parks) Division has provided conditions of approval, included in Appendix A, which ensure that the removal of any trees are appropriately documented and compensated to mitigate any potential impacts resulting from the removal.

Furthermore, the Stable Neighbourhoods designation outlines design policies for all new development that shall respect and reinforce the existing physical character and uses of the surrounding area. The attention to the building type, heights and scale of nearby residential properties is essential for all new development. The proposed detached garage adequately meets the intent of these design policies and allows for a smooth transition between neighbouring properties.

Staff are of the opinion that the requested variance meets the general intent of the Official Plan.

b) The proposed variance meets the general intent of the Zoning By-law

The intent of the "Detached Third Density Residential R3-SN (497)" zoning is to ensure that the streetscape and public realm are maintained with appropriately sized and oriented buildings. The intent of the maximum gross floor area for accessory detached structures provision is to ensure that accessory structures remain subordinate to the main building on the property, and to ensure adequate space for drainage, maintenance, and outdoor amenities.

Although the proposed detached garage exceeds the maximum gross floor area requirement by 5 m², which represents a 10% increase in size, the detached garage remains modest in its overall mass and continues to meet all other provisions of the zoning by-law, thus resulting in minimal visual obstruction and impact. The existing detached dwelling on the lot is 123.3 m² in size and therefore a 45 m² detached garage will appear and function subordinate to the main building on the lot. Furthermore, the subject property has a lot area of 654.8 m², thus sufficient space for drainage, maintenance and outdoor amenity area will remain as the total lot coverage of all structures on the property would be 25.7%.

As such, Staff are of the opinion that the requested variances meet the intent of the Zoning by-law.

c) The proposed variance is considered desirable for the appropriate development of the land

The minor variance has been considered in the context of the site itself and the adjacent neighbourhood. The proposed detached garage has been designed in a manner that respects the existing neighbourhood and adjacent neighbour. It is proposed to be in a similar location to the existing carport, and while the existing driveway is proposed to be widened, it will comply with the Zoning By-law maximum permitted driveway width of 6.0 m. The proposed detached garage maintains a 3.0 m setback to the nearest shared property line (south) and it will be visually buffered by existing mature vegetation.

The proposal allows for appropriate development of a detached garage to facilitate vehicular parking within an enclosed building, while also providing additional storage space for residential functions. It will enhance the residential function for the owner in transitioning from a carport to a fully enclosed private garage which provides additionally storage space and safety, in a manner that in keeping with surrounding properties with similar structures.

It is Staff's opinion that the requested variance is desirable for the appropriate development of the land.

d) The proposed variance is considered minor in nature

The question of the minor nature of a proposed variance can be related to its scale and impact on adjacent properties. In the opinion of staff, the requested variance is considered to be minor and is not expected to have any adverse effects on the subject lands, neighbouring properties, or the character of the existing mature neighbourhood as a whole. Staff consider the proposed detached garage which exceeds the Zoning By-law maximum by 5 m² to be minimal.

As previously stated, one tree is proposed to be removed to facilitate driveway access to the proposed garage. As previously stated, the Parks Division has provided conditions of approval which mitigates any potential impacts resulting from the loss of the tree. The proposed addition conforms to all other applicable zoning provisions, and Staff are of the

opinion that the proposed relief from the maximum accessory building gross floor area will not result in overdevelopment of the site or result in any detrimental impacts.

Staff are of the opinion that the requested variance is minor in nature.

Additional Comments

The minor variance application was circulated to Town Department/Divisions and to external agencies for review and comment. The following comments were provided:

Department or Agency	Comments
Building Division	Preliminary Zoning Review was completed. No objections.
Engineering Division	No objections.
Operational Services (Parks)	No objections.
Operational Services (Public Works)	No objections.
Central York Fire Services	No objections.
York Region	No objections.
LSRCA	No objections.
Alectra	No objections

Public Correspondence

Written submissions were not received at the time of writing of this report. Should written submissions be received after the writing of this report, the Secretary Treasurer will provide the submission(s) to Committee members at the meeting.

Conclusion

Planning staff have reviewed the application regarding Section 45 (1) of the Planning Act, R.S.O, 1990, c.P.13, as amended, and believe that the requested variance meets the four tests of the Planning Act for granting minor variances. Staff recommend approval of the requested variance subject to the conditions outlined in Appendix 'A.'

Attachments

Appendix 'A' – Recommended Conditions of Approval

Appendix 'B' – Site Plan

Appendix 'C' – Elevations

Appendix 'A' – Conditions of Approval

Planning and Development Services:

1. That the variance only applies to the subject property in conformity with the plans attached as 'Appendix B' to this Staff Report, to the satisfaction of the Director of Planning and Development Services or designate.

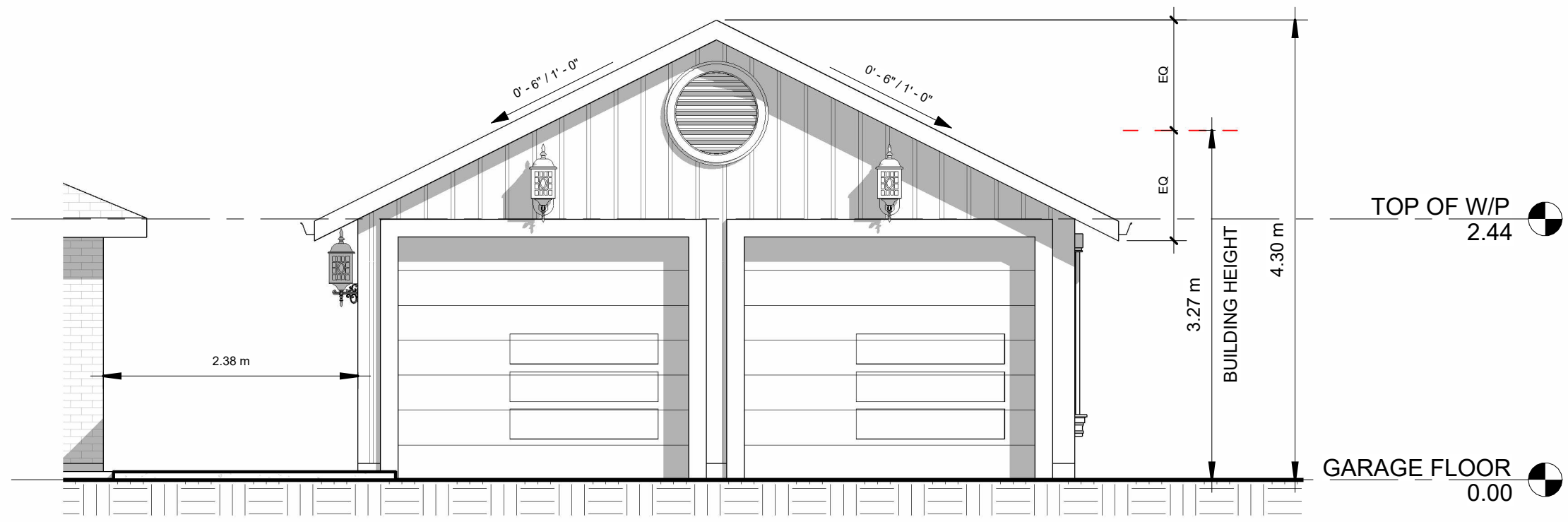
Operational Services – Parks:

2. That the owner shall be required to provide an Evaluation Report prepared by a Certified Arborist or Professional Registered Forester outlining all aspects of the impacts that this proposal will have on existing trees. The report shall include the following:
 - An assessment of existing trees (5cm trunk diameter and greater) by size, species and condition including trees on adjacent properties whose structure or root zone may be impacted by construction.
 - Identification of all tree injuries and tree removals, if any.
 - Identification of all tree protection measures including recommendations on the mitigation of negative effects to trees during and post construction, including applicable maintenance requirements.
 - Provision of monitoring of the site work through a series of site visits by the Arborist/Forester to ensure protection/preservation measures remain in compliance throughout the duration of the project. Monitoring shall occur
 - i) at commencement of work to certify all tree protection measures are in place,
 - ii) during site work to confirm protection measures are in place and to oversee arboricultural works as required, and
 - iii) post construction assessment. Each site visit is to be documented and any resulting action items required by the Arborist /Forester shall be implemented and confirmed on site forthwith by the Arborist /Forester following each visit.
 - A monetary evaluation in accordance with the Town's Tree Compensation Policies for all trees designated to be removed.
3. The Owner shall be required to provide a tree compensation and a replanting plan in accordance with the Town of Aurora Tree Compensation Policies to the satisfaction of the Director of Operational Services as compensation for trees removed to facilitate construction. Compensation planting shall be completed prior to release of the financial securities.

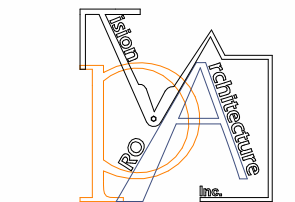
4. The owner shall agree to comply with the Aurora Tree Permit By-law # 5850 -16 prior to the removal of any trees on the property.
5. The owner shall be required to provide financial securities based on the total value of the Tree Compensation evaluation and all Arboriculture works as defined by the Town and the Owner's Arborist/ Forester, to the satisfaction of the Director of Operational Services.
6. All the above shall be included as terms and conditions in a Letter of Undertaking with the Town of Aurora to guarantee compliance with the Conditions of Approval and all related site works.

Operational Services – Public Works:

7. That the Owner obtain a Road Occupancy Permit through Public Works.
8. That the Owner obtain a Curb Cut Permit through Public Works.



1 WEST ELEVATION
1 : 50



PRO VISION ARCHITECTURE INC.
T:(416)800-6347 F:(416)800-9625
Email: pva@provisionarch.com
14961 Yonge St. Unit B. Aurora, ON L4G 1M5



REVISION SCHEDULE

No.	Description	Date	By
-----	-------------	------	----

PROJECT NAME:
**DETACHED GARAGE ADDITION TO:
7 JOHNSON RD.,**

PROJECT ADDRESS:
7 JOHNSON RD., AURORA, ON L4G 2A3

CLIENT'S NAME & ADDRESS:
ERIC BIRKLAND
JOHNSON RD., AURORA ON L4G 2A3

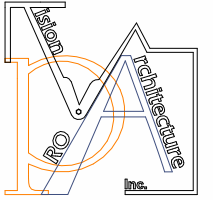
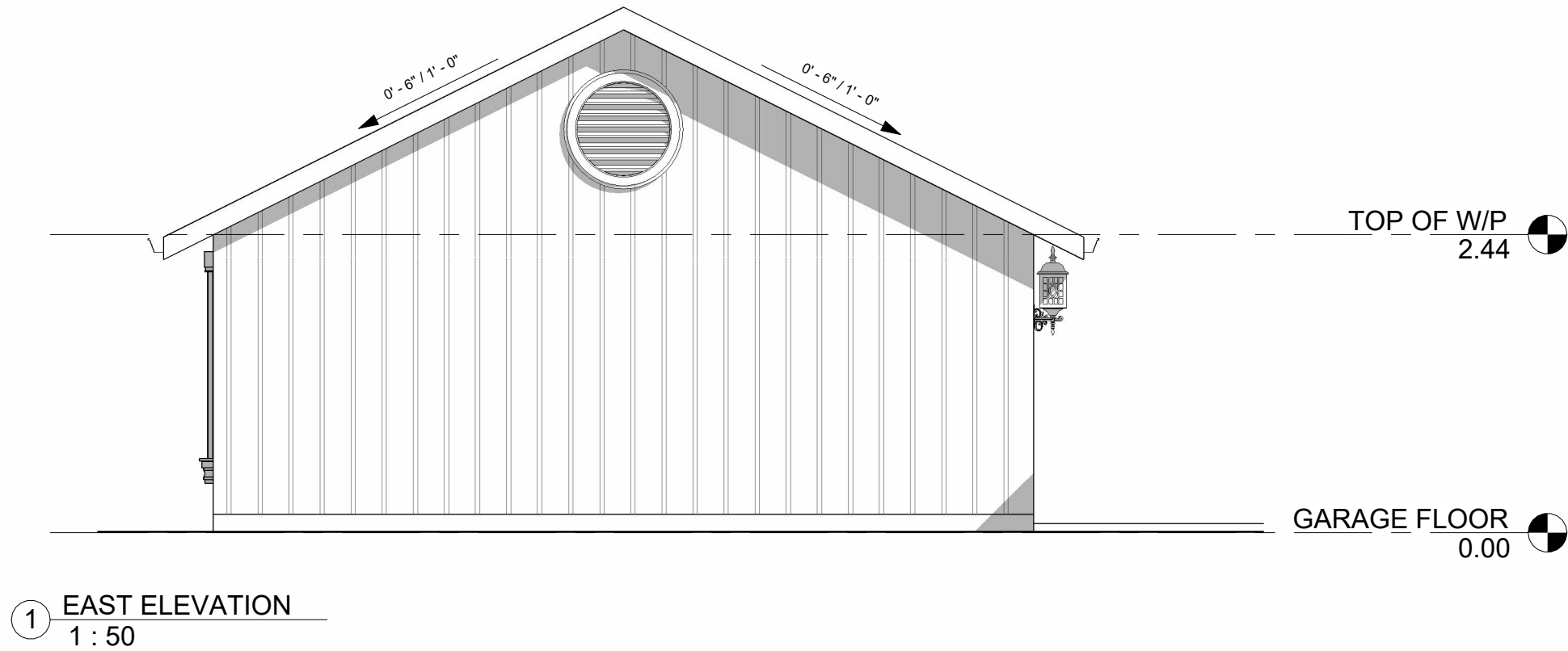
PROJECT STATUS:
MINOR VARIANCE

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CHECKED DE
DATE: JUNE 2024
SCALE: 1 : 50
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PROJECT NO:
2411484

SHEET TITLE
WEST ELEVATION

A1.4
SHEET OF



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 Email: pva@provisionarch.com
 14961 Yonge St. Unit B. Aurora, ON L4G 1M5



REVISION SCHEDULE

No.	Description	Date	By

PROJECT NAME:
 DETACHED GARAGE ADDITION TO:
7 JOHNSON RD.,

PROJECT ADDRESS:
 7 JOHNSON RD., AURORA, ON L4G 2A3

CLIENT'S NAME & ADDRESS:
 ERIC BIRKLAND
 JOHNSON RD., AURORA ON L4G 2A3

PROJECT STATUS:
MINOR VARIANCE

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CHECKED DE
DATE: JUNE 2024
SCALE: 1 : 50
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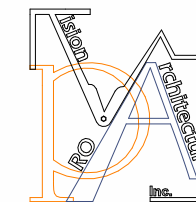
PROJECT NO:
2411484

SHEET TITLE
EAST ELEVATION

A1.5
 SHEET OF



1 NORTH ELEVATION
1 : 50



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 Email: pva@provisionarch.com
 14961 Yonge St. Unit B. Aurora, ON L4G 1M5



REVISION SCHEDULE

No.	Description	Date	By
-----	-------------	------	----

PROJECT NAME:
**DETACHED GARAGE ADDITION TO:
 7 JOHNSON RD.,**

PROJECT ADDRESS:
 7 JOHNSON RD., AURORA, ON L4G 2A3

CLIENT'S NAME & ADDRESS:
 ERIC BIRKLAND
 JOHNSON RD., AURORA ON L4G 2A3

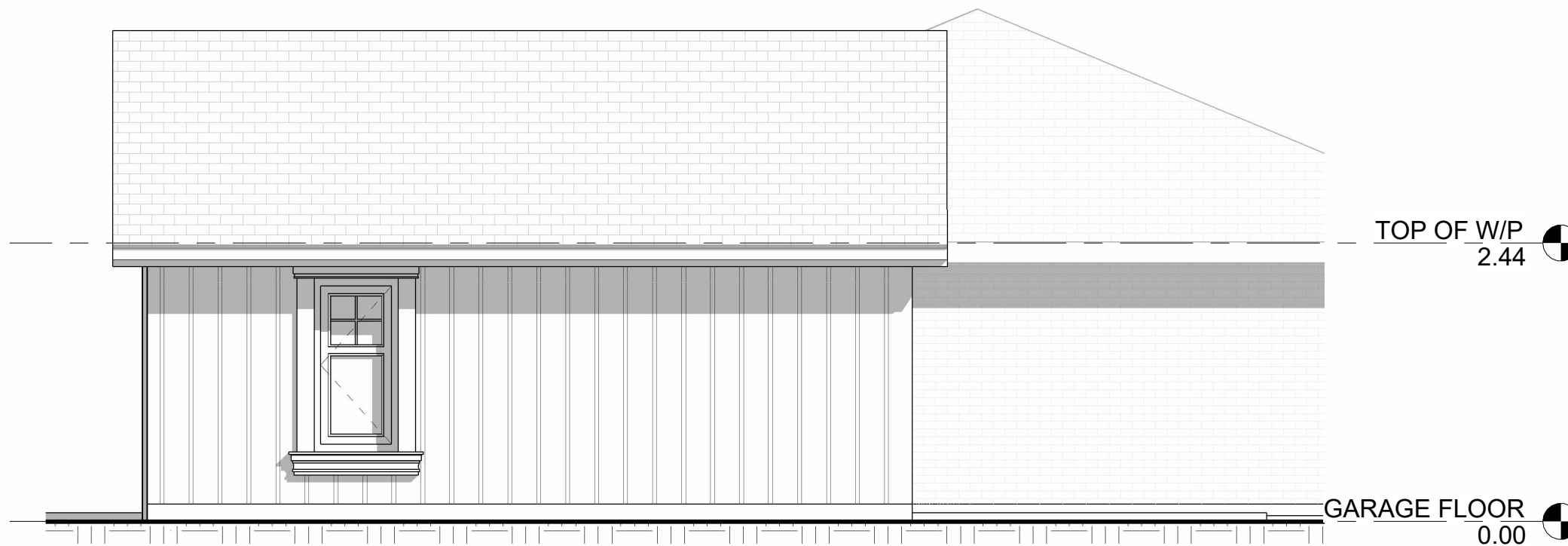
PROJECT STATUS:
MINOR VARIANCE

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 DATE: JUNE 2024
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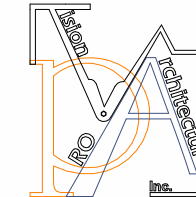
PROJECT NO:
2411484

SHEET TITLE
NORTH ELEVATION

A1.6
 SHEET OF



1 SOUTH ELEVATION
1 : 50



PRO VISION ARCHITECTURE INC.
 T:(416)800-6347 F:(416)800-9625
 Email: pva@provisionarch.com
 14961 Yonge St. Unit B. Aurora, ON L4G 1M5



REVISION SCHEDULE

No.	Description	Date	By
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PROJECT NAME: DETACHED GARAGE ADDITION TO: 7 JOHNSON RD.,	PROJECT ADDRESS: 7 JOHNSON RD., AURORA, ON L4G 2A3 CLIENT'S NAME & ADDRESS: ERIC BIRKLAND JOHNSON RD., AURORA ON L4G 2A3	PROJECT STATUS: MINOR VARIANCE
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 CHECKED DE
 DATE: JUNE 2024
 SCALE: 1 : 50
 COPYRIGHT:
 2024 PRO VISION ARCHITECTURE INC.

PROJECT NO:
2411484

SHEET TITLE
SOUTH ELEVATION

A1.7
 SHEET OF



100 John West Way
Aurora, Ontario
L4G 6J1
(905) 727-3123
aurora.ca

Town of Aurora
Committee of Adjustment Report
No. MV-2024-30

Subject: Minor Variance Application
David Butler
81 Tyler Street
PLAN 30 LOT 37
File: MV-2024-30

Prepared by: Antonio Greco, Senior Planner

Department: Planning and Development Services

Date: November 14, 2024

Application

The owner is requesting relief from the requirements of the Town's Comprehensive Zoning By-law 6000-17, as amended, to facilitate the construction of a two (2) storey detached garage and associate private driveway off George Street. The following relief is being requested:

- a) Section 4.1.2 (b) of the Zoning By-law permits a maximum height of 4.5 metres. The applicant is proposing a detached garage with a height of 6.2 metres.
- b) Section 5.6.1 (c) of the Zoning By-law states only one driveway access point shall be permitted for each residential lot. The applicant is proposing a second driveway access point on George Street.
- c) Section 5.6.1(a)(ii) of the Zoning By-law permits a maximum driveway width of 6.0 metres if the lot frontage is greater than or equal to 9.0 metres and less than 18.0 metres. The applicant is proposing a driveway width of 7.4 metres.

Background

Subject Property and Area Context

The subject property, municipally known as 81 Tyler Street, is located on the west side of George Street, in the southwest corner of the intersection of George Street and Tyler

Street. The subject property has an area of roughly 534.5 m² (5753.31 sq. ft) and a frontage of approximately 16.45 m (53.96 ft) on Tyler Street and 40.99 m (134.48 ft) on George Street. The existing property contains a two-storey single detached dwelling with driveway access off Tyler Street. An accessory shed is located in the southwest corner of the property, which will be removed as part of the proposed development.

Proposal

The owner proposes to construct a two (2) storey detached garage in the rear yard of the subject property. The proposed detached garage will also contain a private driveway access off George Street.

Bill 23 – the Mores Homes Built Faster Act

Bill 23 amended the Planning Act to permit additional residential units as-of-right across the province. The intent of the legislation is to assist the province in meeting planned minimum housing and density targets. Additional residential units are specifically seen as assisting with creating housing opportunities through the gentle intensification of traditionally lower density residential areas. Landowners are now permitted as-of-right to add additional residential units on properties containing a single detached dwelling, semi-detached dwelling, or a townhouse. The provincial additional residential unit framework under Bill 23 supersedes local official plans and zoning province wide for the use.

The proposed two (2) storey detached garage is designed in a manner that can also serve as an additional residential unit on the second floor, while also providing two (2) parking spaces on the proposed private driveway. The Town is able to regulate siting provisions such as setbacks but is strictly prohibited from regulating minimum unit sizes or requiring more than one parking space on the lot in connection with these units. The Town's Zoning By-law has not yet been updated to account for the province's new framework on additional residential units, and as such, some variances are technically required.

Official Plan

The subject lands are designated in the Town's Official Plan as "Stable Neighbourhoods". The intent of this designation is to ensure that residential neighbourhoods are protected from incompatible forms of development, while allowing neighbourhoods to be enhanced over time. Detached dwellings and additional residential units are permitted under this designation.

Zoning

The subject property is zoned “R3 – Detached Third Density Residential Zone” by Zoning By-law 6000-17, as amended, which permits single detached dwellings and additional residential units.

Preliminary Zoning Review

A Preliminary Zoning Review (PZR) has been completed by the Town of Aurora’s Building Division. The PZR identified the required variances and no other non-compliance was identified.

Applicant’s stated reason(s) for not complying with the Zoning By-law

As stated on the application form, “The existing house has no garage on the property. The owner would like a 2-vehicle enclosed garage with possibility of a secondary suite above ground level. This accessory building is proposed to replace an existing accessory building on the property that is not large enough to serve as a garage. The property faces two streets. A detached garage with access to George Street makes the most sense as there is considerable lot depth and the proposed location will fit harmoniously with both the owners property and adjacent properties.”

Planning Comments

Planning Staff have evaluated Minor Variance Application MV-2024-30 pursuant to the prescribed tests as set out in Section 45 (1) of the Planning Act, as follows:

a) The proposed variance meets the general intent of the Official Plan

The intent of the ‘Stable Neighbourhoods’ Official Plan designation is to ensure that residential neighbourhoods are protected from incompatible forms of development, while allowing the neighbourhoods to be enhanced over time. The designation permits ground oriented residential development, which includes single detached dwellings and additional residential units, and focuses on ensuring new development is designed in an appropriate and high-quality manner to enhance the streetscape.

Additional Official Plan policies also encourage a greater range and mix of housing, including through the promotion of gentle intensification. It is a primary objective of the Town’s Official Plan to encourage a broad range of housing sizes, densities, designs, tenures, and prices to meet the needs of current and future residents. The Official Plan specifically encourages innovative approaches to adding density and housing and

encourages units to be at a range of sizes, scales, and opportunities. The proposed detached garage is designed in a specific manner to function as a standard two car garage for the property owner, while also providing for the potential of an additional residential unit within the second floor. The subject property currently does not benefit from having a garage, therefore, through the proposed development, the overall function of the property will be enhanced and also provide for an additional residential unit.

The underlying priority is for new development to be introduced in a complementary manner, particularly from an architectural design and compatibility perspective. Staff are of the opinion that the requested variances will facilitate the construction of a two (2) storey detached garage that is designed in a manner that is of high-quality and that will enhance the local streetscape. Streetscape architectural elements, such as the distinctive limestone and the use of board and batten siding are compatible and complementary with the neighbourhood area.

Furthermore, staff are of the opinion that the requested variances is compatible with and generally in keeping with the low-density residential form and character of the neighbourhood. The proposed development will not result in any significant negative impact on the character and streetscape of the existing residential neighbourhood. Existing two-storey dwellings with enclosed and detached garages are already present in the surrounding neighbourhood.

As such, staff are of the opinion that the requested variance is in keeping with the general intent of the Official Plan.

b) The proposed variance meets the general intent of the Zoning By-law

The subject property is zoned "Detached Third Density Residential (R3) Zone," under Zoning By-law 6000-17, as amended. The intent of the zoning is to ensure that the streetscape and public realm are maintained with high-quality and compatible forms of development. A summary of the variances requested and how they meet the general intent of the Zoning By-law is as follows:

Maximum Building Height:

The intent of the building height provision for accessory structures is to ensure that accessory development does not dominate the primary structure or create an imbalance on the property. Furthermore, the implementation of the height provisions for accessory detached structures as found currently in the by-law was intended to accommodate more

traditional accessory structures like sheds and stand-alone garages, where heights were to be at a minimum and there was no habitability of the structures. As such, detached garages that also contain additional residential units on the second floor are technically classified as accessory structures, with a height limitation of 4.5 metres to the peak.

The proposed two (2) storey detached garage enables the wise use of land and serve to provide indoor parking for the existing single detached dwelling, while also providing driveway parking to serve the additional residential unit found on the second floor of the garage. The Zoning By-law again does not yet accommodate for this type of innovation in housing through the use of additional residential units and does not account for the height requirements that would be required to ensure the livability and functionality of the additional residential unit space.

The detached garage in the rear yard will be subordinate to that of the primary dwelling and are not anticipated to dominate the property, especially given the substantial lot depth, and that all other zoning provisions including for lot coverage and gross floor area are complied with. The maximum lot coverage permissible in the Zoning By-law for accessory structures is 15% and staff has confirmed that the proposed detached garage is to be 13%. Staff are of the opinion that the requested variance meets the intent of the Zoning By-law.

Maximum Driveway Width:

The intent of the maximum driveway width is to ensure adequate vehicular parking, access and manoeuvrability on-site. The proposed two (2) storey detached garage development requires a maximum driveway width of 7.4 metres, whereas the by-law permits a maximum driveway width of 6.0 metres. This results in an additional 1.4 metres of additional width to accommodate the proposed detached garage; however, the additional driveway width is not at the street frontage but rather internal on site.

The Zoning By-law provision is generally intended to regulate driveway widths at the street to ensure consistency along the public realm. This is not a concern, as the width subject to the variance is internal on site and allows for appropriate parking and manoeuvrability. The proposed development will require the removal of one tree, which is situated right in the middle of the driveway. The appropriate conditions of approval have been implemented by the Parks Department, to ensure any tree removals on site are evaluated appropriately. Staff are of the opinion that the requested variance meets the intent of the Zoning By-law.

Maximum Driveway Access Points:

The intent of Section 5.6.1 (c) of the Zoning By-law is to limit the maximum number of driveways to one (1) for lots that have a lot frontage of less than 25 metres. The overall purpose of this section is to ensure a uniform streetscape that is not predominantly dominated by private driveways. In the opinion of staff, the proposed driveway location is adequate in serving the proposed detached garage, while maintaining a uniform streetscape along George Street. The proposed driveway entrance will generally be in line with the property directly across located at 67 George Street and continue the uniform streetscape presence along George Street.

Furthermore, the subject property currently maintains an existing private driveway on the west side of the single detached dwelling with access off Tyler Street. The existing driveway cannot serve the proposed detached garage and would require significant hardscape paving which in the opinion of staff, can alter stormwater management and drainage on the subject property. Therefore, the proposed additional access driveway off George Street is appropriate and sufficient to serve the proposed detached garage.

The Town's Traffic Engineer and Public Works Department have also reviewed the minor variance application with no objections to the application. Overall, it is the opinion of staff that the proposed variance is considered desirable for the appropriate development of the land.

c) The proposed variance is considered desirable for the appropriate development of the land

As discussed above, staff are satisfied the proposal adequately responds to Official Plan criteria for new development within the Stable Neighbourhood designation, while also providing enhanced functionality through the use of a detached garage, which is not currently present on the subject property. Furthermore, the proposed development will also provide for the potential of critical new and attainable housing opportunities for the local community. The architectural design of the proposed detached garage complements the streetscape and enhances the urban design of the neighbourhood by providing the wise use and management of land within the urban boundary. The gentle intensification as proposed aligns with the direction of the province under Bill 23.

Staff are satisfied that the location of the proposed driveway will not impact the adjacent property and local traffic. The Town's Traffic Engineering Division have reviewed the application and have no objection. The proposed second driveway location is at an adequate distance from the George Street and Tyler Street intersection which is a designated four-way stop.

The appropriate conditions of approval have also been developed, including for the need to obtain a Road Occupancy Permit, Curb Cut Permit, Site Servicing Plan and to ensure any tree removals are evaluated.

Overall, it is the opinion of staff that the proposed variances are considered desirable for the appropriate development of the land.

d) The proposed variance is considered minor in nature

In the opinion of staff, the requested variances are considered to be minor and are not expected to have any significant adverse effects on the subject property, neighbouring properties, or the overall streetscape. The proposal is designed to implement a mixture of modern/classic architectural elements and feature high quality materiality. Adjacent and surrounding properties have also been subject to alteration/redevelopment to larger detached homes and associated garages.

Staff are of the opinion that the proposed development will not create any impacts related to overlook and privacy to the neighbouring property. The proposed detached garage only provides for two (2) windows along the southern end of the structure, one window on the first floor, that serves as vehicular parking for the owner and the second window on the second floor that serves as an additional residential unit.

Mature vegetation is also present along the southern property line of the adjacent property to the rear, which will assist in providing buffering and screening. One tree is proposed to be removed as a result of the subject application, but an Evaluation Report will be required to be prepared to ensure appropriate tree protection including during construction.

The proposed detached garage and associate private driveway conforms to all other applicable zoning provisions, and staff are of the opinion that the proposed relief from the maximum height provision, maximum driveway width and additional driveway will not result in overdevelopment of the site or any negative impacts.

As such, staff are of the opinion that the requested variance is minor in nature.

Additional Comments

The minor variance application was circulated to Town Department/Divisions and to external agencies for review and comment. The following comments were provided:

Department or Agency	Comments
Building Division	Preliminary Zoning Review was completed. No objections.
Engineering Division	No objections, subject to conditions.
Operational Services (Parks)	No objections, subject to conditions.
Operational Services (Public Works)	No objections, subject to conditions.
Central York Fire Services	No objections.
York Region	No objections.
LSRCA	No objections.
Alectra	No objections

Public Correspondence

Written submissions were not received at the time of writing of this report. Should additional written submissions be received after the writing of this report, the Secretary Treasurer will provide the submission(s) to Committee members at the meeting.

Conclusion

Planning staff have reviewed the application regarding Section 45 (1) of the Planning Act, R.S.O, 1990, c.P.13, as amended, and believe that the requested variance meets the four tests of the Planning Act for granting minor variances. Staff recommend approval of the requested variance subject to the conditions outlined in Appendix 'A'.

Attachments

Appendix 'A' – Recommended Conditions of Approval

Appendix 'B' – Site Plan and Elevations

Appendix 'A' – Conditions of Approval

Planning and Development Services

1. That the variance only applies to the subject property in conformity with the plans attached as 'Appendix B' to this Staff Report, to the satisfaction of the Director of Planning and Development Services or designate.

Operational Services – Parks Division

2. That the owner shall be required to provide an Evaluation Report prepared by a Certified Arborist or Professional Registered Forester outlining all aspects of the impacts that this proposal will have on existing trees. The report shall include the following:
 - a. An assessment of existing trees (5cm trunk diameter and greater) by size, species and condition including trees on adjacent properties whose structure or root zone may be impacted by construction.
 - b. Identification of all tree injuries and tree removals, if any.
 - c. Identification of all tree protection measures including recommendations on the mitigation of negative effects to trees during and post construction, including applicable maintenance requirements.
 - d. Provision of monitoring of the site work through a series of site visits by the Arborist/Forester to ensure protection/preservation measures remain in compliance throughout the duration of the project.
 - e. Monitoring shall occur
 - i. at commencement of work to certify all tree protection measures are in place,
 - ii. during site work to confirm protection measures are in place and to oversee arboricultural works as required, and
 - iii. post construction assessment. Each site visit is to be documented and any resulting action items required by the Arborist /Forester shall be implemented and confirmed on site forthwith by the Arborist /Forester following each visit.
 - iv. A monetary evaluation in accordance with the Town's Tree Compensation Policies for all trees designated to be removed.

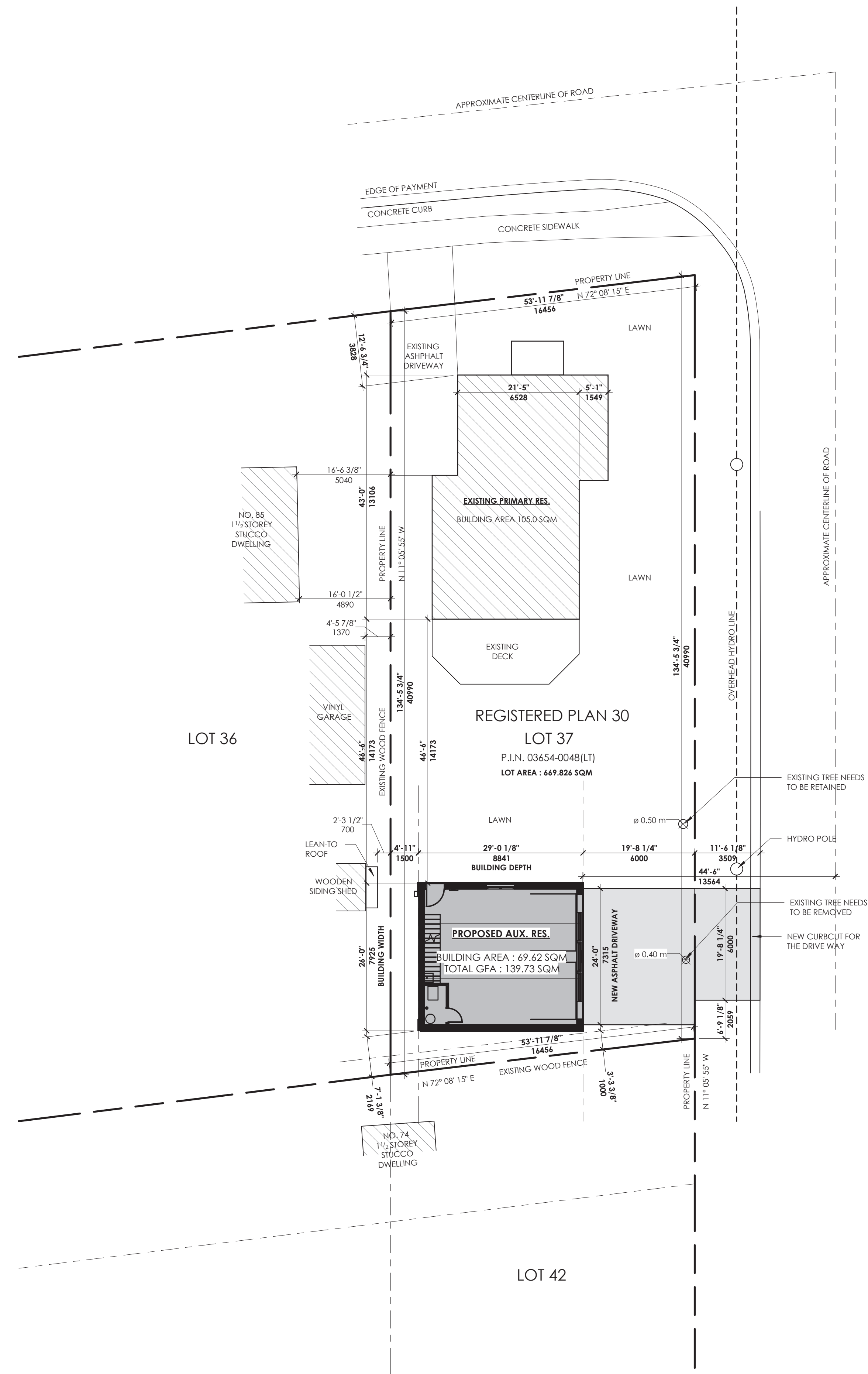
3. The Owner shall be required to provide a tree compensation and a replanting plan in accordance with the Town of Aurora Tree Compensation Policies to the satisfaction of the Director of Operational Services as compensation for trees removed to facilitate construction. Compensation planting shall be completed prior to release of the financial securities.
4. The owner shall agree to comply with the Aurora Tree Permit By-law # 5850 -16 prior to the removal of any trees on the property.
5. The owner shall be required to provide financial securities based on the total value of the Tree Compensation evaluation and all Arboriculture works as defined by the Town and the Owner's Arborist/ Forester, to the satisfaction of the Director of Operational Services.
6. All the above shall be included as terms and conditions in a Letter of Undertaking with the Town of Aurora to guarantee compliance with the Conditions of Approval and all related site works.

Operational Services – Public Works

7. That the Owner obtain a Road Occupancy Permit through Public Works.
8. That the Owner obtain a Curb Cut Permit through Public Works.

Engineering & Capital Delivery Division

9. That the Owner prepare and submit a site servicing plan showing the proposed and existing servicing. The external servicing within the drawing shall comply with the Town's Design Criteria Manual.



02 SITE PLAN
1 : 150

No.	Description	Date
3	REV. FOR MV	24.09.27
2	REV. FOR PZR	24.09.18
1	OWNER REVIEW	24.08.26

IT IS THE RESPONSIBILITY OF THE APPROPRIATE CONTRACTOR TO CHECK AND VERIFY ALL DIMENSIONS ON SITE AND REPORT ALL ERRORS AND OR OMISSIONS TO THE ARCHITECT.

ALL CONTRACTORS MUST COMPLY WITH ALL PERTINENT CODES AND BY-LAWS.

DO NOT SCALE DRAWINGS.

THIS DRAWING MAY NOT BE USED FOR CONSTRUCTION UNTIL SIGNED.

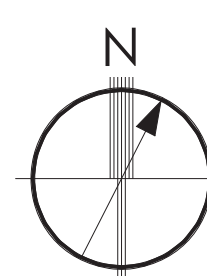
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CSPACE ARCHITECTURE



58-8841 GEORGE BOLTON PKWY, BOLTON, ON L7E 2X8
T: 647.588.1784 E: info@cspace.ca

NORTH



ONTARIO ASSOCIATION OF ARCHITECTS
CHRISTOPHER CLARKE PRETTO LICENSE 6706

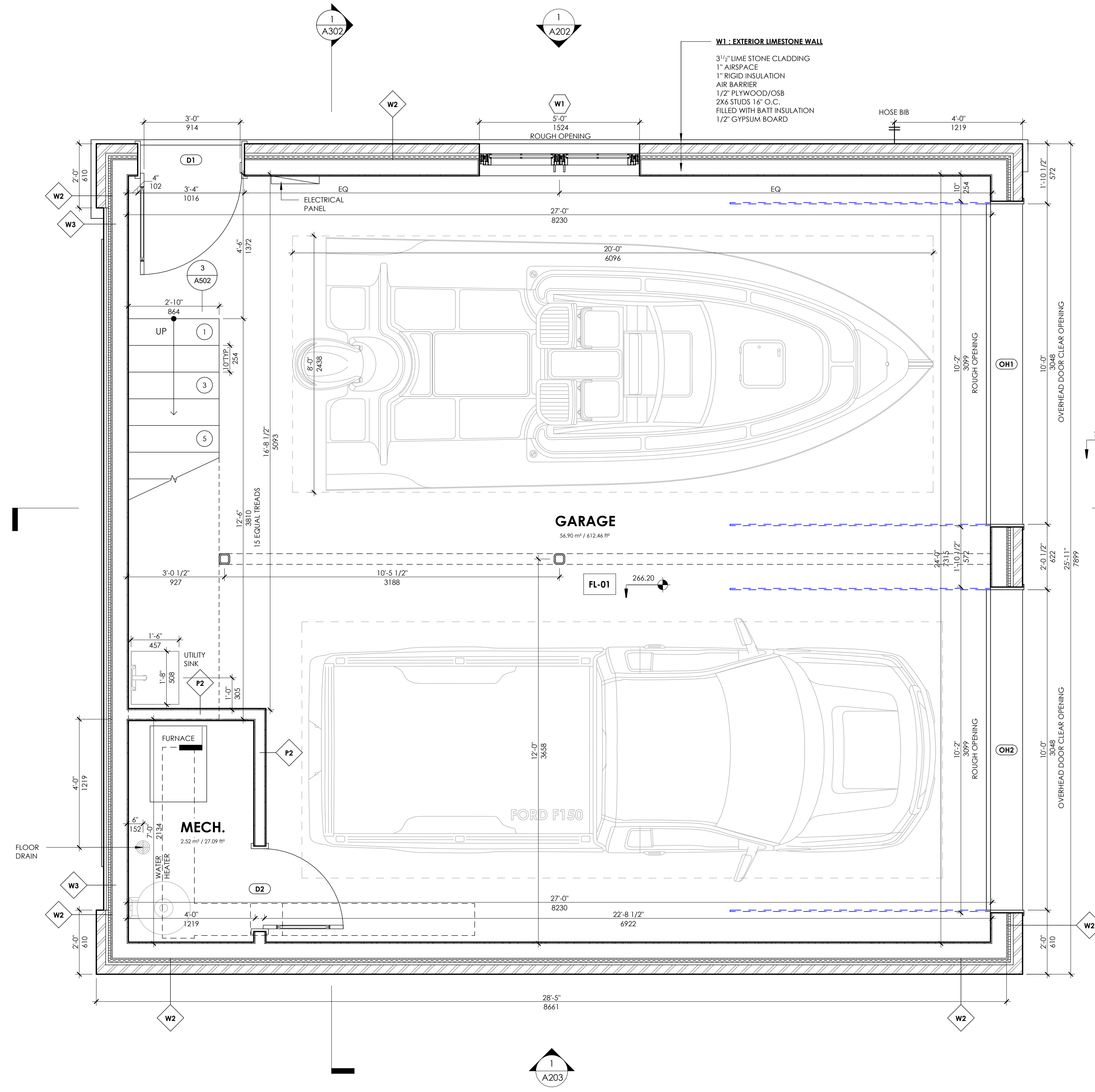
PROJECT
ACCESSORY DWELLING

81 TYLER STREET, AURORA

DRAWING TITLE
SITE PLAN

SCALE As indicated	PROJECT NO. 24-1889
DRAWN BY SE	APPROVED CP
	DATE 24.09.27

DRAWING NO.
A005



PARTITION PLAN GENERAL NOTES

LOCATE ALL DOOR JAMBS 4" FROM CORNER WALL, UNLESS NOTED OTHERWISE.

UNLESS OTHERWISE INDICATED, DIMENSIONS FOR ALL NEW PARTITIONS ARE MEASURED TO THE EDGE OF WALL STUDS.

UNLESS OTHERWISE INDICATED, DIMENSIONS FOR ALL EXISTING PARTITIONS ARE TO THE FINISHED FACE.

GENERAL CONTRACTOR TO BECOME FAMILIAR WITH ALL SITE CONDITIONS AFFECTING CONSTRUCTION.

PRIOR TO PRICING, ANY ELEMENTS IN CONFLICT WITH THE WORKING DRAWINGS ARE TO BE VERIFIED WITH THE DESIGNER.

CONTRACTOR TO PROTECT ALL EXISTING FINISHES TO REMAIN FROM DAMAGE DURING NEW CONSTRUCTION.

COORDINATE ALL DOOR ROUGH OPENINGS WITH DOOR FRAME SCHEDULE AND REVIEWED SHOP DRAWINGS. REFER TO DOOR FRAME & HARDWARE SCHEDULES FOR DOOR DETAIL REFERENCES.

ALL PARTITIONS ARE TO BE CHALKED ON SITE AND APPROVED BY DESIGN CONSULTANT PRIOR TO CONSTRUCTION.

ALL PARTITIONS ARE TO BE FINISHED DOWN TO FLOOR LINE TO ENSURE SMOOTH AND EVEN APPLICATION OF WALL BASE.

APPLY CEMENT BOARD WHERE NOTED ON DWGS. AND ON WALLS ADJACENT TO SINKS IN WASHROOMS.

PROVIDE BLOCKING FOR ANY AND ALL MILLWORK, CEILING SUSPENDED ITEMS AND WHERE APPARENT LOADING IS PRESENT AND/OR AS REQUIRED TO COMPLETE THE WORK.

UNLESS OTHERWISE SHOWN, ALL ANGLES ARE 90 DEGREES OR 45 DEGREES TO THE BASE BUILDING GRID.

PROVIDE SOUND INSULATION WITHIN INDUCTION UNITS WHERE PARTITIONS MEET WINDOW MULLIONS.

ALL NEW DOOR OPENERS SHALL BE LEVER TYPE OPENERS. ALL NEW DOOR SELF-CLOSERS SHALL BE LOW FORCE AND SLOW TYPE.

ALL CABINET MILLWORK TO BE SHOP FINISHED. MILLWORK BY OTHERS.

SUBMIT 3 SETS OF SHOP DRAWINGS SHOWING CONSTRUCTION/ASSEMBLY DETAILS FOR ALL DOORS AND FRAMES TO DESIGN CONSULTANT FOR REVIEW PRIOR TO FABRICATION AND ORDERING OF MATERIALS.

DURING CONSTRUCTION, GENERAL CONTRACTOR MUST ENSURE ACCESS TO ALL SERVICE DOORS AT ALL TIMES FOR LANDLORD STAFF. DOORS MAY NOT BE BLOCKED.

PARTITION PLAN LEGEND

- XXX DENOTES ROOM OR AREA NUMBER
- BB DENOTES 'BASE BUILDING'
- CCD DENOTES 'CRITICAL CLEAR DIMENSION' REQUIRED
- AFF DENOTES 'ABOVE FINISHED FLOOR'
- JSM DENOTES 'JOB SITE MEASUREMENT'
- GWB DENOTES 'GYPSUM WALLBOARD'
- SIM DENOTES 'SIMILAR'
- MIN DENOTES 'MINIMUM'
- A DENOTES 'ALIGN'
- F DENOTES 'FLUSH'
- ==== DENOTES EXISTING PARTITION TO REMAIN
- ==== DENOTES NEW PARTITION
- ==== DENOTES LOCATION OF BLOCKING IN PARTITION
- XXX DENOTES DOOR NUMBER
- EXXX DENOTES EXISTING DOOR NUMBER
- XX DENOTES WALL/CURTAIN WALL TYPE
- XX DENOTES GLAZING PANEL, FRAME AND DETAIL NUMBER

No.	Description	Date
2	REV. FOR P2R	24.09.18
1	OWNER REVIEW	24.08.26

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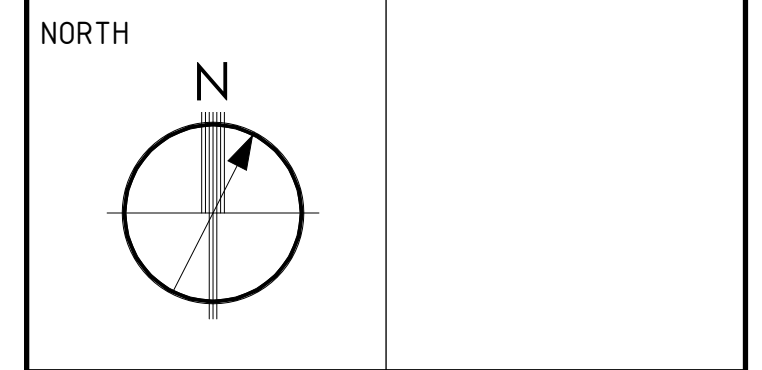
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PROJECT
ACCESSORY DWELLING

81 TYLER STREET, AURORA

DRAWING TITLE
GROUND FLOOR PLAN

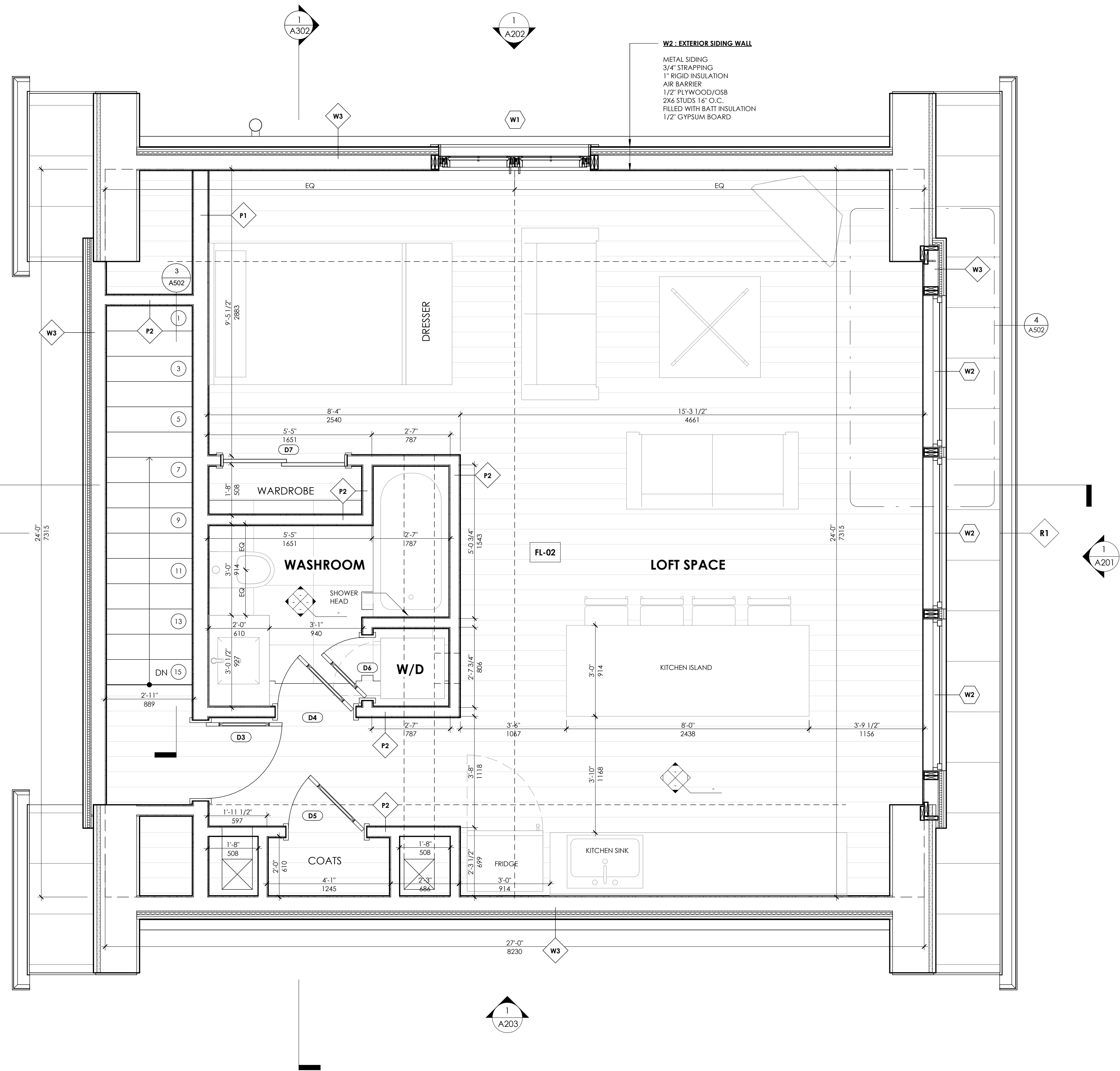
SCALE: As indicated PROJECT NO.: 24-1889

DRAWN BY: SE APPROVED: CP DATE: 24.09.18

DRAWING NO.:

A101

04 GROUND FLOOR PLAN
1/2" = 1'-0"



05 SECOND FLOOR PLAN
 1/2" = 1'-0"

No.	Description	Date
2	REV. FOR P2R	24.09.18
1	OWNER REVIEW	24.08.26

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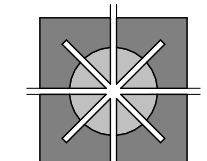
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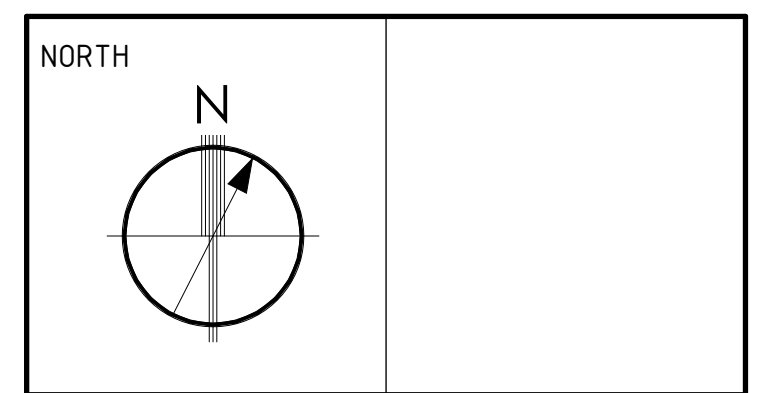
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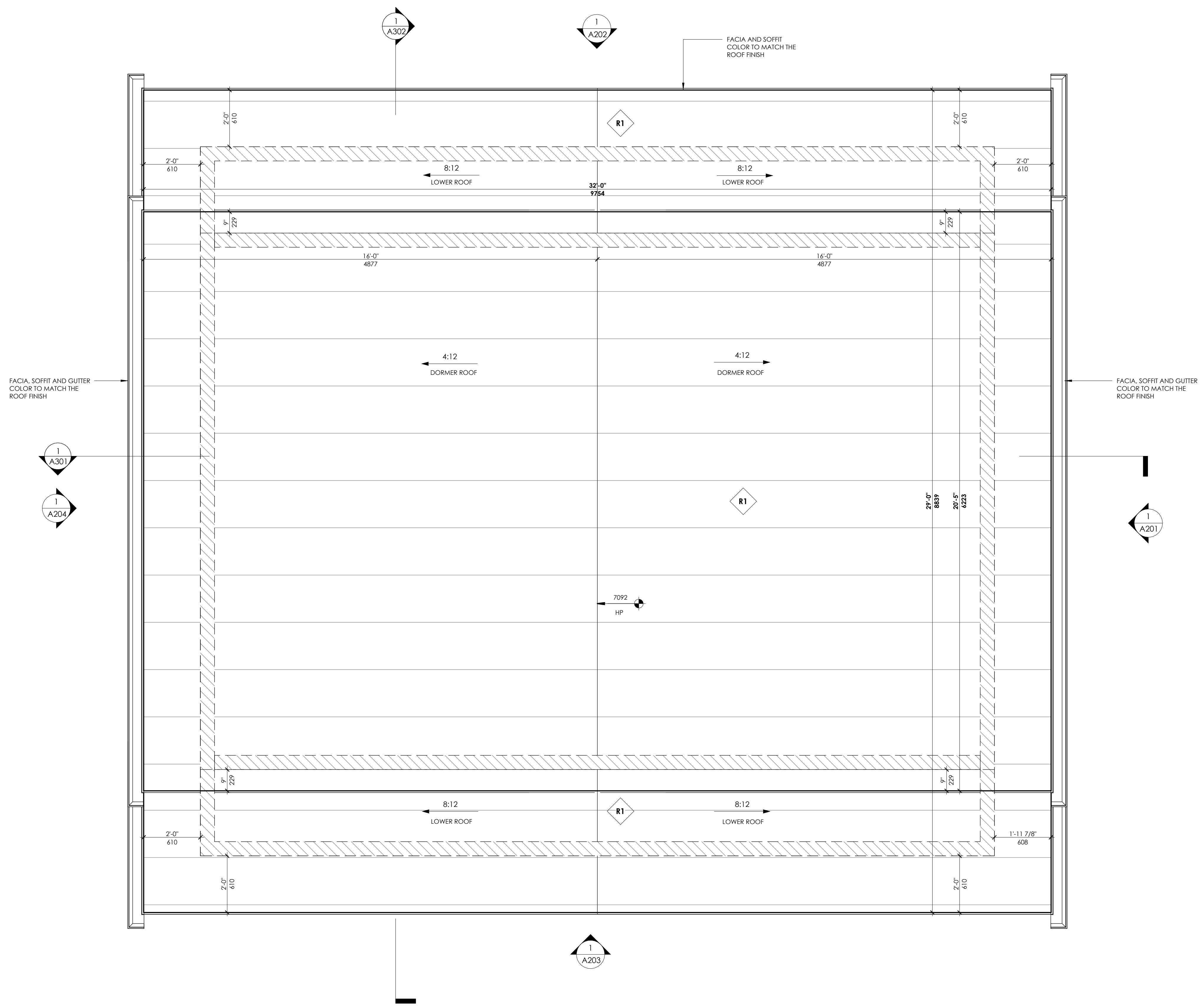


PROJECT
ACCESSORY DWELLING
 81 TYLER STREET, AURORA

DRAWING TITLE
SECOND FLOOR PLAN

SCALE 1/2" = 1'-0"	PROJECT NO. 24-1889
DRAWN BY SE	APPROVED CP
	DATE 24.09.18

DRAWING NO.
A102



06 ROOF PLAN
1/2" = 1'-0"

No.	Description	Date
2	REV. FOR P2R	24.09.18
1	OWNER REVIEW	24.08.26

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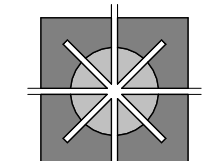
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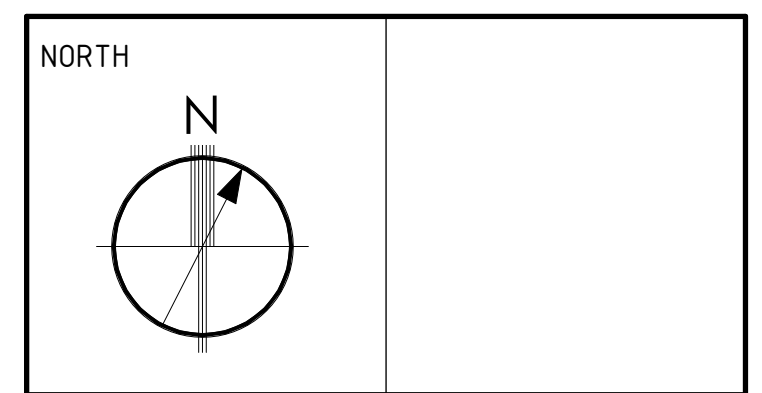
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PROJECT
ACCESSORY DWELLING

81 TYLER STREET, AURORA

DRAWING TITLE
ROOF PLAN

SCALE
1/2" = 1'-0"

PROJECT NO.
24-1889

DRAWN BY
JK

APPROVED
CP

DATE
24.09.18

DRAWING NO.

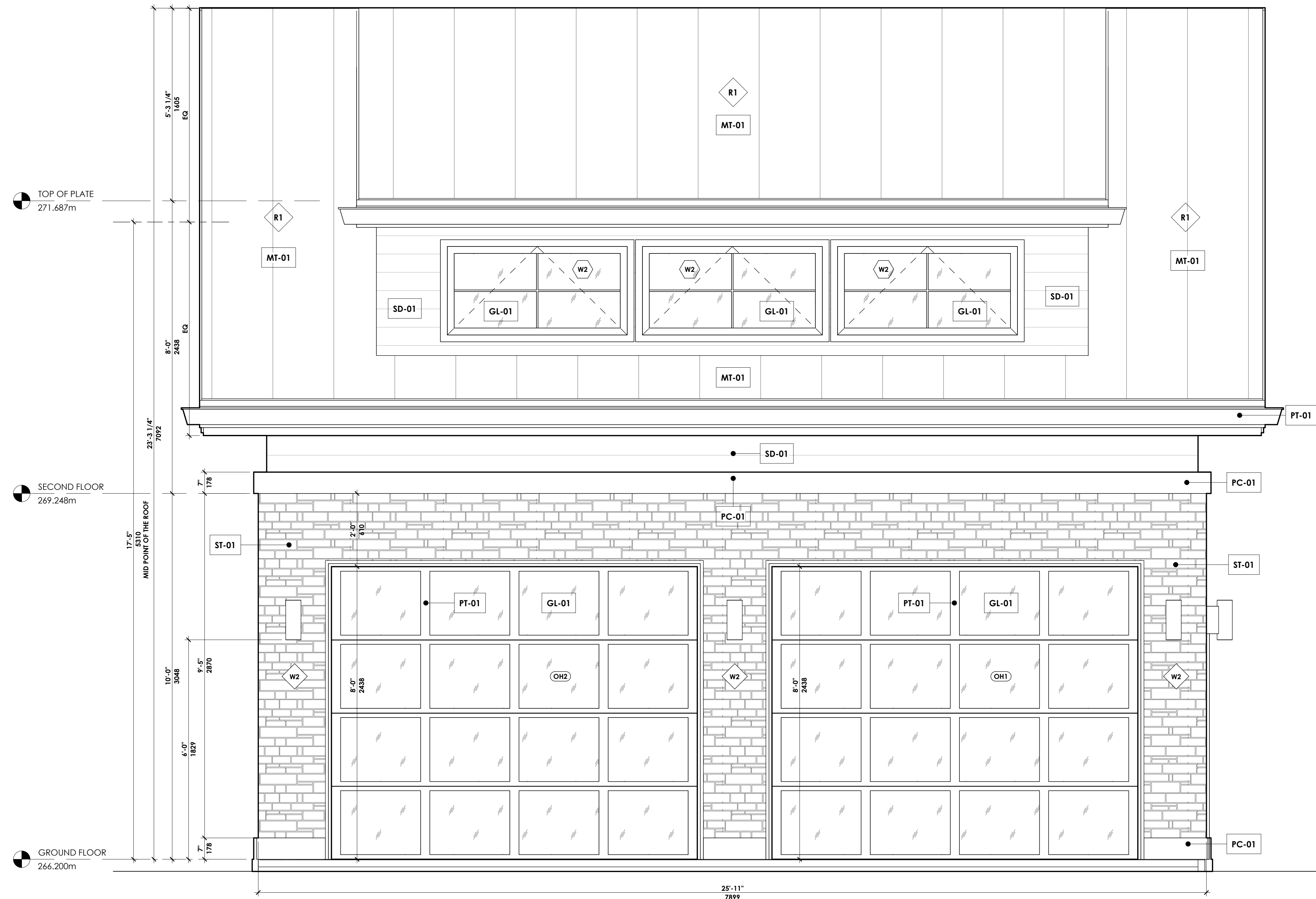
A104

EAST ELEVATION UNPROTECTED OPENINGS CALCULATION

EXPOSED BUILDING FACE	: 41.08 SQM
7.9(L) X 6.8(H)	: 1.1 : 1
LIMITING DISTANCE	: 13.5 M
UNPROTECTED OPENINGS	: 19.32 SQM
% OF UNPROTECTED OPENINGS	: 47.0%
MAX ALLOWED % OF UNPROTECTED OPENINGS	: 100%

MATERIAL LEGEND

GL-01	: CLEAR GLAZING
PT-01	: PAINTED FINISH - RAL 7024 - GRAPHITE GREY
MT-01	: METAL ROOF, VIC. WEST PRESTEGE OR APPROVED EQUIV. - CHARCOAL - 56072 (26G)
PC-01	: PRECAST CONCRETE FINISH
SD-01	: LAP SIDING - JAMES HARDIE ARTISAN SIDING OR APPROVED EQUIV. - IRON GREY
ST-01	: LIMESTONE CLADDING - MANITOBA TYNDALL STONE



FRONT ELEVATION - EAST
1 : 20

No.	Description	Date
2	REV. FOR P2R	24.09.18
1	OWNER REVIEW	24.08.26

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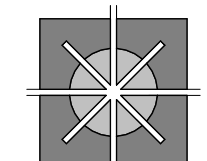
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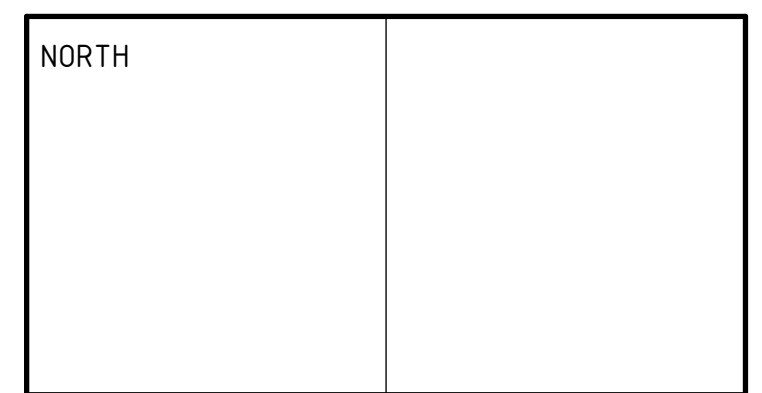
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PROJECT
ACCESSORY DWELLING

81 TYLER STREET, AURORA

DRAWING TITLE
ELEVATION - FRONT - EAST

SCALE 1 : 20	PROJECT NO. 24-1889	
DRAWN BY JK	APPROVED CP	DATE 24.09.18

DRAWING NO.
A201

NORTH ELEVATION UNPROTECTED OPENINGS CALCULATION

EXPOSED BUILDING FACE	: 59.84 SQM
8.8(L) X 6.8(H)	: 1.3 : 1
LIMITING DISTANCE	: 14.1 M
UNPROTECTED OPENINGS	: 5.5 SQM
% OF UNPROTECTED OPENINGS	: 9.1%
MAX ALLOWED % OF UNPROTECTED OPENINGS	: 100%

MATERIAL LEGEND

- GL-01 : CLEAR GLAZING
- PT-01 : PAINTED FINISH - RAL 7024 - GRAPHITE GREY
- MT-01 : METAL ROOF, VIC WEST PRESTIGE OR APPROVED EQUIV. - CHARCOAL - 56072 (26G)
- PC-01 : PRECAST CONCRETE FINISH
- SD-01 : LAP SIDING - JAMES HARDIE ARTISAN SIDING OR APPROVED EQUIV. - IRON GREY
- ST-01 : LIMESTONE CLADDING - MANITOBA TYNDALL STONE



SIDE ELEVATION - PRIM. RES. - NORTH
1 : 20

No.	Description	Date
2	REV. FOR P2R	24.09.18
1	OWNER REVIEW	24.08.26

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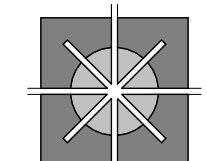
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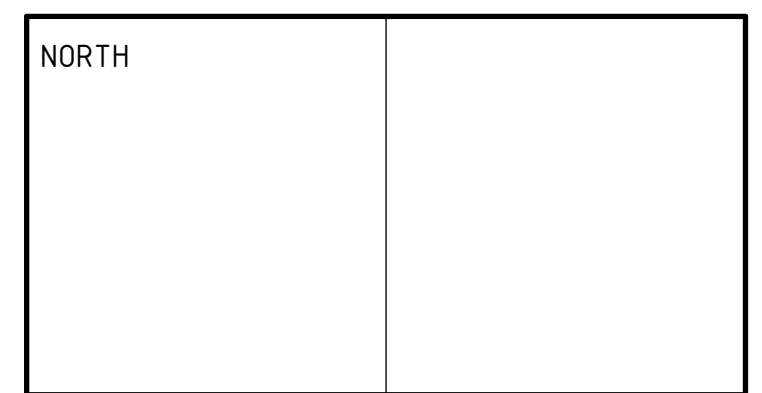
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PROJECT
ACCESSORY DWELLING

81 TYLER STREET, AURORA

DRAWING TITLE
ELEVATIONS - NORTH SIDE

SCALE 1 : 20	PROJECT NO. 24-1889
DRAWN BY JK	APPROVED CP
	DATE 24.09.18

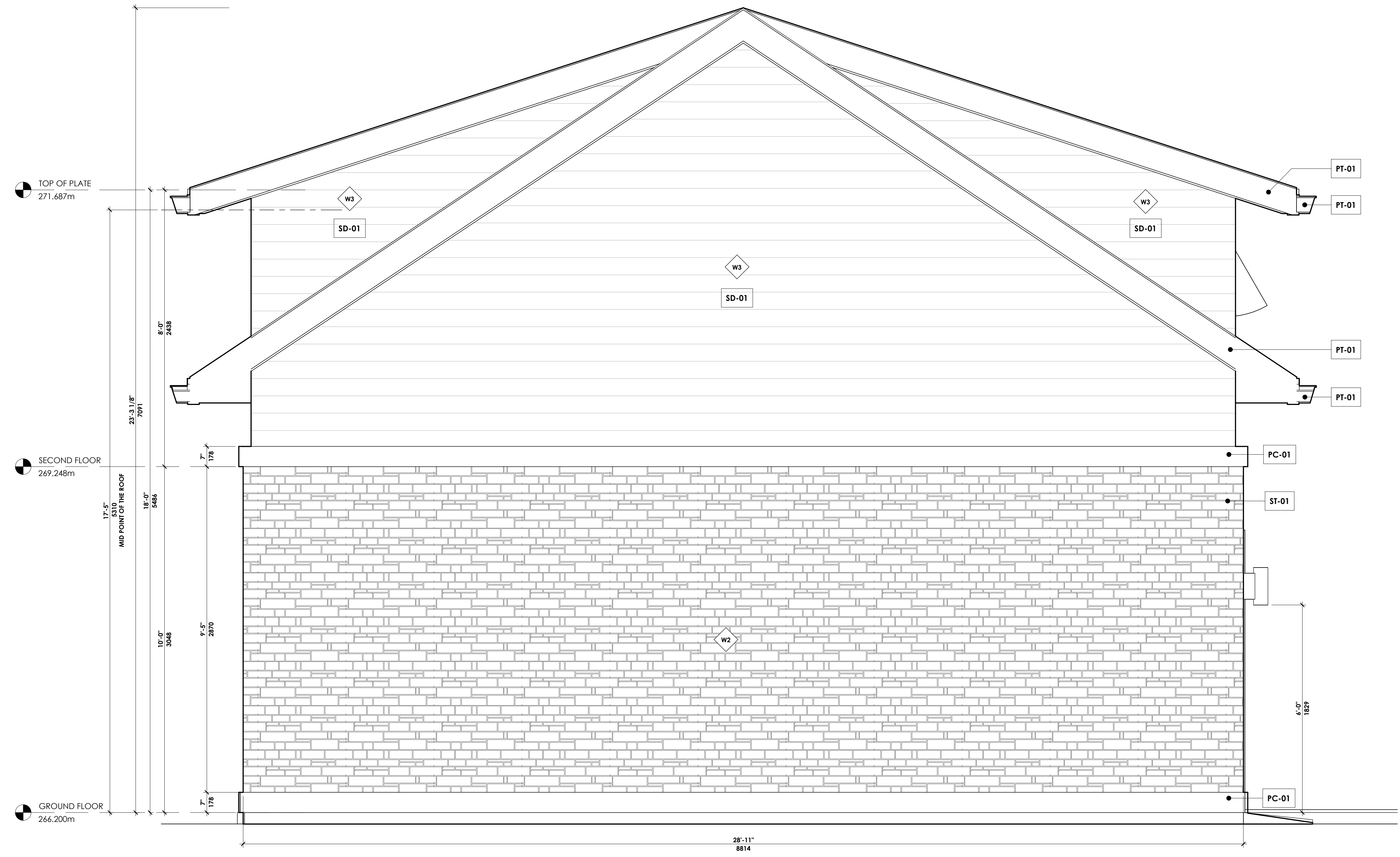
DRAWING NO.
A202

NORTH ELEVATION UNPROTECTED OPENINGS CALCULATION

EXPOSED BUILDING FACE	: 59.84 SQM
8.8(L) X 6.8(H)	: 1.3 : 1
LIMITING DISTANCE	: 1.5 M
UNPROTECTED OPENINGS	: 0.0 SQM
% OF UNPROTECTED OPENINGS	: 0.0%
MAX ALLOWED % OF UNPROTECTED OPENINGS	: 8.0%

MATERIAL LEGEND

GL-01	: CLEAR GLAZING
PT-01	: PAINTED FINISH - RAL 7024 - GRAPHITE GREY
MT-01	: METAL ROOF - VIC WEST PRESTIGE OR APPROVED EQUIV. - CHARCOAL - 56072 (26G)
PC-01	: PRECAST CONCRETE FINISH
SD-01	: LAP SIDING - JAMES HARDIE ARTISAN SIDING OR APPROVED EQUIV. - IRON GREY
ST-01	: LIMESTONE CLADDING - MANITOBA TYNDALL STONE



SIDE ELEVATION - EXT. SIDE - SOUTH
1 : 20

No.	Description	Date
2	REV. FOR PZR	24.09.18
1	OWNER REVIEW	24.08.26

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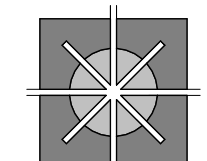
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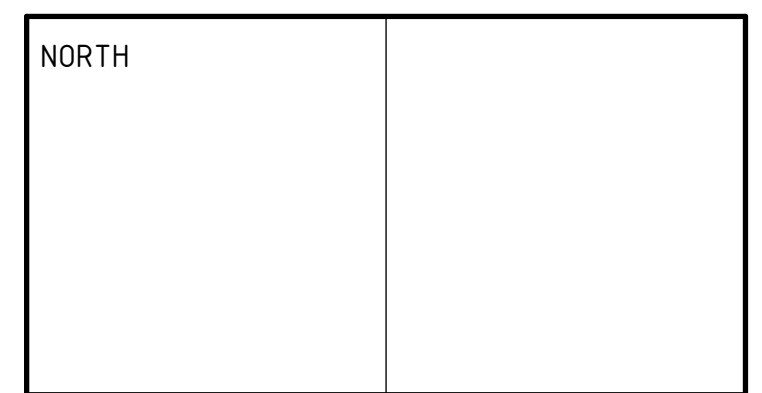
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PROJECT
ACCESSORY DWELLING

81 TYLER STREET, AURORA

DRAWING TITLE
ELEVATIONS - SOUTH SIDE

SCALE 1 : 20	PROJECT NO. 24-1889	
DRAWN BY JK	APPROVED CP	DATE 24.09.18

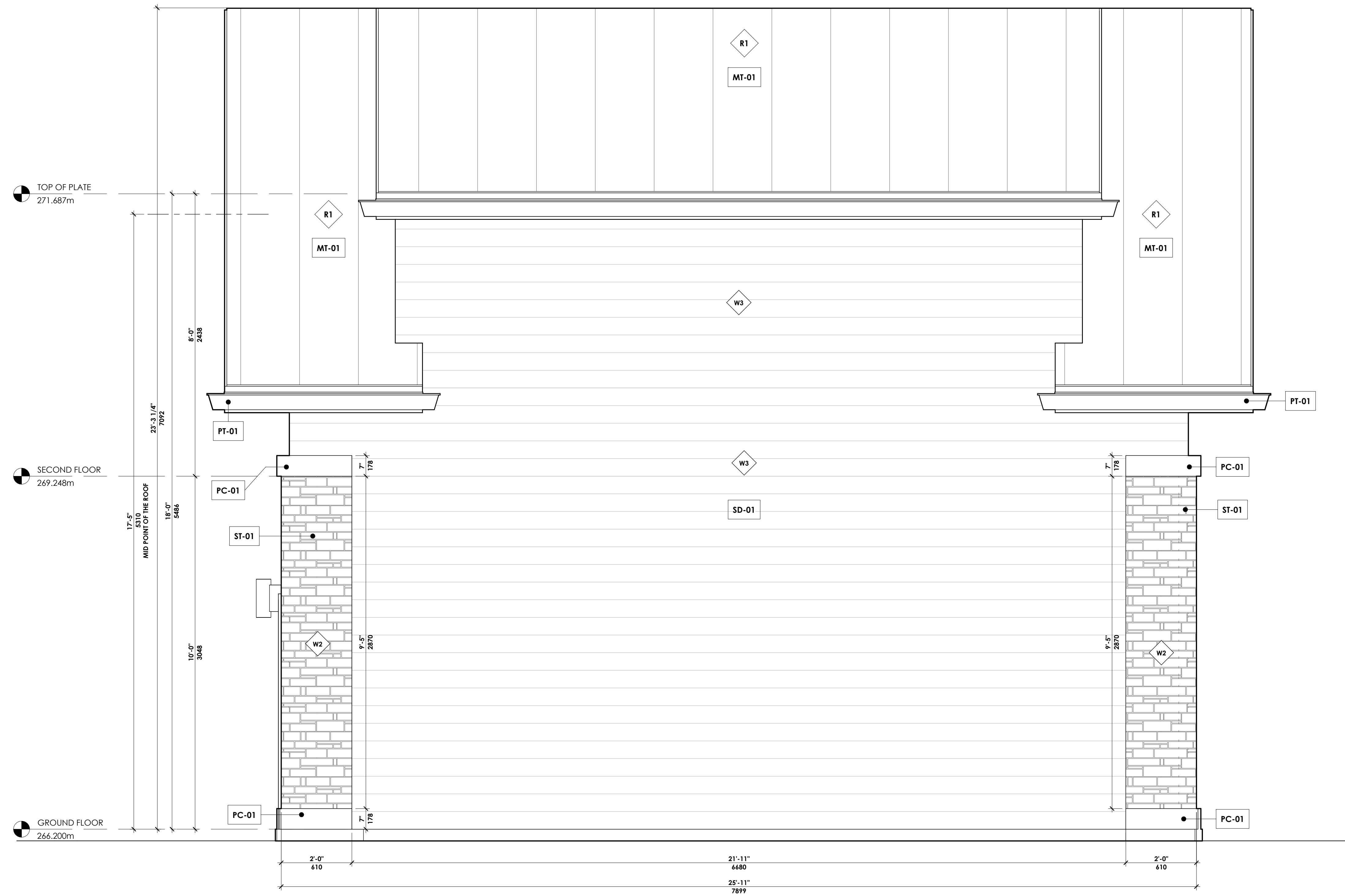
DRAWING NO.
A203

EAST ELEVATION UNPROTECTED OPENINGS CALCULATION

EXPOSED BUILDING FACE	: 41.08 SQM
7.9'(L) X 6.8'(H)	: 1.1 : 1
LIMITING DISTANCE	: 1.5 M
UNPROTECTED OPENINGS	: 0.0 SQM
% OF UNPROTECTED OPENINGS	: 0.0%
MAX ALLOWED % OF UNPROTECTED OPENINGS	: 8%

MATERIAL LEGEND

GL-01	: CLEAR GLAZING
PT-01	: PAINTED FINISH - RAL 7024 - GRAPHITE GREY
MT-01	: METAL ROOF, VIC. WEST PRESTIGE OR APPROVED EQUIV. - CHARCOAL - 56072 (26G)
PC-01	: PRECAST CONCRETE FINISH
SD-01	: LAP SIDING - JAMES HARDIE ARTISAN SIDING OR APPROVED EQUIV. - IRON GREY
ST-01	: LIMESTONE CLADDING - MANITOBA TYNDALL STONE



REAR ELEVATION - WEST
1 : 20

No.	Description	Date
2	REV. FOR P2R	24.09.18
1	OWNER REVIEW	24.08.26

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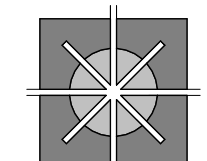
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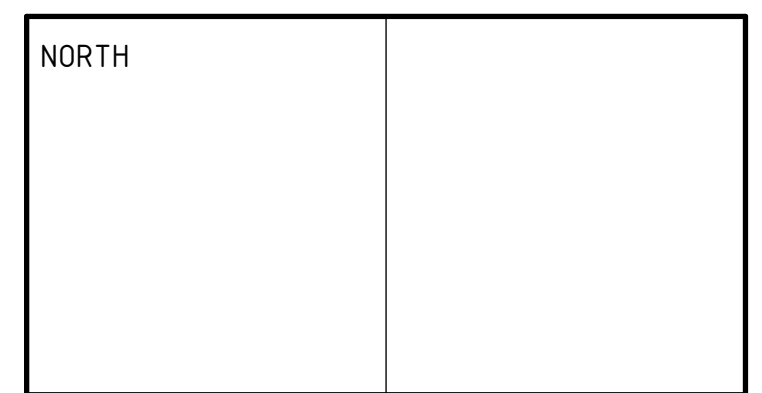
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PROJECT
ACCESSORY DWELLING

81 TYLER STREET, AURORA

DRAWING TITLE
ELEVATION - REAR - WEST

SCALE 1 : 20	PROJECT NO. 24-1889
DRAWN BY JK	APPROVED CP
	DATE 24.09.18

DRAWING NO.
A204



No.	Description	Date
2	REV. FOR P2R	24.09.18
1	OWNER REVIEW	24.08.26

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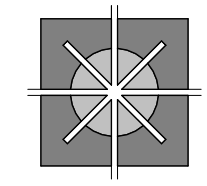
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NORTH

PROJECT
ACCESSORY DWELLING

81 TYLER STREET, AURORA

DRAWING TITLE
3D RENDERINGS

SCALE PROJECT NO.
24-1889

DRAWN BY SE	APPROVED CCP	DATE 24.09.18
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DRAWING NO.

A901



No.	Description	Date
2	REV. FOR P2R	24.09.18
1	OWNER REVIEW	24.08.26

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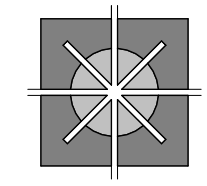
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NORTH

PROJECT
ACCESSORY DWELLING

81 TYLER STREET, AURORA

DRAWING TITLE
3D RENDERINGS

SCALE PROJECT NO.
24-1889

DRAWN BY SE	APPROVED CCP	DATE 24.09.18
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DRAWING NO.
A902



No.	Description	Date
2	REV. FOR P2R	24.09.18
1	OWNER REVIEW	24.08.26

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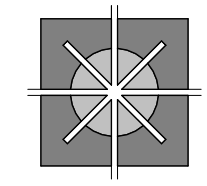
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NORTH

PROJECT
ACCESSORY DWELLING

81 TYLER STREET, AURORA

DRAWING TITLE
3D RENDERINGS

SCALE PROJECT NO.
24-1889

DRAWN BY SE	APPROVED CCP	DATE 24.09.18
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DRAWING NO.
A903



100 John West Way
Aurora, Ontario
L4G 6J1
(905) 727-3123
aurora.ca

Town of Aurora
Committee of Adjustment Report
No. MV-2024-21

Subject: Minor Variance Application
Ahmed
45 Steeplechase Avenue
PLAN M1582 LOT 10
File: MV-2024-21

Prepared by: Katherine Gatzos, Planner

Department: Planning and Development Services

Date: November 14, 2024

Application

The owner/applicant is requesting relief from the requirements of the Town's Comprehensive Zoning By-law 6000-17, as amended, to facilitate the construction of a two-storey detached dwelling. The following relief is being requested:

- a) Section 7.2 of the Zoning By-law requires a maximum building height of 10 metres.
 - a. The applicant is proposing to construct a two-storey detached dwelling, which is 10.6 metres.

- b) Section 14.1.2(ii) of the Zoning By-law states no site alteration shall occur on that portion of said lot that is within the feature, without an amendment to, or relief from the Zoning By-law.
 - a. The applicant is proposing to construct a two-storey detached dwelling.

- c) Section 14.1.3(i) of the Zoning By-law states no development or site alteration shall occur on that portion of the lot that contains a minimum vegetation protection zone, without an amendment to, or relief from the Zoning By-law.
 - a. The applicant is proposing to construct a two-storey detached dwelling.

- d) Section 14.1.4(i) of the Zoning By-law states no development or site alteration shall occur on that portion of the lot that contains a significant woodland, without amendment to, or relief from the Zoning By-law.

- a. The applicant is proposing to construct a two-storey detached dwelling.

Background

Subject Property and Area Context

The subject property, municipally known as 45 Steeplechase Avenue, is part of an established estate residential subdivision generally located northwest of the intersection of Bloomington Road and Bayview Avenue.

The subject property has an area of approximately 0.86 ha (2.15 ac), and lot frontage on the north side of Steeplechase Avenue of approximately 121.61 m (399 ft). The subject property has a depth of over 125 m, and largely consists of woodland, particularly along the west and east boundaries and the rear lot area.

The subject property presently contains an active construction site for the dwelling proposed through the subject Minor Variance application, a driveway, a retaining wall, and mature vegetation. The retaining wall generally surrounds the area of the mature vegetation on the property, separating it from the landscaped open space area where development is proposed.

Proposal and Project History

The Applicant is proposing to construct a new two-storey dwelling on the subject property with a gross floor area (GFA) of 527.69 sqm (5680 sq ft).

In April 2021, Committee of Adjustment approved Minor Variance application MV-2020-25, which permitted the development of a detached garage, and two building additions to an existing two-storey single detached dwelling on the subject property.

A Building permit was issued for the subject property with respect to the additions to an existing structure, plumbing systems and a demolition on October 4, 2022. In the spring of 2024, structures on the property were demolished and construction of a new dwelling commenced. A demolition permit was issued on April 19, 2024, however the construction work for the new dwelling began without proper building permits. On May 6, 2024, applications were submitted to the Town for the construction that was undertaken. However, the applications were incomplete, did not comply with the Town's Comprehensive Zoning By-law 6000-17, as amended and had a deficiency relating to the *Building Code Act, 1992*, S.O. 1992, c. 23 (the "Building Code Act").

Although some items have been dealt with, the related Building Permit application remains deficient. Specifically, it was determined that a Minor Variance is required to

construct on the subject property due to the zoning deficiencies identified earlier in this report. Given that work commenced before a Building Permit was issued, various compliance orders were issued by the Town's Building Department. Due to the identified non-compliance, Stop Work Orders were issued by the Chief Building Official on May 27, 2024. Various deficiency letters were also issued in May, June and July, outlining the deficiencies of the building permit application.

As a result of conducting construction without a building permit and in violation of Town orders, charges have been laid against the property owner and the construction company. This process is currently ongoing before the Provincial Offences Court, with the next appearance scheduled for January 20, 2025.

To address the above noted non-compliance, the applicant has submitted the subject Minor Variance application to address identified zoning deficiencies.

The proposed development is located wholly within the open yard area around the dwelling and is not within the mature vegetation area of the property which is delineated by the existing retaining wall. No mature trees are proposed to be removed.

Neighbouring properties to the west, north and east are heavily screened by landscaping and swaths of wooded area. Mature trees towards the south boundary along Steeplechase Avenue ensure there is ample screening of the proposed dwelling from the streetscape.

Official Plan

The subject property is designated "Estate Residential" by the Yonge Street South Secondary Plan (OPA 34). The subject property is also designated as "Oak Ridge Moraine Settlement Area" by Amendment No. 48 to the Town of Aurora Official Plan (OPA 48). Schedule 'K' of OPA 48 identifies the presence of a Key Natural Heritage Feature (Woodland) and its associated Minimum Vegetation Protection Zone (MVPZ) on the subject property. Schedule 'L' of OPA 48 indicates that the subject property is within a "Category 2 – Moderately Complex Landform" area.

Permitted uses within an Estate Residential designation shall be limited to one detached dwelling per lot, accessory structures, and compatible home occupations. Lots within this designation shall preserve a minimum of 75% of the lot in an open, landscaped or natural condition.

As per OPA 48 and The Oak Ridges Moraine Conservation Plan (ORMCP) a scoped Natural Heritage Evaluation is required to support the expansion of the proposed two-

storey dwelling to demonstrate no adverse affects to the ecological integrity of the Plan Area.

Zoning

The subject lands are zoned “Estate Residential (ER)” in the Town of Aurora Zoning By-law 6000-17. The ER zone is characterized by large lots and setbacks to establish an extremely low-density residential area.

Preliminary Zoning Review

A Preliminary Zoning Review (PZR) has been completed by the Town of Aurora’s Building Division. The PZR identified the required variances, and no other non-compliance was identified. The proposed dwelling is fully compliant with all other setback provisions of the Estate Residential zoning. With the exception of building height, the required variances are triggered due to the key natural heritage feature that is present on the property and community area.

Applicant’s stated reason(s) for not complying with the Zoning By-law

As stated on the application form, “can’t comply based on the design of the new residence, any changes to the property requires minor variance approval”.

Planning Comments

Planning Staff have evaluated Minor Variance Application MV-2024-21 pursuant to the prescribed tests as set out in Section 45(1) of the *Planning Act*, as follows:

a) The proposed variances meet the general intent of the Official Plan

The intent of the “Estate Residential” designation is to ensure a low-density residential setting is maintained, and the intent of the “Environmental Protection Area” designation is to protect local natural heritage features from adverse impact. The proposed application retains the low density single detached use and has sufficiently demonstrated that it can occur without resulting in negative impacts to local natural heritage features or systems. The subject property is also specifically classified as part of the Settlement Area and is intended to accommodate residential uses including associated accessory structures.

A Natural Heritage Evaluation (NHE) was prepared by Beacon Environmental in support of the application, which includes an analysis of existing environmental conditions on the subject property and adjacent areas. The Evaluation further provides recommendations

and construction mitigation measures to be implemented, which have been added to the Conditions of Approval (Appendix 'A').

The NHE indicates that impacts associated with the proposed development are primarily limited to the removal of manicured lawns and landscaped areas and associated common weedy vegetation, and encroachment into the dripline of the woodland within the area of the yard and septic bed. Mitigation measures have been added to the Conditions of Approval to limit potential impacts. With the implementation of the recommended mitigation measures, the proposed development is not anticipated to have negative impacts on adjacent natural features.

The proposed construction is compatible with the built form in the existing neighbourhood, and dense vegetation around the perimeter of the lot provides for adequate screening.

Overall, staff are of the opinion that the requested variances meet the general intent of the Official Plan, and again are further satisfied given the fact that no adverse natural heritage impacts are anticipated as provided through the accompanying Environmental Impact Study, and that additional conditions of approval have been developed to ensure no other negative impacts result from the proposal (as per the attached Appendix 'A').

b) The proposed variances meet the general intent of the Zoning By-law

The intent of the Estate Residential (ER) zone is to ensure that low density residential development characterized by large lot areas and setbacks are maintained. Further, zoning provisions governing natural heritage features and Minimum Vegetation Protection Zones (MVPZ) are established to ensure that development does not negatively impact surrounding areas and features. The intent in minimizing dwelling height is to reduce privacy concerns related to overlook and shadow impacts onto adjacent properties, and to ensure that dwellings are not overly obtrusive.

The applicant has submitted a NHE as part of the subject application which confirms that the proposed development will not adversely impact the ecological integrity of the onsite and adjacent environmental features. The NHE also includes a list of recommended mitigation measures to further protect the integrity of the feature on the subject property and the associated MVPZ.

The applicant has submitted an NHE as part of the subject application which confirms that the proposed development will not adversely affect the ecological integrity of the ORMCP Plan Area. The NHE also includes a list of recommended mitigation measures to

further protect the integrity of the feature on the subject lands and its MVPZ. Staff are satisfied with the findings and recommendations of the NHE.

The NHE indicates that impacts associated with the proposed development are primarily limited to the removal of manicured lawns and landscaped areas. The submitted NHE and associated conditions of approval further ensure that any potential impacts are mitigated and avoided.

The proposal has demonstrated no negative impacts will arise, specifically with recommendations on mitigation to be implemented as per the submitted Environmental Impact Study and related conditions of approval. As an estate residential lot with large setbacks and ample wooded areas along all property lines, Staff are of the opinion that the proposed 0.6m increase building height will not result in any negative impacts to the streetscape or neighbouring properties.

Therefore, Staff are of the opinion that the requested variances meet the general intent of the Zoning By-law.

c) The proposed variances are considered desirable for the appropriate development of the land

The proposed variances are considered desirable and appropriate development of the land as they allow for the redevelopment of a two-storey dwelling that is in keeping with the intent of the Estate Residential (ER) zoning provisions and with no anticipated undue adverse impacts on local natural heritage features or systems, nor any negative impacts to the public realm or streetscape. The property is not part of the LSRCA Regulated Area, and appropriate conditions have been developed as per the attached Appendix 'A'. As an Estate Residential parcel with a large lot and setbacks, the property is an appropriate location for the new dwelling.

Staff are of the opinion that the requested variances are considered desirable for the appropriate development of the property and given the listed conditions under Appendix 'A', are satisfied with approval of the subject application.

d) The proposed variances are considered minor in nature

The proposed variances are minor in nature and facilitate the construction of a two-storey dwelling within a relatively manicured landscaped area on the subject property, while accommodating the constraints associated with the adjacent woodland and associated MVPZ. The subject property is occupied by swaths of woodland along all property lines which provide for substantial screening of the proposed two-storey dwelling. As such,

staff are of the opinion that there are no visual and streetscape impacts as a result of the proposed development, including views from adjacent properties.

Further, the accompanying Natural Heritage Evaluation has demonstrated that there are no negative impacts to surrounding features as a result of the proposed development and has provided recommendations and mitigation measures to ensure this.

As such, Staff are of the opinion that the requested variances are minor in nature and that construction impacts will be negated through appropriate mitigation measures attached hereto as Appendix 'A' – Recommended Conditions of Approval.

Additional Comments

The minor variance application was circulated to Town Department/Divisions and to external agencies for review and comment. The following comments were provided:

Department or Agency	Comments
Building Division	Preliminary Zoning Review completed. No objections.
Engineering Division	No objections.
Operational Services (Parks)	No objections with conditions.
Operational Services (Public Works)	No objections.
Central York Fire Services	No objections.
York Region	No objections.
LSRCA	No objections.

Public Correspondence

Written submissions were not received at the time of writing of this report. Should written submissions be received after the writing of this report, the Secretary Treasurer will provide the submission(s) to Committee members at the meeting.

Conclusion

Planning staff have reviewed the application with respect to the Section 45 (1) of the Planning Act, R.S.O., 1990, c.P.13, as amended, and are of the opinion that the requested

variance meets the four tests of the Planning Act for granting of minor variances. Staff recommend approval of the requested variance subject to the conditions outlined in Appendix 'A'.

Attachments

Appendix 'A' – Recommended Conditions of Approval

Appendix 'B' – Site Plan & Elevations

Appendix 'A' – Recommended Conditions of Approval

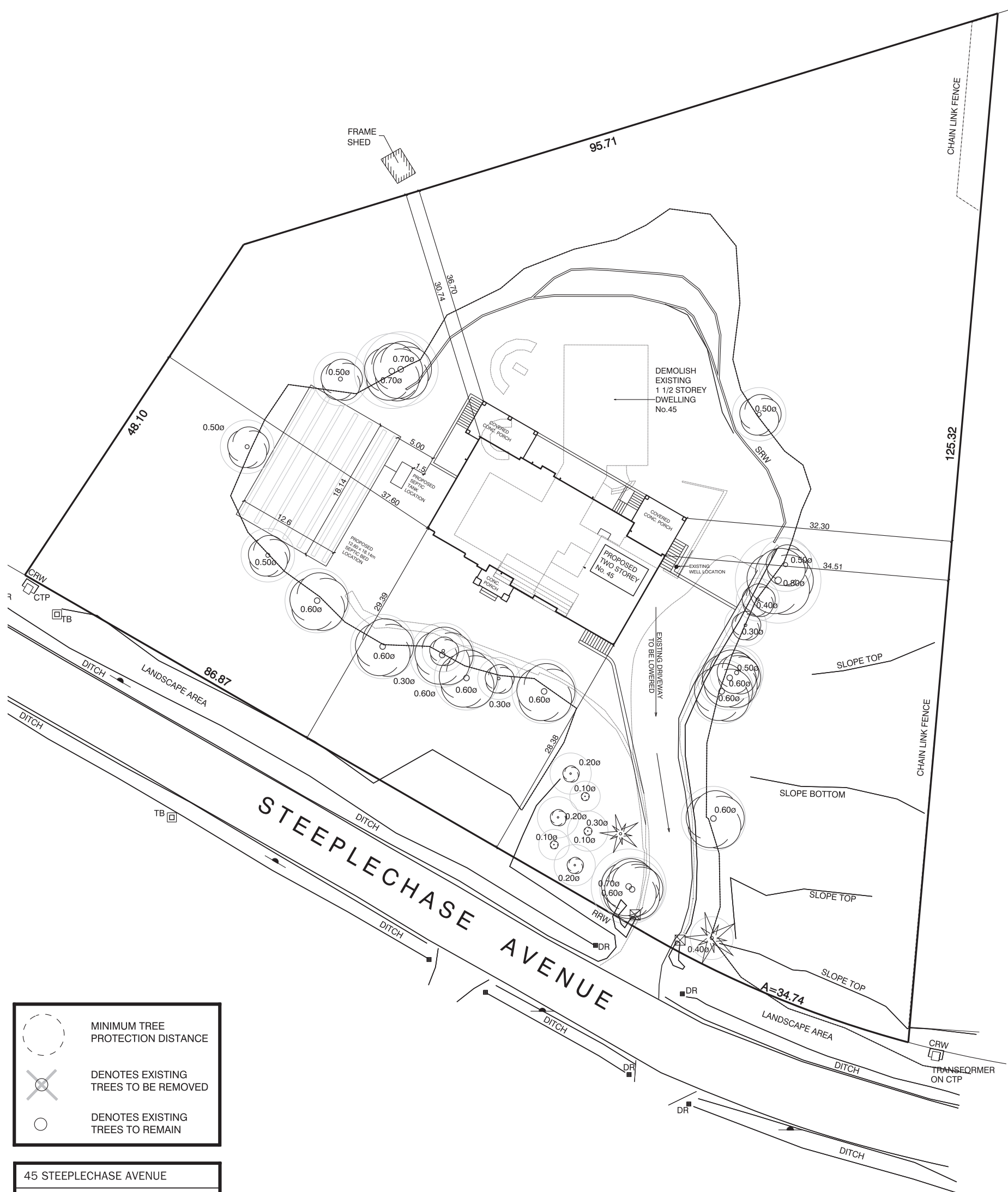
The following conditions are required to be satisfied should application MV-2024-21 be approved by the Committee of Adjustment:

1. That the variance only applies to the subject property in conformity with the plan(s) attached as 'Appendix B' to this Staff Report, to the satisfaction of the Director of Planning and Development Services or designate.
2. An approved Road Occupancy Permit is required through the Town of Aurora Public Works department.
3. That the recommendations of the Accompanying Natural Heritage Evaluation dated September 12, 2024, and prepared by Beacon Environmental (listed under Section 7.2 of the Evaluation) be satisfied per the discretion of the Director of Planning and Development Services or their designate.
4. That the owner shall be required to provide an Evaluation Report prepared by a Certified Arborist or Professional Registered Forester outlining all aspects of the impacts that this proposal will have on existing trees. The report shall include the following:
 - a. An assessment of existing trees (5cm trunk diameter and greater) by size, species and condition including trees on adjacent properties whose structure or root zone may be impacted by construction.
 - b. Identification of all tree injuries and tree removals, if any.
 - c. Identification of all tree protection measures including recommendations on the mitigation of negative effects to trees during and post construction, including applicable maintenance requirements.
 - d. Provision of monitoring of the site work through a series of site visits by the Arborist/Forester to ensure protection/preservation measures remain in compliance throughout the duration of the project.
5. Monitoring shall occur:
 - a. at commencement of work to certify all tree protection measures are in place,
 - b. during site work to confirm protection measures are in place and to oversee arboricultural works as required, and
 - c. post construction assessment. Each site visit is to be documented and any resulting action items required by the Arborist /Forester shall be

implemented and confirmed on site forthwith by the Arborist /Forester following each visit.

6. A monetary evaluation in accordance with the Town's Tree Compensation Policies for all trees designated to be removed.
7. The Owner shall be required to provide a tree compensation and a replanting plan in accordance with the Town of Aurora Tree Compensation Policies to the satisfaction of the Director of Operational Services as compensation for trees removed to facilitate construction. Compensation planting shall be completed prior to release of the financial securities.
8. The owner shall agree to comply with the Aurora Tree Permit By-law # 5850 -16 prior to the removal of any trees on the property.
9. The owner shall be required to provide financial securities based on the total value of the Tree Compensation evaluation and all Arboriculture works as defined by the Town and the Owner's Arborist/ Forester, to the satisfaction of the Director of Operational Services.
10. All the above shall be included as terms and conditions in a Letter of Undertaking with the Town of Aurora to guarantee compliance with the Conditions of Approval and all related site works.

GRADING AND SERVICING
BY OTHERS

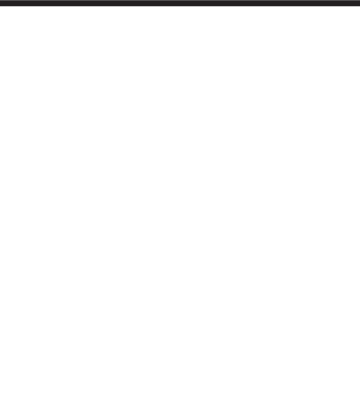


- MINIMUM TREE PROTECTION DISTANCE
- DENOTES EXISTING TREES TO BE REMOVED
- DENOTES EXISTING TREES TO REMAIN

45 STEEPLCHASE AVENUE	
TOTAL LOT AREA	8683.60 m2
MAXIMUM COVERAGE	1302.54 m2 (15.0%)
PROPOSED COVERAGE (INCLUDING PORCHES)	427.82 m2 (4.93%)

**TOWN OF AURORA
PLANNING & DEVELOPMENT SERVICES
BUILDING DIVISION**
 PERMIT NO.: PR20240349 DATE: Jul. 4, 2024
 APPROVED BY: *Taylor Cole*
PRELIMINARY ZONING REVIEW

BCIN INFORMATION	
The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.	
QUALIFICATION INFORMATION	
Required unless design is exempt under subsections 3.2.4. and 3.2.5. of Division C of the Ontario Building Code.	
Dean Ruffolo	23640
NAME	SIGNATURE BCIN
REGISTRATION INFORMATION	
Required unless design is exempt under subsections 3.2.4. and 3.2.5. of Division C of the Ontario Building Code.	
Dero Building Designs Consultants Inc.	28051
FIRM NAME	BCIN
This Certification is NOT valid unless accompanied by an original signature.	



SITE PLAN SHOWING
PROPOSED TWO STOREY

45 STEEPLCHASE AVENUE
TOWN OF AURORA, ON.
REGIONAL MUNICIPALITY OF YORK

R.P.

ANIX DEVELOPMENTS

20 Wertheim Cr. U13
Richmond Hill, Ontario
L4B 3A8
T 905 889 8434
F 905 889 8435
info@derodesigns.com
www.derodesigns.com

DATE : APR 15, 2024 SCALE : 1:500

METRIC : ALL DIMENSIONS SHOWN ON THIS PLAN ARE IN METERS AND MAY BE CONVERTED TO FEET BY DIVIDING BY 0.3048

SP1



45 STEEPLECHASE AVENUE TOWN OF AURORA

NOTES :

The contractor must check and verify all dimensions and report any discrepancies to the designer before commencing construction.

Do not scale drawings.

Joists to be at 12" O.C. where supporting ceramic tile.

BCIN INFORMATION :

The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

QUALIFICATION INFORMATION
Required unless design is exempt under subsections 3.2.4. and 3.2.5. of Division C of the Ontario Building Code.

Dean Ruffolo 23640
BCIN

Dean Ruffolo

REGISTRATION INFORMATION
Required unless design is exempt under subsections 3.2.4. and 3.2.5. of Division C of the Ontario Building Code.

Dero Building Designs Consultants Inc. 28051
FIRM/BCIN

This Certification is NOT valid unless accompanied by an original signature.

NO.	REVISION	DATE



PROPOSED
TWO STOREY
45 STEEPLECHASE AVE.
AURORA, ON.

FOR
ANIX DEVELOPMENTS

DERO BUILDING DESIGNS
20 Wertheim Ct. U13
Richmond Hill, Ontario
L4B 3A8

T 905 889 8434
F 905 889 8435

info@derodesigns.com
www.derodesigns.com

DRAWN BY D.R.	CHECKED BY D.R.
DATE APR 15, 2024	DWG. NO. A

Schedule 1: Designer Information

Use one form for each individual who reviews and takes responsibility for design activities with respect to the project.

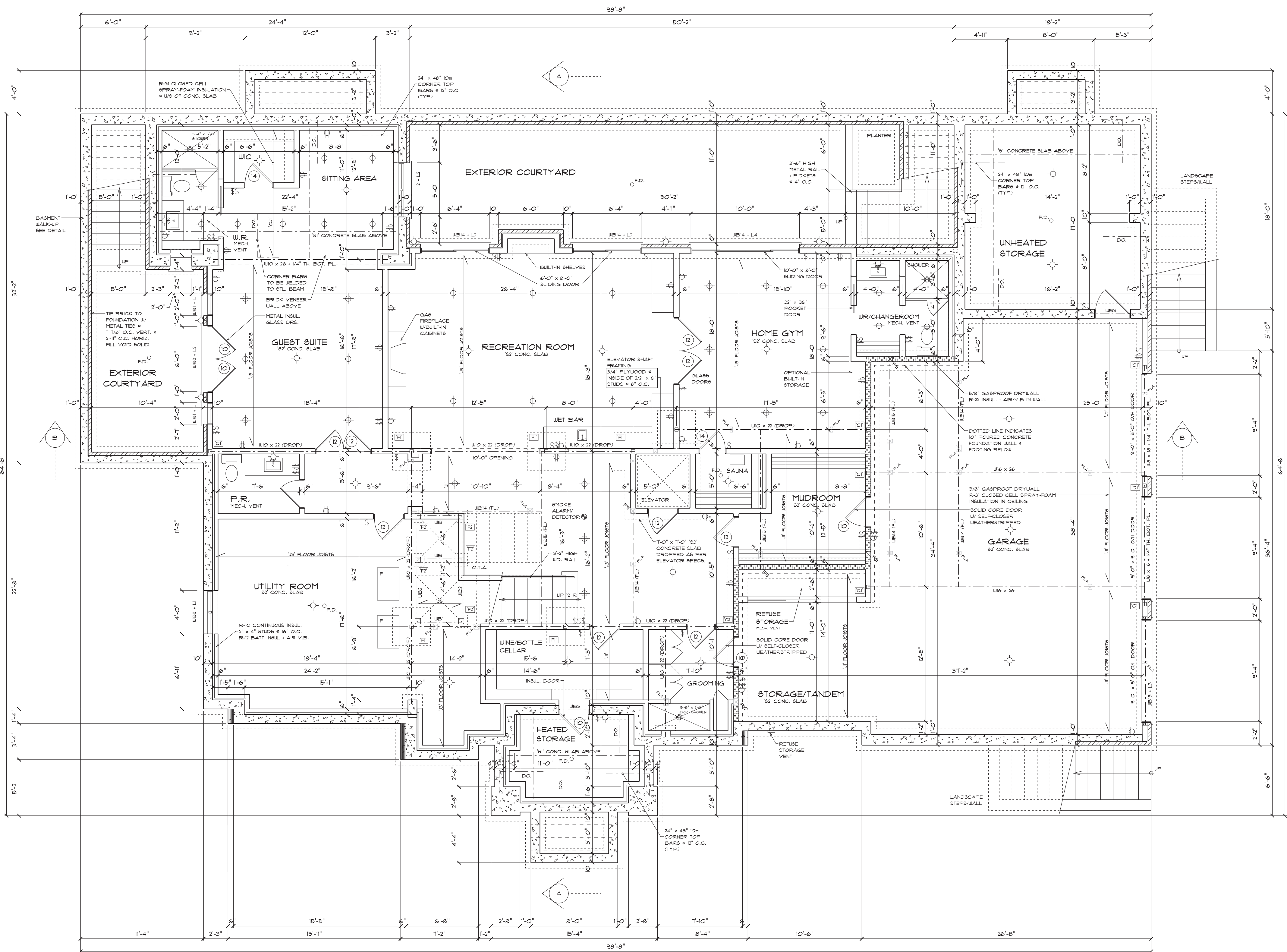
A. Project Information			
Building number, street name 45 STEEPLECHASE AVENUE	Unit no.	Lot/oon.	
Municipality AURORA	Postal code	Plan number other description	
B. Individual who reviews and takes responsibility for design activities			
Name DEAN RUFFOLO	Firm DERO BUILDING DESIGNS		
Street address 20 WERTHEIM COURT	Unit no. 13	Lot/oon.	
Municipality RICHMOND HILL	Postal code L4B 3A8	Province ONTARIO	E-mail info@derodesigns.com
Telephone number (905) 889-8434	Business	Fax number (905) 889-8435	Cell number
C. Design activities undertaken by individual identified in Section B. (Building Code Table 3.5.2.1. of Division C)			
<input checked="" type="checkbox"/> House	<input type="checkbox"/> HVAC - House	<input type="checkbox"/> Building Structural	
<input type="checkbox"/> Small Buildings	<input type="checkbox"/> Building Services	<input type="checkbox"/> Plumbing - House	
<input type="checkbox"/> Large Buildings	<input type="checkbox"/> Detection, Lighting and Power	<input type="checkbox"/> Plumbing - All Buildings	
<input type="checkbox"/> Complex Buildings	<input type="checkbox"/> Fire Protection	<input type="checkbox"/> On-site Sewage Systems	
Description of designer's work PROPOSED TWO STOREY			
D. Declaration of Designer			
I, <u>DEAN RUFFOLO</u> (print name) declare that (choose one as appropriate):			
<input checked="" type="checkbox"/> I review and take responsibility for the design work on behalf of a firm registered under subsection 3.2.4 of Division C, of the Building Code. I am qualified, and the firm is registered, in the appropriate classes/categories.			
Individual BCIN: <u>23640</u>			
Firm BCIN: <u>28051</u>			
<input type="checkbox"/> I review and take responsibility for the design and am qualified in the appropriate category as an "other designer" under subsection 3.2.5. of Division C, of the Building Code.			
Individual BCIN: _____			
Basis for exemption from registration: _____			
<input type="checkbox"/> The design work is exempt from the registration and qualification requirements of the Building Code.			
Basis for exemption from registration and qualification: _____			
I certify that:			
1. The information contained in this schedule is true to the best of my knowledge.			
2. I have submitted this application with the knowledge and consent of the firm.			
11/18/23	<i>Dean Ruffolo</i>	Signature of Designer	
Date			

STATISTIC SCHEDULE

FLOOR AREA INFORMATION	
FIRST FLOOR AREA	3805 SQ. FT. (353.50 m2)
SECOND FLOOR AREA	1875 SQ. FT. (174.19 m2)
TOTAL AREA	5680 SQ. FT. (527.69 m2)
FIN. BASEMENT AREA	2770 SQ. FT. (257.34 m2)
GARAGE AREA	1885 SQ. FT. (175.12 m2)
COVERAGE INFORMATION	
MAIN HOUSE	3850 SQ. FT. (357.68 m2)
FRONT CONC. PORCH	115 SQ. FT. (10.68 m2)
REAR CONC. PORCH (RIGHT)	320 SQ. FT. (29.73 m2)
REAR CONC. PORCH (LEFT)	320 SQ. FT. (29.73 m2)
TOTAL COVERAGE	4605 SQ. FT. (427.82 m2) (4.93%)
ROOF HEIGHT	32'-8" (9.96 m)

Dean Ruffolo

DEAN RUFFOLO M.A.A.T.O
DERO BUILDING DESIGNS CONSULTANTS INC.



BASEMENT PLAN

NOTES:
 The contractor must check and verify all dimensions and report any discrepancies to the designer before commencing construction.
 Do not scale drawings.
 Joists to be at 12" O.C. where supporting ceramic tile.

BCIN INFORMATION:
 The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

QUALIFICATION INFORMATION
 Required unless design is exempt under subsections 3.2.4. and 3.2.5. of Division C of the Ontario Building Code.
 Dean Ruffolo 23840 BCIN
 Dero Building Design Consultants Inc. 28051 BCIN

LEGEND

	SOLID BEARING POINT LOAD ABOVE
--	--------------------------------

CONCRETE SLAB LEGEND

W1	8" CONCRETE SLAB 32 MPa (4650 PSI) 5/8" AIR ENTRAINMENT 15# BARS @ 6" O.C. BOTH WAYS BOTTOM 1" CONC. COVER	W2	3" CONCRETE SLAB 32 MPa (4650 PSI) 5/8" AIR ENTRAINMENT 4" GRAVEL
W3	8" CONCRETE SLAB 15/16" BARS @ 9" O.C. BOTH WAYS SLAB TO BE DROPPED AS PER MANUFACTURER'S SPECIFICATIONS	W4	8" CONCRETE SLAB 32 MPa (4650 PSI) 5/8" AIR ENTRAINMENT 6" x 6" WIRE MESH ON 6" COMPACTED GRAVEL

STEEL LINTEL SCHEDULE

L1	3 1/2" x 3 1/2" x 5/16" (6-0" MAX. SPAN) (4" BRG.)
L2	5" x 3 1/2" x 5/16" (6-0" MAX. SPAN) (6" BRG.)
L3	6" x 4" x 3/8" (10-0" MAX. SPAN) (6" BRG.)
L4	1" x 4" x 1/2" (10-0" MAX. SPAN) (8" BRG.)
L5	8" x 4" x 3/8" (10-0" MAX. SPAN) (10" BRG.)
L6	8" x 4" x 5/8" (16-0" MAX. SPAN) (10" BRG.)
MA	MASONRY ARCH
MPGA	REINFORCED PRECAST CONC. ARCH

WOOD LINTEL/BEAM SCHEDULE

WB1	2" x 8" SFR. NO. 2	WB13	1-1/4" x 11 7/8" LVL
WB2	3" x 8" SFR. NO. 2	WB14	2-1/4" x 11 7/8" LVL
WB3	3" x 10" SFR. NO. 2	WB15	3-1/4" x 11 7/8" LVL
WB4	3" x 12" SFR. NO. 2	WB16	4-1/4" x 11 7/8" LVL
WB5	4" x 12" SFR. NO. 2	WB17	1-1/4" x 14" LVL
WB6	2" x 12" SFR. NO. 2	WB18	2-1/4" x 14" LVL
WB7	3" x 12" SFR. NO. 2	WB19	3-1/4" x 14" LVL
WB8	4" x 12" SFR. NO. 2	WB20	4-1/4" x 14" LVL
WB9	1-1/4" x 9 1/2" LVL	WB21	1-1/4" x 16" LVL
WB10	2-1/4" x 9 1/2" LVL	WB22	2-1/4" x 16" LVL
WB11	3-1/4" x 9 1/2" LVL	WB23	3-1/4" x 16" LVL
WB12	4-1/4" x 9 1/2" LVL	WB24	4-1/4" x 16" LVL

NOTE - ALL LVL SHALL BE WESTFRASER (2.0E 3100) LVL OR EQUIV.

STRUCTURAL COLUMN LEGEND

C1	H56 4" x 4" x 1/4" TH. STEEL PIPE COLUMN
C2	H56 4" x 4" x 1/4" TH. STEEL PIPE COLUMN FOR DOUBLE-VOLUME WALLS
C3	H56 4" x 4" x 1/4" STL. COLUMN W/10" x 10" x 3/4" BOT. FL. C&I 2-1/8" ABS ON 4" x 4" x 3/8" PAD FOOTING REIN. W/20# BARS @ 12" O.C. BOTH WAYS
C4	6" x 6" WOOD POST ANCHORED TO 6" x 6" x 6" DP. P.C. CURB ON 18" x 18" x 8" DP. P.C. PAD FOOTING

STRUCTURAL POST LEGEND

PBL	8 1/4" x 8 1/4" 2.0 PBL FULL HEIGHT COLUMN AT "TALL WALLS"		
P1	1" x 4" SFR. NO. 2	P6	1" x 6" SFR. NO. 2
P2	2" x 4" SFR. NO. 2	P7	2" x 6" SFR. NO. 2
P3	3" x 4" SFR. NO. 2	P8	3" x 6" SFR. NO. 2
P4	4" x 4" SFR. NO. 2	P9	4" x 6" SFR. NO. 2
P5	5" x 4" SFR. NO. 2	P10	5" x 6" SFR. NO. 2

FLOOR JOIST LEGEND

J1	11 7/8" DP. N-40# @ 16" O.C. W - 3/4" T + G SUBFLOOR NAILED + GUEID
J2	11 7/8" DP. N-40# @ 24" O.C. W - 3/4" T + G SUBFLOOR NAILED + GUEID
J3	11 7/8" DP. N-80 @ 16" O.C. W - 3/4" T + G SUBFLOOR NAILED + GUEID
J4	11 7/8" DP. N-80 @ 24" O.C. W - 3/4" T + G SUBFLOOR NAILED + GUEID
J5	2" x 8" SFR. NO. 2 @ 16" O.C. W - 3/4" T + G SUBFLOOR NAILED + GUEID

CEILING JOIST LEGEND

CJ1	1/2" DRYWALL CEILING ON 2" x 8" SFR. NO. 2 @ 16" O.C.
-----	---

CONVENTIONAL ROOF LEGEND

R1	CONVENTIONAL BUILT-UP ROOF OF 2" x 6" SFR. NO. 2 RAFTERS + CEILING JOISTS @ 16" O.C.
R2	CATHEDRAL CEILING ROOF FRAMING OF 2" x 8" SFR. NO. 2 RAFTERS @ 16" O.C.

DOOR SCHEDULE NOTE: DOORS MAY BE GLAZED REFER TO WORKING DRAWINGS.

1	2'-0" x 7'-0" x 1 3/4" EXTERIOR	10	2'-0" x 8'-0" x 1 3/4" EXTERIOR
2	2'-8" x 7'-0" x 1 3/4" EXTERIOR	11	2'-8" x 8'-0" x 1 3/4" EXTERIOR
3	2'-0" x 7'-0" x 1 3/4" INTERIOR	12	2'-0" x 8'-0" x 1 3/4" INTERIOR
4	2'-8" x 7'-0" x 1 3/8" INTERIOR	13	2'-8" x 8'-0" x 1 3/8" INTERIOR
5	2'-4" x 7'-0" x 1 3/8" INTERIOR	14	2'-4" x 8'-0" x 1 3/8" INTERIOR
6	2'-4" x 7'-0" x 1 3/8" INTERIOR	15	2'-4" x 8'-0" x 1 3/8" INTERIOR
7	2'-0" x 7'-0" x 1 3/8" INTERIOR	16	2'-0" x 8'-0" x 1 3/8" INTERIOR
8	2'-0" x 7'-0" x 1 3/8" INTERIOR	17	2'-0" x 8'-0" x 1 3/8" INTERIOR
9	1'-8" x 7'-0" x 1 3/8" INTERIOR	18	1'-8" x 8'-0" x 1 3/8" INTERIOR

NO.	REVISION	DATE



PROPOSED TWO STOREY
 45 STEEPLCHASE AVE.
 AURORA, ON.

FOR
ANIX DEVELOPMENTS

BASEMENT PLAN

DERO BUILDING DESIGNS
 20 Wertheim Crt. U13
 Richmond Hill, Ontario
 L4B 3A8

T 905 889 8434
 F 905 889 8435

info@derodesigns.com
 www.derodesigns.com

DATE	SCALE
APR 15, 2024	3/16" = 1'-0"
DRAWN BY	CHECKED BY
D.R.	D.R.
PROJ. NO.	DWG. NO.
	A1

NOTES :

The contractor must check and verify all dimensions and report any discrepancies to the designer before commencing construction.

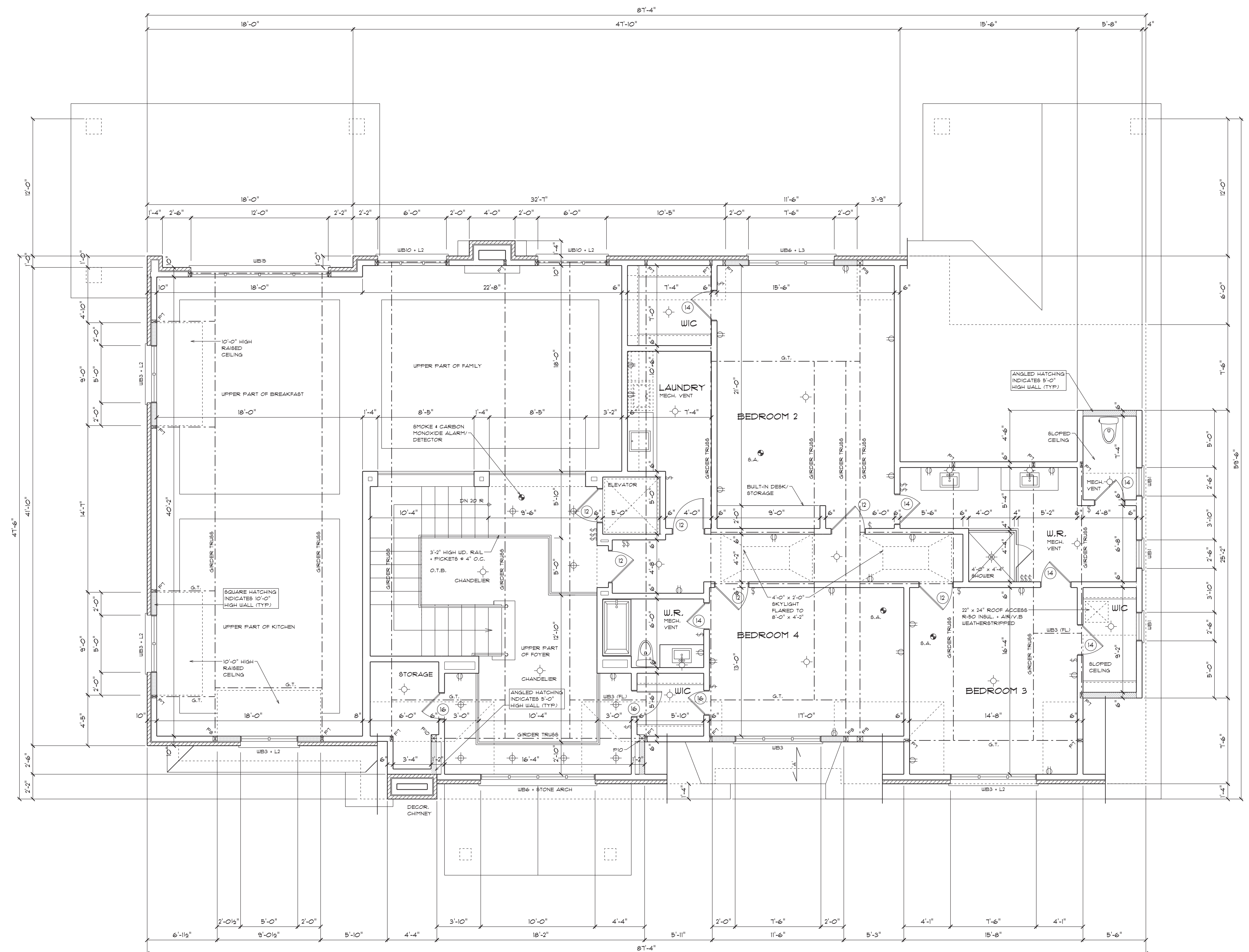
Do not scale drawings.
Joists to be at 12" O.C. where supporting ceramic tile.

BCIN INFORMATION :

The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

QUALIFICATION INFORMATION

Required unless design is exempt under subsections 3.2.4. and 3.2.5. of Division C of the Ontario Building Code.
Dean Ruffolo 23840
DATE: [Signature] BCN
REGISTRATION INFORMATION
Required unless design is exempt under subsections 3.2.4. and 3.2.5. of Division C of the Ontario Building Code.
Dero Building Designs Consultants Inc. 28051
DATE: [Signature] BCN
This Certification is NOT valid unless accompanied by an original signature.



SECOND FLOOR PLAN

LEGEND

[Symbol]	SOLID BEARING/POINT LOAD ABOVE
----------	--------------------------------

CONCRETE SLAB LEGEND

81	8" CONCRETE SLAB 35 MPa (5,075 PSI) 5-8% AIR ENTRAINMENT 10# BARS @ 6" O.C. BOTH WAYS BOT. MIN. 1" CONC. COVER	82	3" CONCRETE SLAB 32 MPa (4650 PSI) 5-8% AIR ENTRAINMENT 4" GRAVEL
83	8" CONCRETE SLAB W/RE BARS @ 12" O.C. BOTH WAYS SLAB TO BE DROPPED AS PER MANUFACTURER'S SPECIFICATIONS	84	5" CONCRETE SLAB 32 MPa (4650 PSI) 5-8% AIR ENTRAINMENT 6" x 6" WIRE MESH ON 6" COMPACTED GRAVEL

STEEL LINTEL SCHEDULE

L1	3 1/2" x 3 1/2" x 5/16" (6'-0" MAX. SPAN) (4" BRG.)
L2	5" x 3 1/2" x 5/16" (8'-0" MAX. SPAN) (6" BRG.)
L3	6" x 4" x 3/8" (10'-0" MAX. SPAN) (8" BRG.)
L4	7" x 4" x 1/2" (12'-0" MAX. SPAN) (8" BRG.)
L5	8" x 4" x 5/8" (14'-0" MAX. SPAN) (10" BRG.)
L6	9" x 4" x 3/4" (16'-0" MAX. SPAN) (12" BRG.)
MA	MASONRY ARCH
RPCA	REINFORCED PRECAST CONC. ARCH

WOOD LINTEL/BEAM SCHEDULE

WB1	2" x 8" SFR. NO. 2	WB13	1 - 1 3/4" x 11 7/8" LVL
WB2	3" x 8" SFR. NO. 2	WB14	2 - 1 3/4" x 11 7/8" LVL
WB3	2" x 10" SFR. NO. 2	WB15	3 - 1 3/4" x 11 7/8" LVL
WB4	3" x 10" SFR. NO. 2	WB16	4 - 1 3/4" x 11 7/8" LVL
WB5	4" x 10" SFR. NO. 2	WB17	1 - 1 3/4" x 14" LVL
WB6	2" x 12" SFR. NO. 2	WB18	2 - 1 3/4" x 14" LVL
WB7	3" x 12" SFR. NO. 2	WB19	3 - 1 3/4" x 14" LVL
WB8	4" x 12" SFR. NO. 2	WB20	4 - 1 3/4" x 14" LVL
WB9	1 - 1 3/4" x 9 1/2" LVL	WB21	1 - 1 3/4" x 16" LVL
WB10	2 - 1 3/4" x 9 1/2" LVL	WB22	2 - 1 3/4" x 16" LVL
WB11	3 - 1 3/4" x 9 1/2" LVL	WB23	3 - 1 3/4" x 16" LVL
WB12	4 - 1 3/4" x 9 1/2" LVL	WB24	4 - 1 3/4" x 16" LVL

NOTE - ALL LVL SHALL BE WESTFRASER (2.0E 300) LVL OR EQUIV.

STRUCTURAL COLUMN LEGEND

C1	166 4" x 4" x 1/4" TH. STEEL PIPE COLUMN
C2	166 4" x 4" x 1/4" TH. STEEL PIPE COLUMN FOR DOUBLE-VOLUME WALLS
F1	166 4" x 4" x 1/4" STL COLUMN @ 10' x 10' x 3/4" BOT. FL. C/A 2 - 5/8" BARS ON 42" x 42" x 18" PAD FOOTING REIN. W/10# BARS @ 12" O.C. BOTH WAYS
F2	6" x 6" WOOD POST ANCHORED TO 6" x 6" x 6" D.P. F.C. CURB ON 18" x 18" x 8" D.P. F.C. PAD FOOTING

STRUCTURAL POST LEGEND

PSL1	5 1/4" x 5 1/4" 2.0 FSL FULL HEIGHT COLUMN AT "TALL WALLS"		
P1	1/2" x 4" SFR. NO. 2	P6	1/2" x 6" SFR. NO. 2
P2	3/2" x 4" SFR. NO. 2	P7	2" x 6" SFR. NO. 2
P3	3/2" x 4" SFR. NO. 2	P8	3/2" x 6" SFR. NO. 2
P4	4/2" x 4" SFR. NO. 2	P9	4/2" x 6" SFR. NO. 2
P5	5/2" x 4" SFR. NO. 2	P10	5/2" x 6" SFR. NO. 2

FLOOR JOIST LEGEND

J1	11 7/8" DP, N140x8 16" O.C. W-3/4" T & G SUBFLOOR NAILED & GULDED
J2	11 7/8" DP, N140x8 12" O.C. W-3/4" T & G SUBFLOOR NAILED & GULDED
J3	11 7/8" DP, N160 16" O.C. W-3/4" T & G SUBFLOOR NAILED & GULDED
J4	11 7/8" DP, N180 12" O.C. W-3/4" T & G SUBFLOOR NAILED & GULDED
J5	2" x 8" SFR. NO. 2 @ 16" O.C. W-3/4" T & G SUBFLOOR NAILED & GULDED

CEILING JOIST LEGEND

CJ1	1/2" DRYWALL CEILING ON 2" x 8" SFR. NO. 2 @ 16" O.C.
-----	---

CONVENTIONAL ROOF LEGEND

A1	CONVENTIONAL BUILT-UP ROOF OF 2" x 6" SFR. NO. 2 RAFTERS + CEILING JOISTS @ 16" O.C.
B1	CATHEDRAL CEILING ROOF FRAMING OF 2" x 8" SFR. NO. 2 RAFTERS @ 16" O.C.

DOOR SCHEDULE

NOTE: DOORS MAY BE GLAZED REFER TO WORKING DRAWINGS.

1	2'-0" x 1'-0" x 1 3/4" EXTERIOR	10	2'-0" x 8'-0" x 1 3/4" EXTERIOR
2	2'-8" x 1'-0" x 1 3/4" EXTERIOR	11	2'-8" x 8'-0" x 1 3/4" EXTERIOR
3	2'-10" x 1'-0" x 1 3/4" INTERIOR	12	2'-10" x 8'-0" x 1 3/4" INTERIOR
4	2'-8" x 1'-0" x 1 3/8" INTERIOR	13	2'-8" x 8'-0" x 1 3/8" INTERIOR
5	2'-6" x 1'-0" x 1 3/8" INTERIOR	14	2'-6" x 8'-0" x 1 3/8" INTERIOR
6	2'-4" x 1'-0" x 1 3/8" INTERIOR	15	2'-4" x 8'-0" x 1 3/8" INTERIOR
7	2'-2" x 1'-0" x 1 3/8" INTERIOR	16	2'-2" x 8'-0" x 1 3/8" INTERIOR
8	2'-0" x 1'-0" x 1 3/8" INTERIOR	17	2'-0" x 8'-0" x 1 3/8" INTERIOR
9	1'-6" x 1'-0" x 1 3/8" INTERIOR	18	1'-6" x 8'-0" x 1 3/8" INTERIOR

NO.	REVISION	DATE



PROPOSED
TWO STOREY
45 STEEPLCHASE AVE.
AURORA, ON.

FOR
ANIX
DEVELOPMENTS

SECOND FLOOR PLAN

DERO BUILDING DESIGNS
20 Wertheim Crt. U13
Richmond Hill, Ontario
L4B 3A8

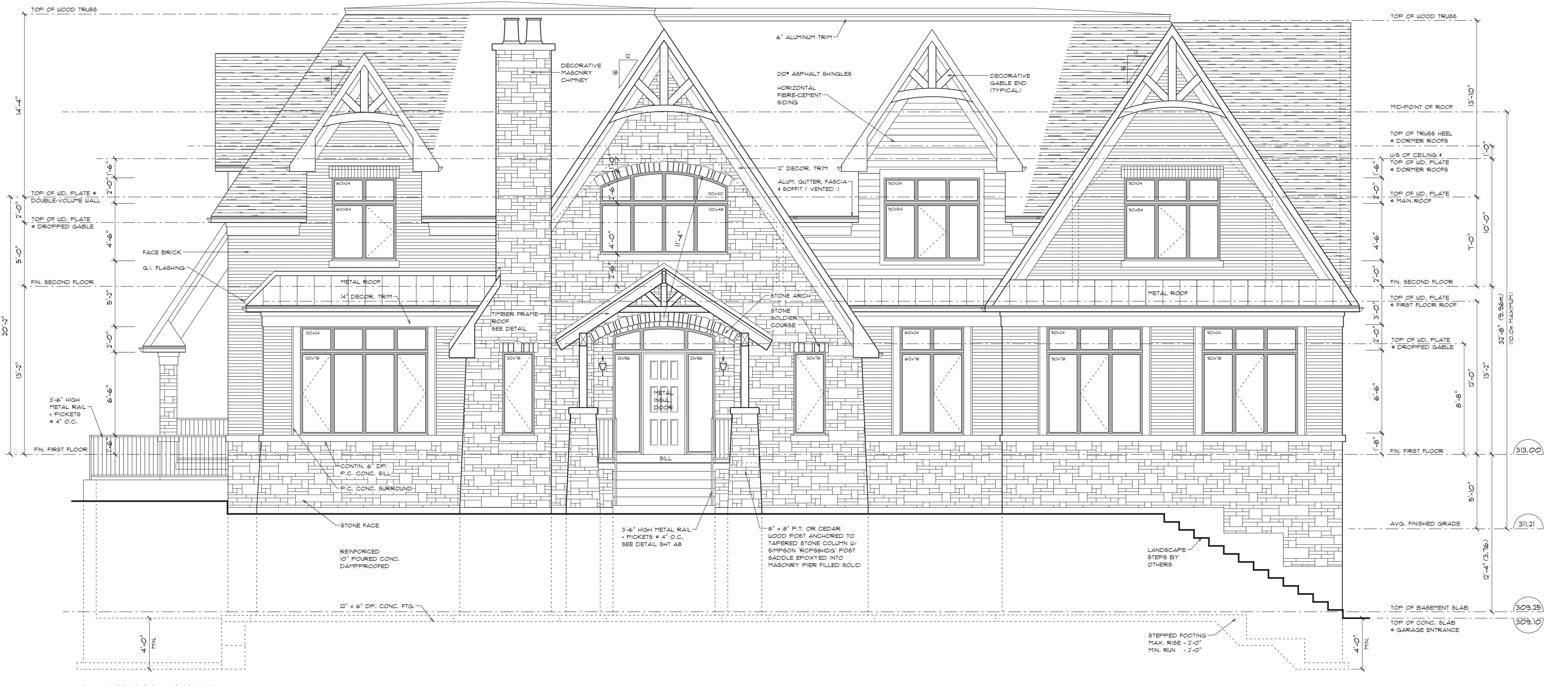
T 905 889 8434
F 905 889 8435

info@derodesigns.com
www.derodesigns.com

DATE	SCALE
APR 18, 2024	3/16" = 1'-0"
DRAWN BY	CHECKED BY
D.R.	D.R.
PROJ. NO.	DWG. NO.
	A3



REAR ELEVATION



FRONT ELEVATION

NOTES :
 The contractor must check and verify all dimensions and report any discrepancies to the designer before commencing construction.
 Do not scale drawings.
 Joists to be at 12" O.C. where supporting ceramic tile.

BCIN INFORMATION :
 The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

QUALIFICATION INFORMATION
 Required unless design is exempt under subsections 3.2.4 and 3.2.5 of Division C of the Ontario Building Code.
 Dean Ruffolo 23840
 NAME BCIN
 REGISTRATION INFORMATION
 Required unless design is exempt under subsections 3.2.4 and 3.2.5 of Division C of the Ontario Building Code.
 Daro Building Designs Consultants Inc. 28051
 FIRM NAME BCIN
 This Certification is NOT valid unless accompanied by an original signature.

NO.	REVISION	DATE



PROPOSED TWO STOREY
 45 STEEPLCHASE AVE.
 AURORA, ON.

FOR
ANIX DEVELOPMENTS

FRONT & REAR ELEVATIONS

DERO BUILDING DESIGNS
 20 Wertheim Crt. U13
 Richmond Hill, Ontario
 L4B 3A8

T 905 889 8434
 F 905 889 8435

info@derodesigns.com
 www.derodesigns.com

DATE	SCALE
APR 18, 2024	3/16" = 1'-0"
DRAWN BY D.R.	CHECKED BY D.R.
PROJ. NO.	DWG. NO. A4

NOTES :

The contractor must check and verify all dimensions and report any discrepancies to the designer before commencing construction.
Do not scale drawings.
Joists to be at 12" O.C. where supporting ceramic tile.

BCIN INFORMATION :

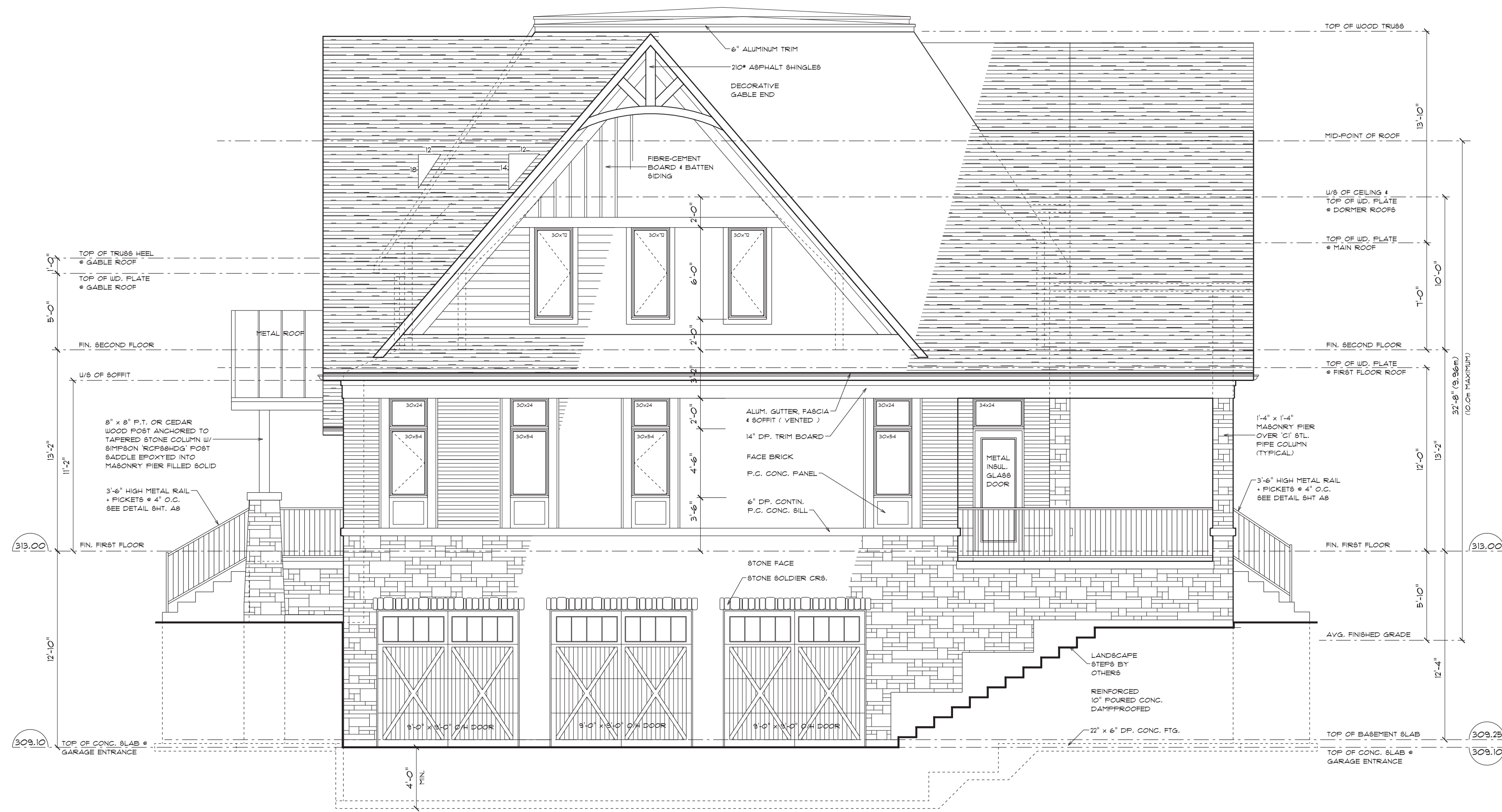
The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

QUALIFICATION INFORMATION

Required unless design is exempt under subsections 3.2.4. and 3.2.5. of Division C of the Ontario Building Code.
Dean Ruffolo 23840
DATE: [Signature]
REGISTRATION INFORMATION
Required unless design is exempt under subsections 3.2.4. and 3.2.5. of Division C of the Ontario Building Code.
Dero Building Designs Consultants Inc. 28051
FIRM NAME: [Signature]
This Certification is NOT valid unless accompanied by an original signature.



LEFT-SIDE ELEVATION
BUILDING FACE AREA - 1084.2 SQ. FT.
UNPROTECTED OPENING AREA - 138.8 SQ. FT. (12.8%)
NOTE - LIMITING DISTANCE CALCULATED USING GLASS AREA ONLY.



RIGHT-SIDE ELEVATION
BUILDING FACE AREA - 1341.1 SQ. FT.
UNPROTECTED OPENING AREA - 148.4 SQ. FT. (11.1%)
NOTE - LIMITING DISTANCE CALCULATED USING GLASS AREA ONLY.

NO.	REVISION	DATE



PROPOSED
TWO STOREY
45 STEEPLCHASE AVE.
AURORA, ON.

FOR
ANIX
DEVELOPMENTS

LEFT-SIDE &
RIGHT-SIDE
ELEVATIONS



20 Wertheim Crt. U13
Richmond Hill, Ontario
L4B 3A8
T 905 889 8434
F 905 889 8435
info@derodesigns.com
www.derodesigns.com

DATE	SCALE
APR 18, 2024	3/16" = 1'-0"
DRAWN BY D.R.	CHECKED BY D.R.
PROJ. NO.	DWG. NO. A5

NOTES :

The contractor must check and verify all dimensions and report any discrepancies to the designer before commencing construction.

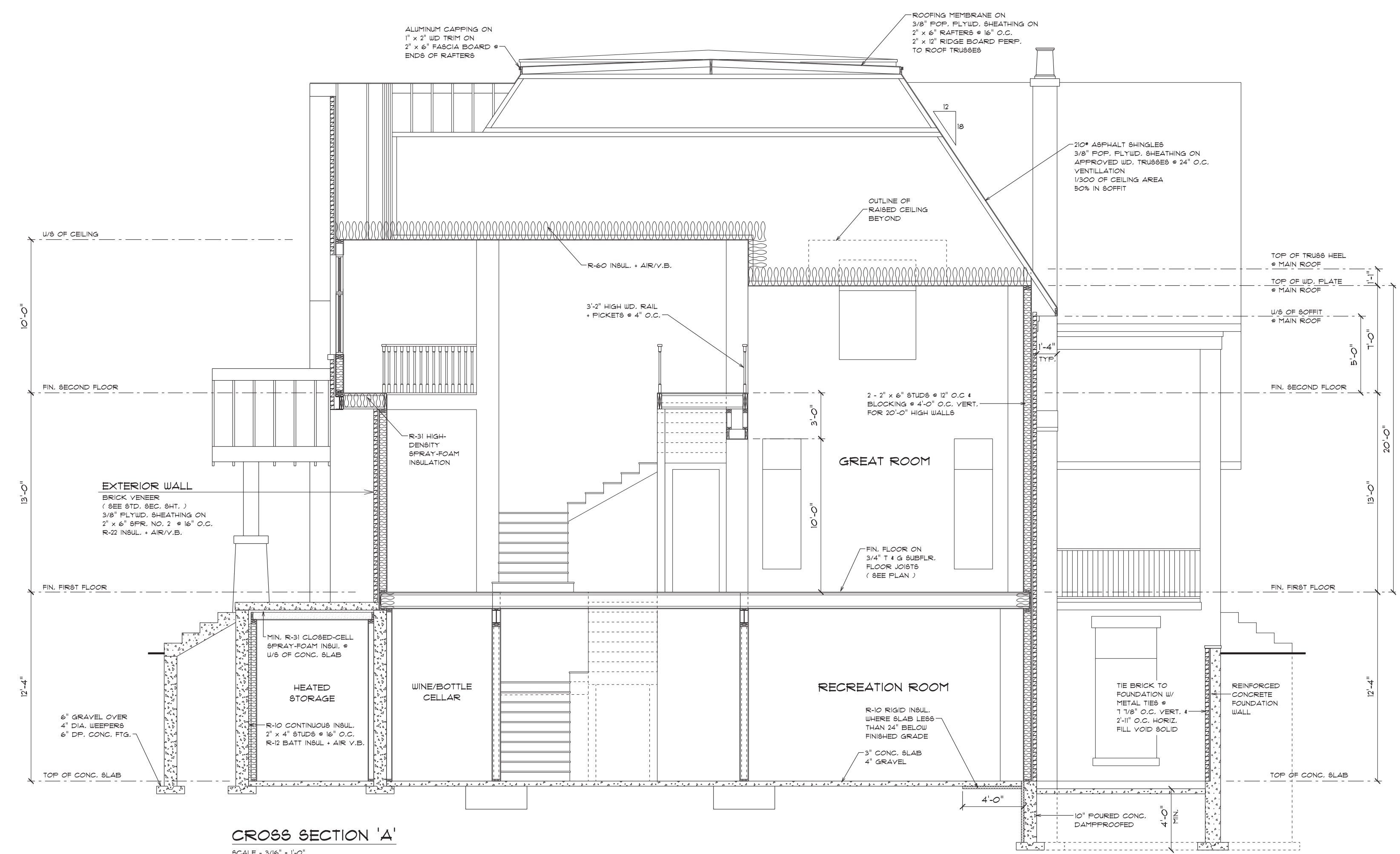
Do not scale drawings.
Joists to be at 12" O.C. where supporting ceramic tile.

BCIN INFORMATION :

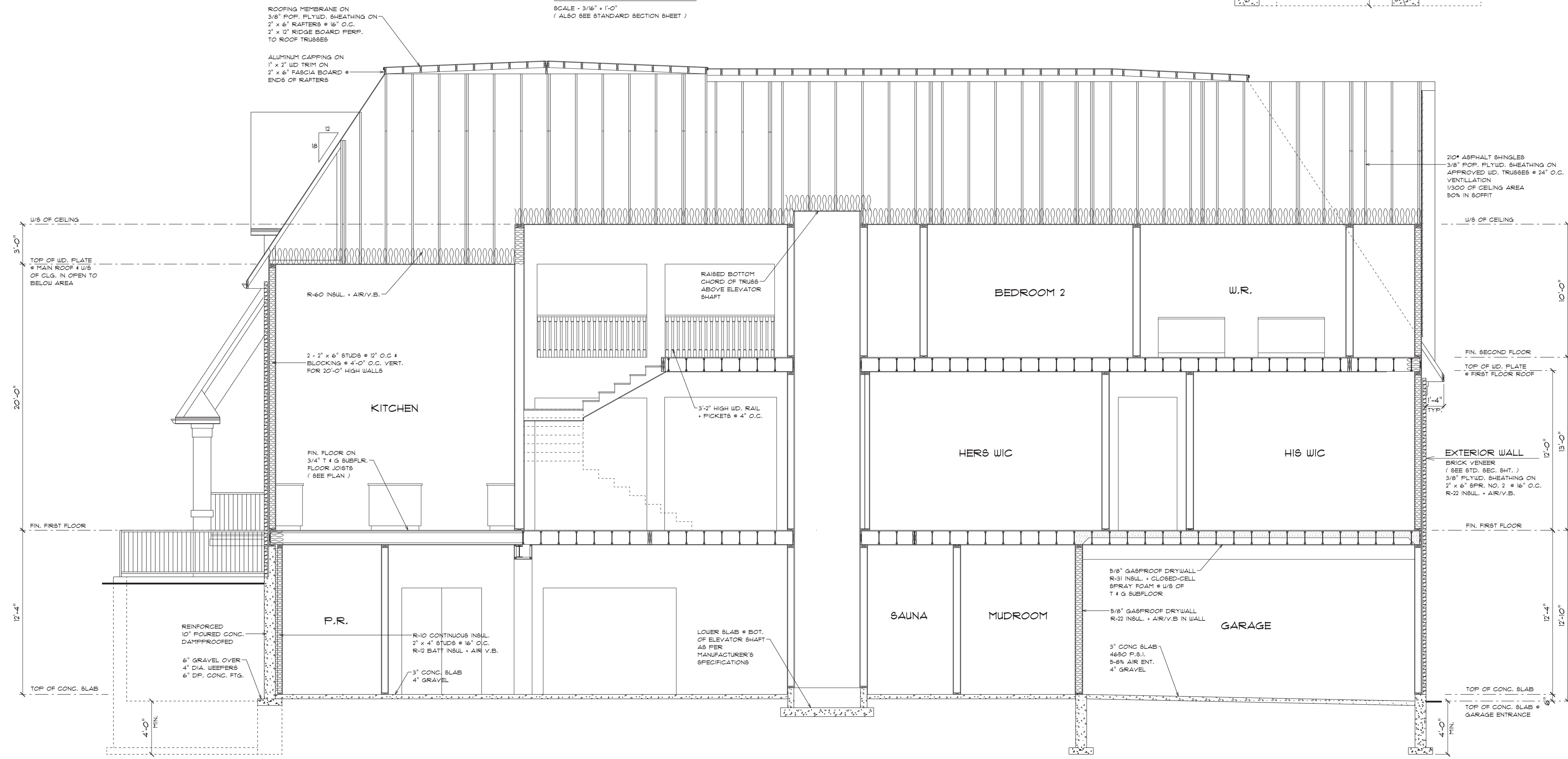
The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

QUALIFICATION INFORMATION

Required unless design is exempt under subsections 3.2.4. and 3.2.5. of Division C of the Ontario Building Code.
Dean Ruffolo 23840
DATE: [Signature] BCIN
REGISTRATION INFORMATION
Required unless design is exempt under subsections 3.2.4. and 3.2.5. of Division C of the Ontario Building Code.
Dero Building Designs Consultants Inc. 28051
FIRM NAME: [Signature] BCIN
This Certification is NOT valid unless accompanied by an original signature.



CROSS SECTION 'A'
SCALE - 3/16" = 1'-0"
(ALSO SEE STANDARD SECTION SHEET)



CROSS-SECTION 'B'
SCALE - 3/16" = 1'-0"
(ALSO SEE STANDARD SECTION SHEET)

NO.	REVISION	DATE



PROPOSED
TWO STOREY
45 STEEPLCHASE AVE.
AURORA, ON.

FOR
ANIX
DEVELOPMENTS

CROSS
SECTIONS
'A' & 'B'

DERO
BUILDING
DESIGNS
20 Wertheim Crt. U13
Richmond Hill, Ontario
L4B 3A8

T 905 889 8434
F 905 889 8435

info@derodesigns.com
www.derodesigns.com

DATE	SCALE
APR 18, 2024	3/16" = 1'-0"
DRAWN BY D.R.	CHECKED BY D.R.
PROJ. NO.	DWG. NO. A6

NOTES :

The contractor must check and verify all dimensions and report any discrepancies to the designer before commencing construction.

Do not scale drawings.
Joists to be at 12" O.C. where supporting ceramic tile.

BCIN INFORMATION :

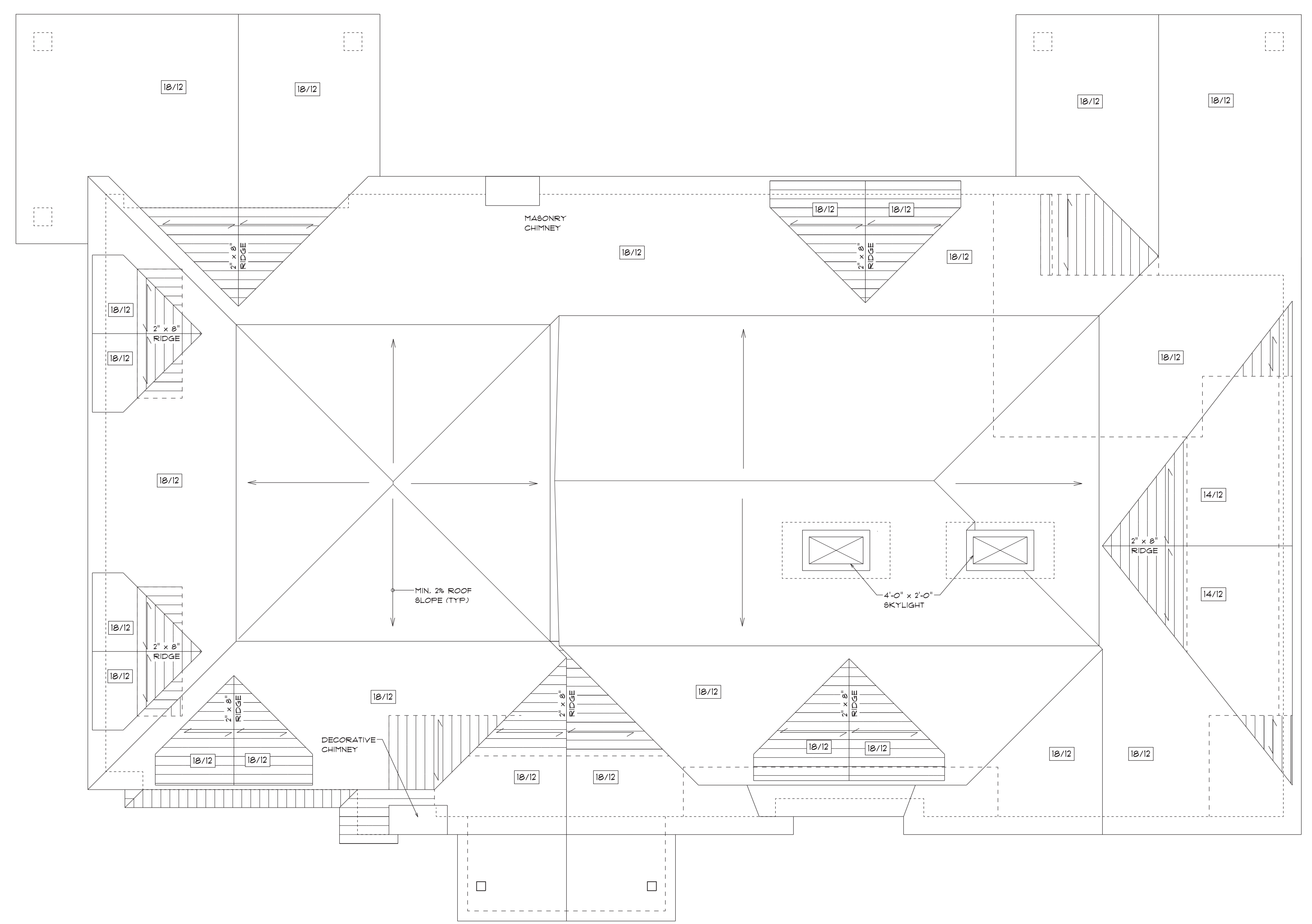
The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

QUALIFICATION INFORMATION
Required unless design is exempt under subsections 3.2.4. and 3.2.5. of Division C of the Ontario Building Code.

Dean Ruffolo 23840
NAME BCIN
Dean Ruffolo
SIGNATURE

REGISTRATION INFORMATION
Required unless design is exempt under subsections 3.2.4. and 3.2.5. of Division C of the Ontario Building Code.

Dero Building Designs Consultants Inc. 28051
FIRM NAME BCIN
This Certification is NOT valid unless accompanied by an original signature.



ROOF PLAN SCALE - 3/16" = 1'-0"
NOTE - ROOF RAFTERS TO BE 2" x 6" @ 16" O.C. UNLESS OTHERWISE NOTED.

NO.	REVISION	DATE



PROPOSED
TWO STOREY
45 STEEPLCHASE AVE.
AURORA, ON.

FOR
ANIX
DEVELOPMENTS

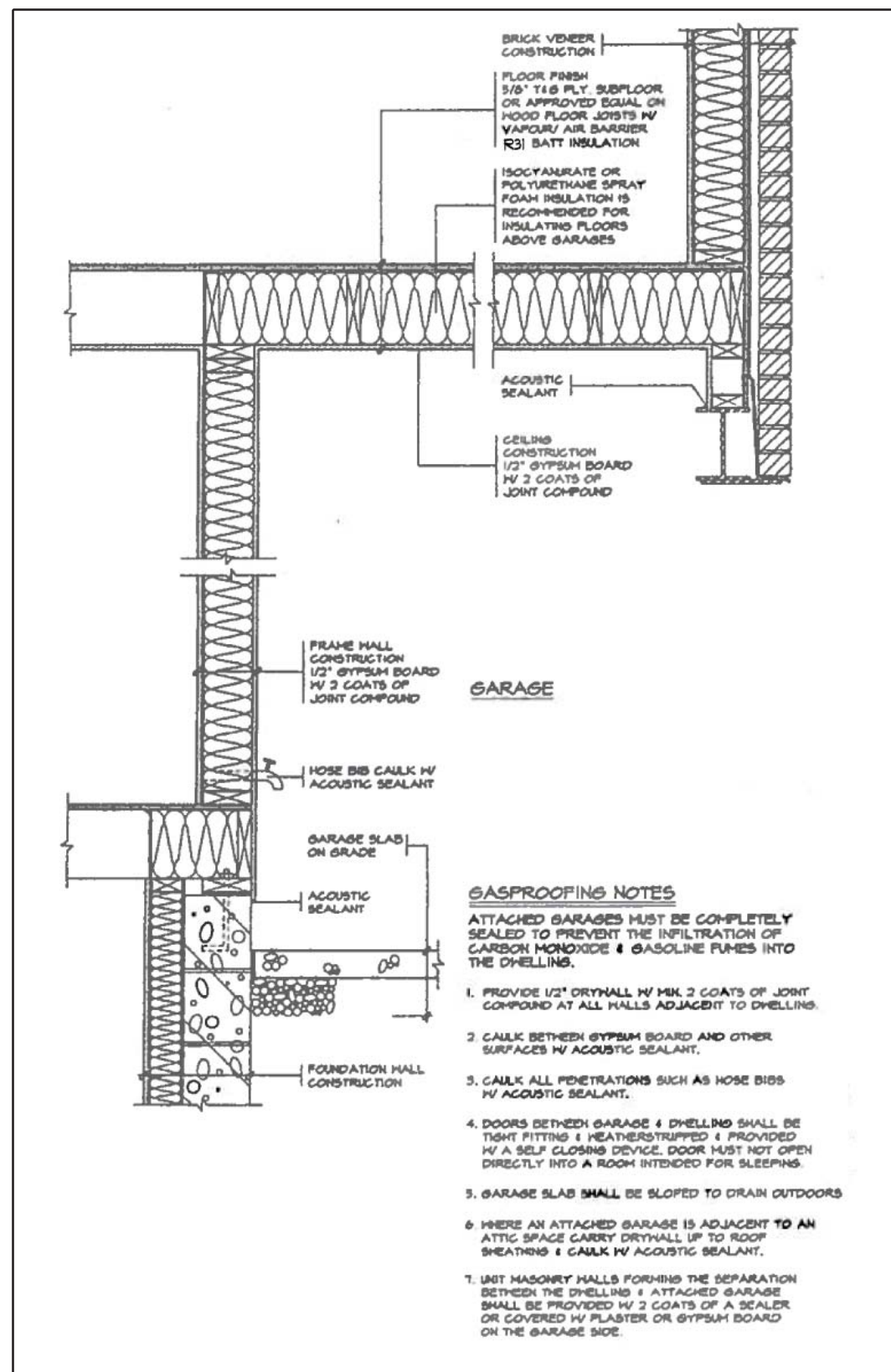
ROOF
PLAN

DERO
BUILDING
DESIGNS
20 Wertheim Crt. U13
Richmond Hill, Ontario
L4B 3A8

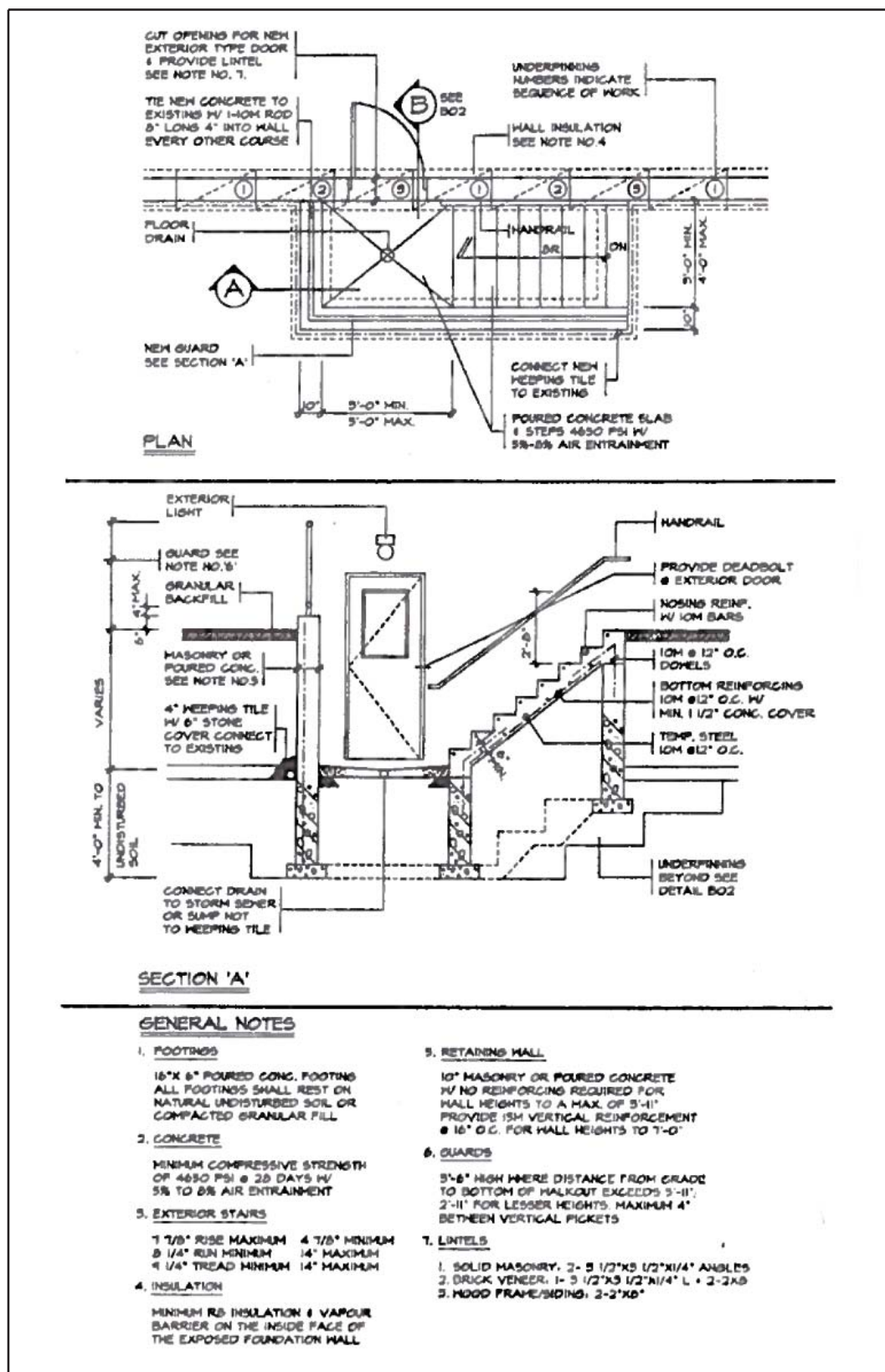
T 905 889 8434
F 905 889 8435

info@derodesigns.com
www.derodesigns.com

DATE APR 18, 2024	SCALE 3/16" = 1'-0"
DRAWN BY D.R.	CHECKED BY D.R.
PROJ. NO.	DWG. NO. A7



GARAGE GASPROOFING DETAIL
(N.T.S.)



BASEMENT WALK-OUT DETAIL
(N.T.S.)

1) STRUCTURAL COMPONENTS ARE DESIGNED FOR THE FOLLOWING LOADS IN POUNDS PER SQUARE FOOT.

FRAMING	LIVE	DEAD
ROOF TRUSS TOP CHORD	26	10
ROOF TRUSS BOT. CHORD	N/A	5
ROOF CONV. B/U	26	10
ATTIC CONV. B/U	10	10
WALL	24 WIND	60 STONE OR 20 STUCCO
SECOND FLOOR	40	20
FIRST FLOOR	40	20
BALCONYS AND DECKS	50	VARIES

ASSUMED SOIL BEARING CAPACITY FOR FOOTING USED = 3000 PSF. GEOTECHNICAL SOILS INVESTIGATION REPORT WAS NOT AVAILABLE AT THE TIME OF STRUCTURAL DESIGN. A GEOTECHNICAL ENGINEER SHALL CONFIRM/VERIFY SOIL CONDITIONS UNDER FOOTINGS PRIOR TO PLACEMENT. IF SOIL CONDITIONS AREA FOUND TO DIFFER FROM ASSUMED, THEN ADDITIONAL DESIGN AND/OR CONSTRUCTION COSTS AND/OR DELAYS MAY RESULT.

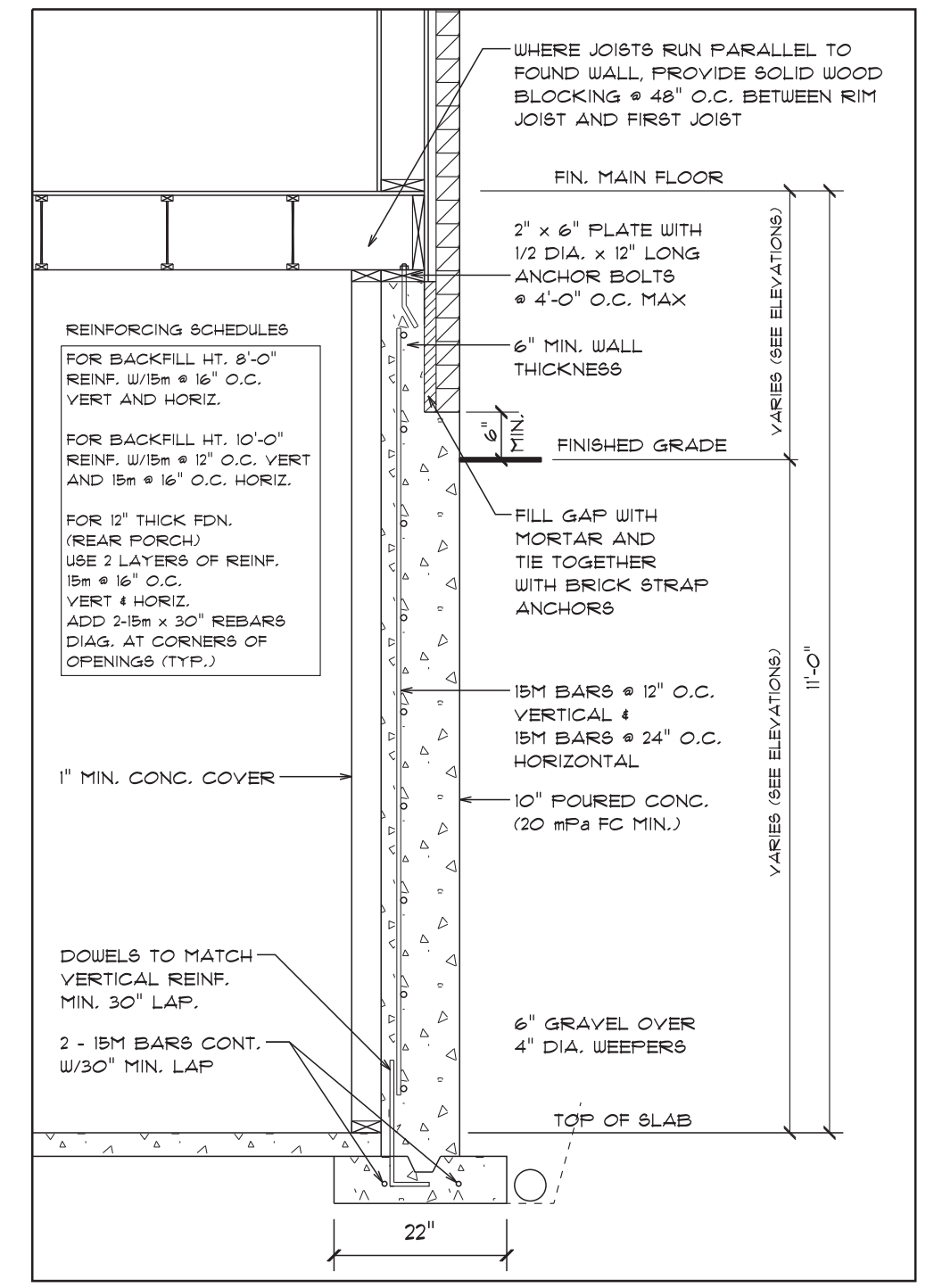
- 2) FOR ROOF FRAMING
- RAFTERS TO BE 2" x 6" @ 16" O.C. #2 SFF UNLESS NOTED ON ARROW (U/N) RIDGES, HIPS AND VALLEYS TO BE 1-2"x10" #2 SFF UN. POSTS INDICATED BY SMALL SQUARE TO BE 2-2"x4" UP TO 6'-0" LONG. 3-2"x4" UP TO 10'-0", 3-2"x6" UP TO 14'-0" DOWN TO SUPPORT BELOW. NAIL WITH 2-3 1/2" @ 18" O.C. OR 2-3" @ 12" O.C. (4000 LBS). KNEEWALLS (K/W) TO BE 2"x4" @ 16" O.C. WITH 2"x4" RIBBONS AT 4'-0" O.C. TIE WITH CEILING WHEN SLOPED FOR WALLS OVER 8'-0" HIGH USE 2"x6" STUDS @ 16" O.C. CEILING JOISTS TO BE 2"x6" @ 16" O.C. #2 SFF UN.
- 3) FLOOR JOISTS TO BE 11 7/8" TJI @ 16" O.C. UN WITH BRIDGING AT MID SPAN.
- 4) LVL TO BE 2665 F - 2E MINIMUM.
- 5) STRUCTURAL STEEL TO BE 640.12-35W EXCEPT PIPE COLUMNS WHICH MAY BE A-36 MINIMUM.
- 6) FASTEN LAMINATIONS IN COLUMNS AND BEAMS WITH 2-3 1/2" @ 18" O.C.
- 7) WIND LOAD DIAPHRAGM IN WALLS

EXTERIOR WALLS FROM FOUNDATION TO SECOND FLOOR, PLUS INTERIOR GARAGE WALLS, PLUS WALLS MARKED B/U ON PLANS MUST HAVE 1/2" PLYWOOD ON ONE SIDE WITH ALL EDGES NAILED WITH 8D (1/2" COMMON) @ 3" O.C. (CAPACITY 450 PLF). USE 2"x4" FLAT BETWEEN STUDS. CONNECT TOP AND BOTTOM OF WALL WITH 3" COMMON AT 5" O.C. OR 1/2" DIA. ANCHORS AT 32" O.C. SEE PLANS FOR SIMPSON HOLDDOVNS (FHD OR HD6) 1/8" DIA. x 16" EMBEDDED IN CONCRETE AND 2-1/8" DIA. OR 18-1/4" DIA. x 3" WOOD SCREWS THROUGH OR INTO 3 STUDS MIN. (5000 LBS.)

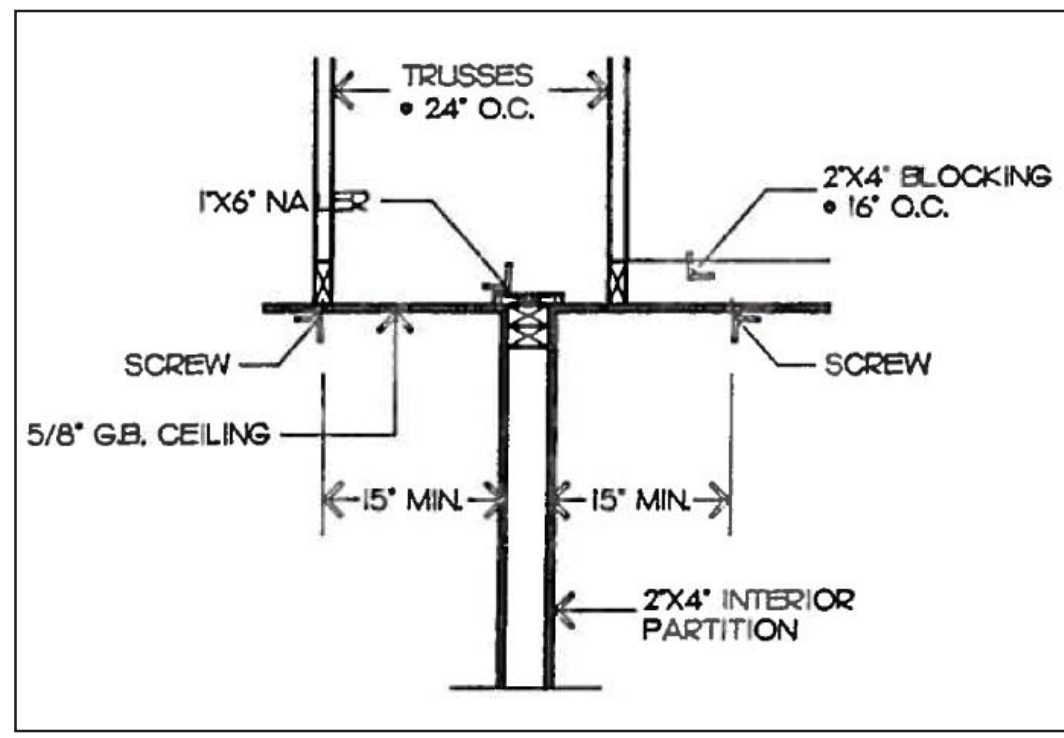
- 8) ANCHORAGE FOR WIND UPLIFT (15 PSF) AT EACH SUPPORT
- FOR SMALL BEAMS AND RAFTERS USE 3-3 1/4" TOENAILS. FOR WOOD BEAMS OF 3/2"x10" AND LARGER USE 3-3 1/4" TOENAILS AND SIMPSON H2.5 (8-8D NAILS). FOR LVL IN ROOF USE 4-3 1/4" TOENAILS. AND SIMPSON FHD2 OR HD2 (5/8" DIA. BOLT) TO COLUMN AND SECOND FLOOR FRAMING. ALTERNATIVE FOR FHD2 USE STRAP 3"x16" GA. WITH 42-16D NAILS (SIMPSON MST C40)

- 9) SHOP AND ERECTION DRAWINGS FOR STRUCTURAL STEEL, PRECAST CONCRETE, OPEN WEB STEEL JOISTS, GUARDS, HANDRAILS, STAIRS, FIRE ESCAPES, ENGINEERED FLOOR FRAMING PRODUCTS AND SYSTEMS (FOR EXAMPLE: T.J.I.'S, A.J.'S, L.V.L.'S, ETC) SHALL BE:
- 1) DESIGNED IN ACCORDANCE WITH THE ONTARIO BUILDING CODE.
 - 2) SEALED BY A REGISTERED PROFESSIONAL ENGINEER, ONTARIO
 - 3) SUBMITTED TO BELBETH ENGINEERING INC. FOR REVIEW PRIOR TO FABRICATION OR ERECTION.

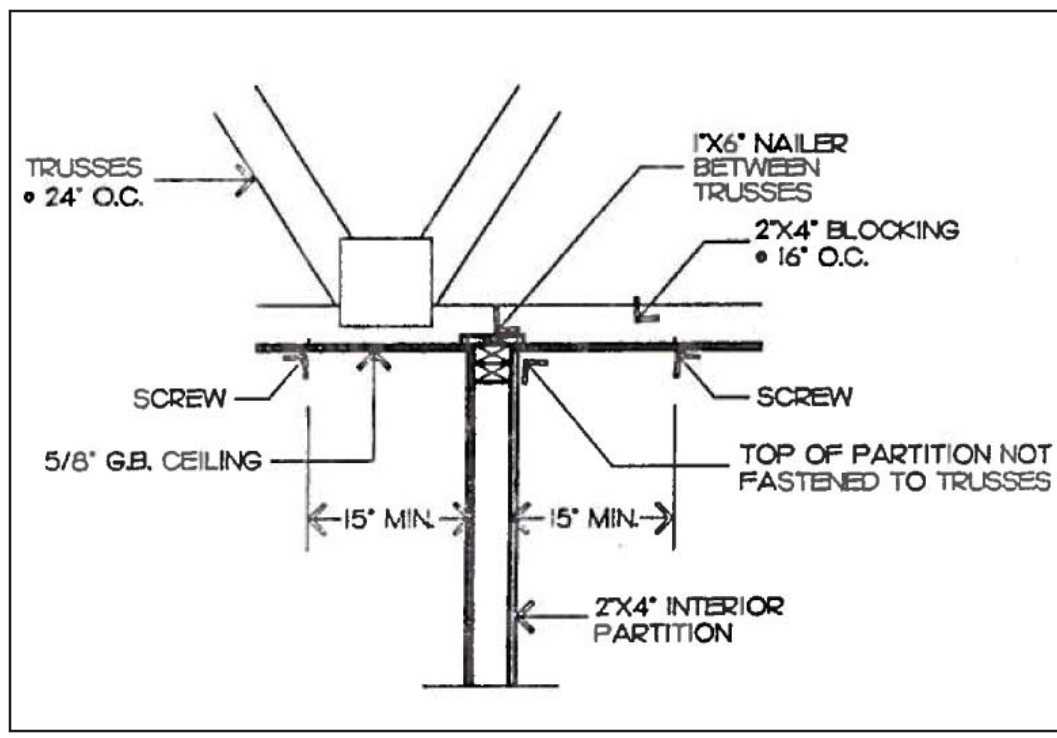
TYPICAL STRUCTURAL NOTES
(N.T.S.)



REINFORCED CONG. FOUNDATION WALL
(N.T.S.)

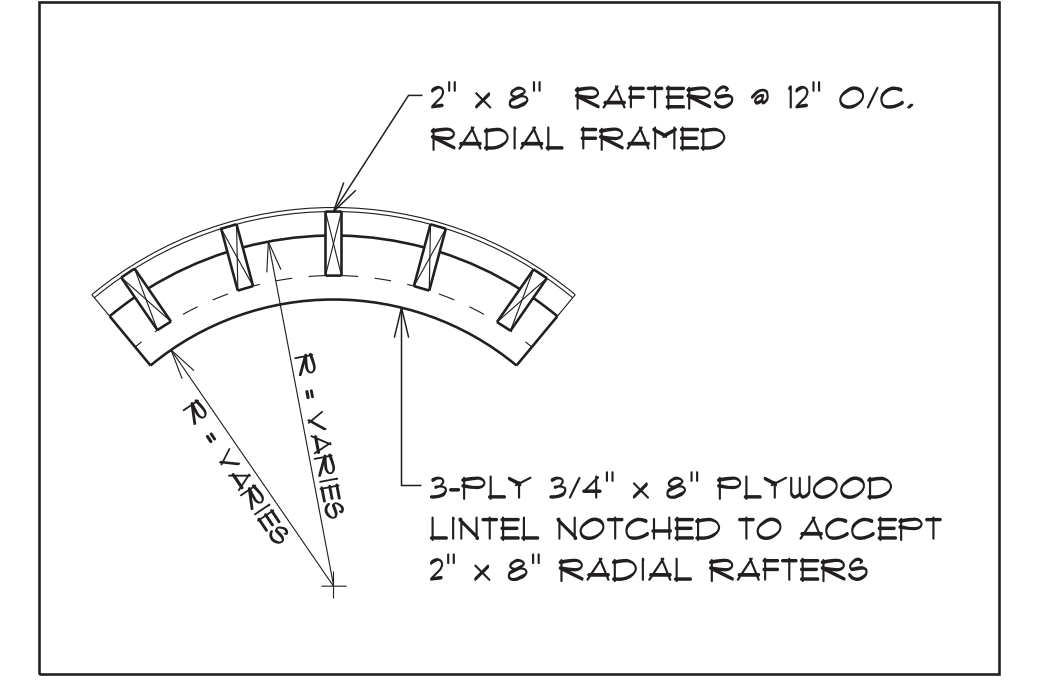


PARTITIONS PARALLEL TO TRUSSES
(N.T.S.)

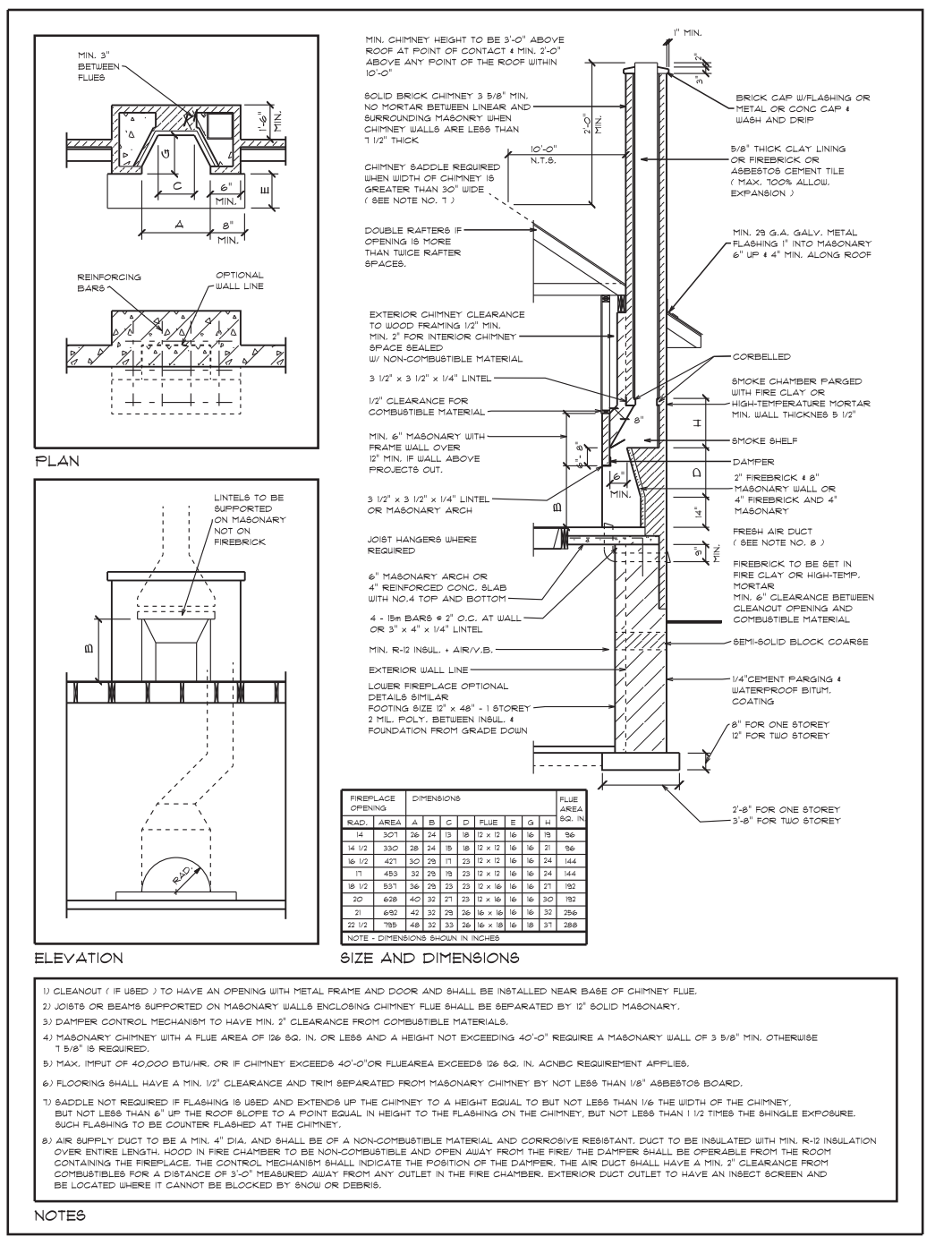


PARTITIONS AT 90 DEGREES TO TRUSSES
(N.T.S.)

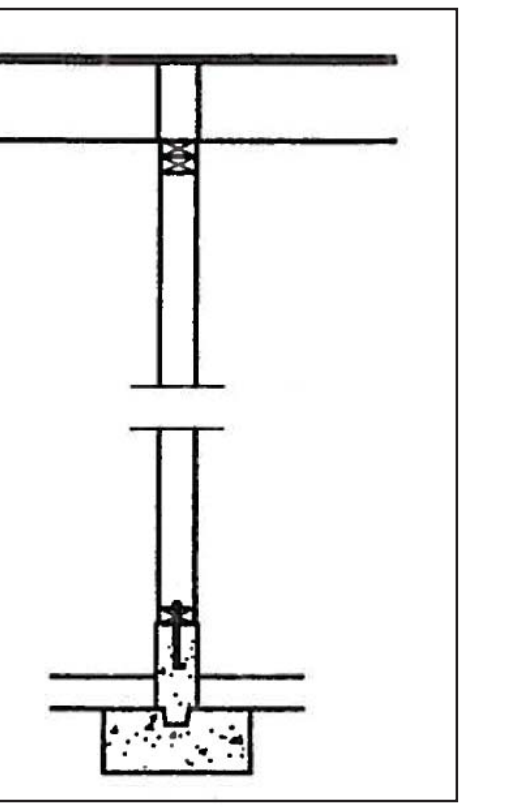
- 1) DESIGNED IN ACCORDANCE WITH THE ONTARIO BUILDING CODE.
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- 3) SUBMITTED TO BELBETH ENGINEERING INC. FOR REVIEW PRIOR TO FABRICATION OR ERECTION.



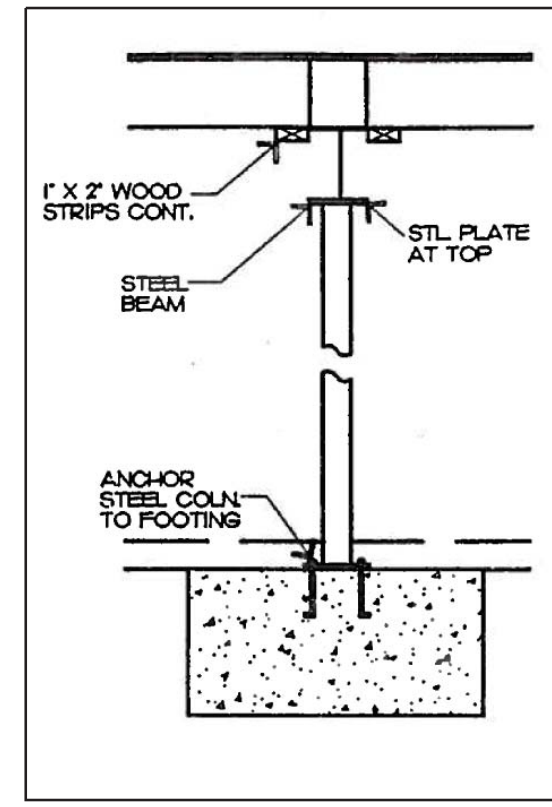
CURVED PLYWOOD LINTEL
(N.T.S.)



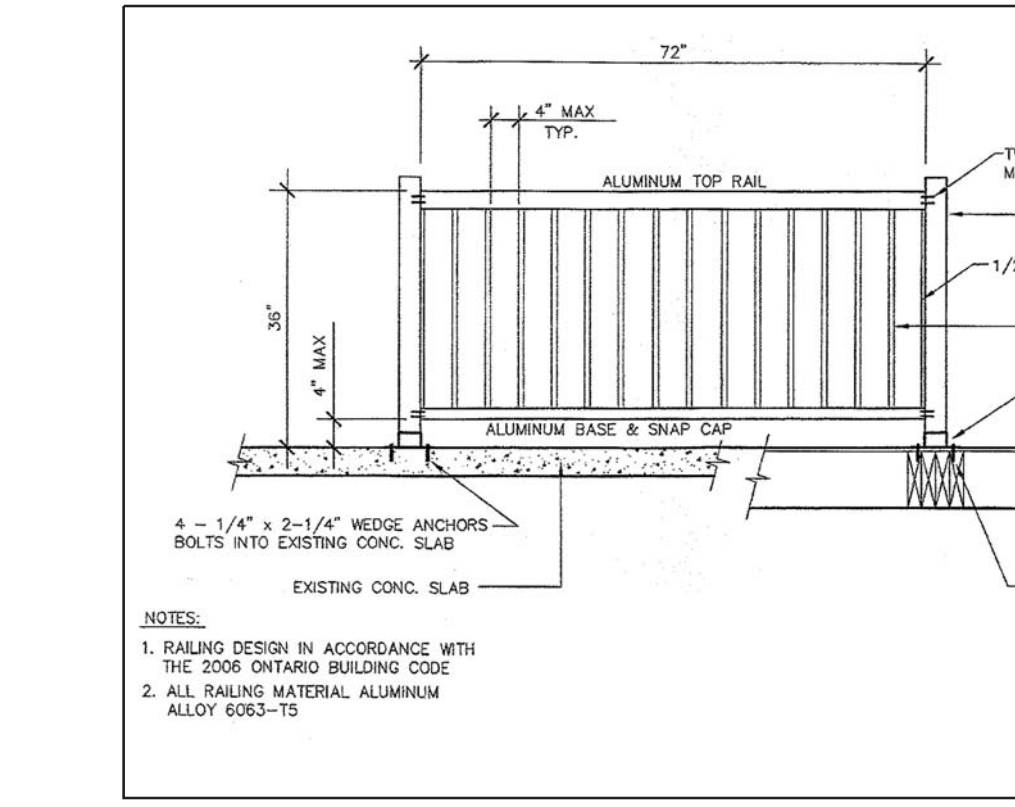
WOOD-BURNING FIREPLACE DETAIL



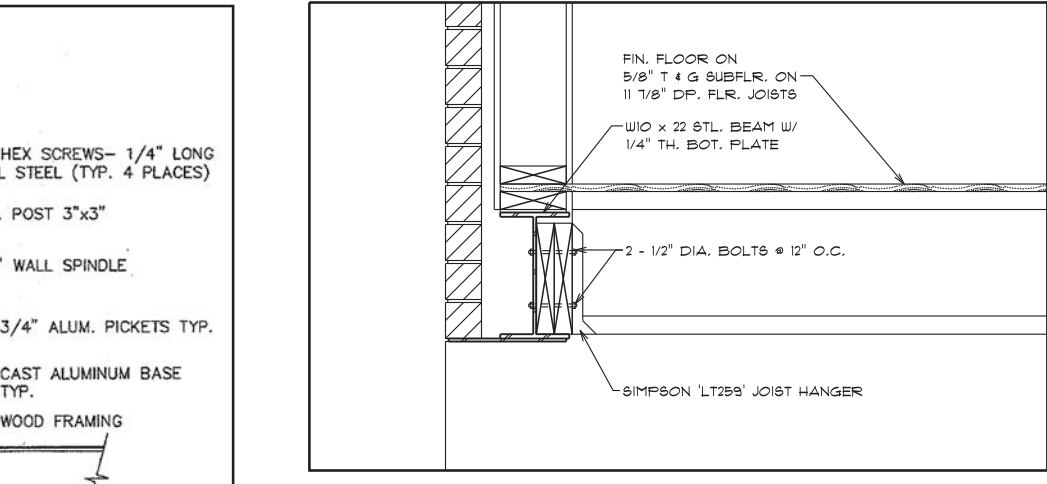
SECTION AT BEARING STUD PARTITION
(N.T.S.)



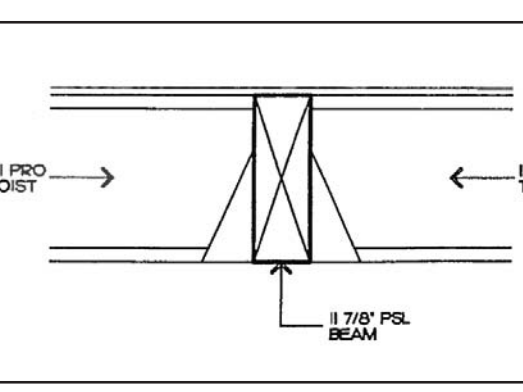
SECTION AT STL. PIPE COLUMN
(N.T.S.)



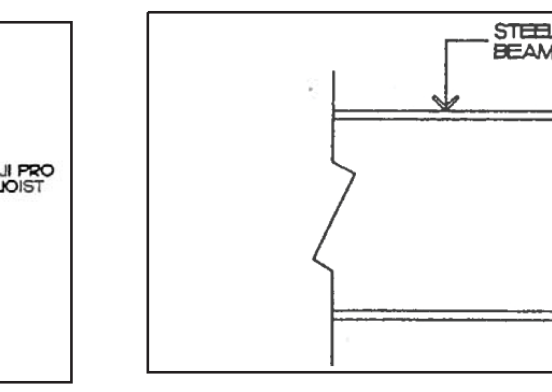
TYPICAL ALUMINUM RAILING DETAIL
(N.T.S.)



FLUSH STEEL BEAM CONNECTION DETAIL
(N.T.S.)



TJI TO PSL FLUSH CONNECTION
(N.T.S.)



STEEL BEAM TO STEEL BEAM SECTION
(N.T.S.)

NOTES :

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Do not scale drawings.

Joists to be at 12" O.C. where supporting ceramic tile.

BCIN INFORMATION :

The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

QUALIFICATION INFORMATION
Required unless design is exempt under subsections 3.2.4 and 3.2.5 of Division C of the Ontario Building Code.

Dean Rufolo 23640
P. Eng. BCIN

Dean Rufolo

REGISTRATION INFORMATION
Required unless design is exempt under subsections 3.2.4 and 3.2.5 of Division C of the Ontario Building Code.

Deris Building Designs Consultants Inc. 29051
P. Eng. BCIN

This Certification is NOT valid unless accompanied by an original signature.

NO.	REVISION	DATE

STRUCTURAL SEAL

LICENSED PROFESSIONAL ENGINEER
R. J. RUFOLO
PROVINCE OF ONTARIO

ANIX DEVELOPMENTS

PROPOSED TWO STOREY
45 STEEPLCHASE AVE.
AURORA, ON.

FOR
ANIX DEVELOPMENTS

DETAILS

DERO BUILDING DESIGNS
20 Wertheim Crt. U13
Richmond Hill, Ontario
L4B 3A8

T 905 889 8434
F 905 889 8435

info@derodesigns.com
www.derodesigns.com

DRAWN BY	CHECKED BY
D.R.	D.R.
DATE	DWG. NO.
APR 15, 2024	A8

